



Village of Winnetka

Zoning Board of Appeals Regular Meeting

January 9, 2023 at 7:00 PM
Village Hall - 510 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Approval of Minutes**
 - a. December 12, 2022, Regular Meeting Minutes
3. **Community Development Report**
4. **Continued Cases**
 - a. **Case No. 22-30-V2: 232 Sheridan Road (Continued from the December 12, 2022, meeting):** An amended application submitted by Amy and William Franzen seeking approval of zoning variations to allow construction of an addition to the existing residence at 232 Sheridan Road. The requested variations would permit the addition to (i) exceed the maximum permitted roofed lot coverage; (ii) exceed the maximum permitted gross floor area; (iii) provide less than the minimum required corner yard setback from the private road easement along the north property line; (iv) provide less than the minimum required rear yard setback from the west property line; (v) exceed the maximum permitted width for a front-facing attached garage; and (vi) exceed the maximum permitted width for a front-facing attached garage door. The plans have been amended to reduce the requested variations for roofed lot coverage, gross floor area, rear yard setback, and front-facing attached garage width. The Village Council has final jurisdiction on this request.
5. **New Business**
 - a. February 13, 2023, Meeting - Quorum Check
6. **Public Comments**
7. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**WINNETKA ZONING BOARD OF APPEALS MEETING MINUTES
DECEMBER 12, 2022**

Zoning Board Members Present:

Matt Bradley, Chairman
Kate Casale MacNally
Lynn Hanley
Mike Nielsen

Zoning Board Members Absent:

Mark Haller
Todd Vender
Max Weigandt

Village Staff:

David Schoon, Director of Community Development
Ann Klaassen, Assistant Director of Community Development

Call to Order & Roll Call:

Chairman Bradley called the meeting to order at 7:05 p.m. Ms. Klaassen took roll call of the Board Members present.

Approval of November 14, 2022 Regular Meeting Minutes

Chairman Bradley asked if there were any comments or corrections to be made to the November 14, 2022, meeting minutes or for a motion to approve. A motion to approve the November 14, 2022 meeting minutes was made by Ms. Casale MacNally and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 4 to 0:

AYES: Bradley, Casale MacNally, Hanley, Nielsen
NAYS: None

Community Development Report:

Mr. Schoon provided the Board with an update on the 1303 and 1311 Scott Avenue resubdivision and noted the Village Council has not reviewed the recommendation yet which is scheduled to be heard at the Village Council January 17, 2023, meeting.

New Cases:

a. **Case No. 22-26-SD: 484 and 488 Elder Lane:** An application submitted by Tim and Kimberly Junker seeking approval of a Final Plat of Subdivision to consolidate the two existing lots into a single lot of record. As part of the Final Plat approval, the application includes a request of approval of a zoning variation to permit the existing residence at 484 Elder Lane to observe less than the minimum required side yard setback from the east property line, which is due to an increase in the minimum required side yard setback as a result of the proposed increase in total lot area and increase in average lot width. The Village Council has final jurisdiction on this request.

Ms. Klaassen noted the request is being driven by the subdivision which resulted in the existing residence becoming nonconforming as a result of the subdivision. She identified the properties' location, zoning classification and size and noted the applicants reside at 484 Elder Lane with the 488 Elder Lane home to be demolished and the lots are to be consolidated into a single buildable lot. Ms. Klaassen then stated the applicants provided preliminary plans for the consolidated lot to construct an addition on the west side of the existing residence and replace the detached garage with a new detached garage and install a new in-ground pool. She described the driveway reconstruction and noted Village staff reviewed the

1 preliminary plans to verify the proposed improvements comply with zoning regulations. Ms. Klaassen
2 noted Elder Lane would continue to be the front lot line and referred to plats of surveys of the existing
3 improvements and the proposed site plan representing the proposed improvements. She noted the
4 existing lots are nonconforming and the consolidation would result in a conforming lot. Ms. Klaassen then
5 explained the side yard and front yard setbacks and the variation being requested.

6
7 Ms. Klaassen stated the 488 Elder Lane demolition permit application was reviewed by the Landmark
8 Preservation Commission (LPC) in December of last year and the LPC approved the issuance of the
9 demolition permit without delay. She then stated following public comment and Board discussion, a Board
10 Member may wish to make a motion to recommend approval or denial the request as indicated by the
11 draft motion on page 14 noting no additional public correspondence was received by staff other than
12 what was included in the agenda packet. She then asked if there were any questions.

13
14 Ms. Hanley asked if the new variation being created is on the east side of the remaining home which was
15 conforming. Ms. Klaassen confirmed that the home complied with the zoning regulations when it was
16 built, including the side yard setback. She explained that the variation is being requested as a result of
17 the increase in lot area and lot width, which increases the side yard setback requirement to 12 feet.
18 Chairman Bradley referred to the side yard setback and asked if the resulting home would not be located
19 closer to the side yard. Ms. Klaassen responded with the exception of the east side yard setback; the home
20 would be in compliance and that no new improvements were being proposed as part of this proposal, the
21 variation is for the existing residence that is to remain once the lots are consolidate. Mr. Nielsen referred
22 to the amount of driveway and asked if it would be in compliance. Ms. Klaassen explained that the
23 proposed driveway, along with the other improvements as currently proposed, comply with zoning

24
25 Chairman Bradley asked for the applicants' presentation. Scott Javore, the architect, introduced himself
26 along with Karl Sponholtz and Tim Junker. The applicant further explained the gross floor area currently
27 on both lots and confirmed nothing about the residence at 484 Elder would change and only the property
28 line would move. No additional questions were raised at this time.

29
30 Chairman Bradley asked if there were any comments from the audience. He then swore in Betsy Owens,
31 228 Myrtle Street. Ms. Owens described her disappointment at seeing the home demolished and
32 identified two concerns, the first of which is her view of the large proposed driveway and asked if there
33 were any landscaping plans. Ms. Owens stated her second concern related to the amount of vehicles
34 parking behind her driveway and that the proposed plans would make the situation worse. She then
35 described the difficult parking situation on Myrtle Street and asked if the No Parking Signs could be
36 reverted back to the east side of the street.

37
38 Chairman Bradley encouraged Ms. Owens to discuss parking issues with the Village staff since they are
39 outside of the Board's purview as well as landscaping plans. Mr. Javore informed the Board of the new
40 driveway's proximity to the neighbors and that landscaping concerns would be considered. No additional
41 comments were made at this time. Chairman Bradley then called the matter in for discussion.

42
43 Ms. Casale MacNally stated she would be in favor of the application and noted she lived close to the
44 applicants. She referred to the unkempt condition of 488 Elder Lane which also lent to safety issues. Ms.
45 Casale MacNally then referred to the amount of nonconformities cured by the proposal and noted the
46 lack of response from the immediate neighbors at 480 Elder Lane. Mr. Nielsen stated the proposal fully
47 complied with lot width, depth and area requirements and the home is not being moved. He concluded
48 by stating he is in favor of the request. Ms. Hanley also stated she is in favor of the request and agreed

1 that no new nonconformities would be created with the request meeting the standards. Chairman Bradley
2 stated he is also in favor of the request noting the request fully complied with subdivision standards
3 together with the elimination of existing nonconformities.
4

5 Chairman Bradley then asked for a motion to recommend approval as noted on page no. 9., Ms. Casale
6 MacNally moved to recommend approval of the final plat of subdivision and Mr. Nielsen seconded the
7 motion. A vote was taken and the motion unanimously passed, 4 to 0:

8 AYES: Bradley, Casale MacNally, Hanley, Nielsen

9 NAYS: None
10

11 **b. Case No. 22-30-V2: 232 Sheridan Road: An application submitted by Amy and William Franzen**
12 **seeking approval of zoning variations to allow construction of an addition to the existing residence at**
13 **232 Sheridan Road. The requested variations would permit the addition to (i) exceed the maximum**
14 **permitted roofed lot coverage; (ii) exceed the maximum permitted gross floor area; (iii) provide less**
15 **than the minimum required corner yard setback from the private road easement along the north**
16 **property line; (iv) provide less than the minimum required rear yard setback from the west property**
17 **line; (v) exceed the maximum permitted width for a front-facing attached garage; and (vi) exceed the**
18 **maximum permitted width for a front-facing attached garage door. The Village Council has final**
19 **jurisdiction on this request.**

20 Ms. Klaassen identified the property's location, zoning classification, size and its legal nonconforming
21 status. She then referred to photos of the site and identified the proposed two story addition as well as
22 four of the requested variations highlighted in the table. Ms. Klaassen then explained the reasoning for
23 the GFA variation and calculations due to the parapet wall height. She also explained the corner yard and
24 rear yard setbacks and how they would be affected by the proposed addition. Ms. Klaassen described the
25 first floor plans which include an additional garage bay and kitchen addition as well as the proposed
26 second floor addition. She then referred to the proposed front, rear, corner and south elevations. Ms.
27 Klaassen stated the Village Council has final jurisdiction and a draft motion is included on page nos. 39
28 and 40 for the Board to consider. She also referred to public correspondence received from a neighbor
29 that was provided to the Board. She then asked if there were any questions.
30

31 Ms. Hanley asked why the easements were not included in side yard calculations. Ms. Klaassen explained
32 the reasoning for the easement exclusion from side yard calculations. Ms. Casale MacNally asked for
33 clarification in terms of where the neighbor who submitted correspondence is compared to the site, which
34 Ms. Klaassen identified for the Board. Chairman Bradley questioned the garage's proximity and limitations
35 with regard to the front lot line which Ms. Klaassen explained to the Board noting the home is considered
36 a corner lot and that the front-facing attached garage width and garage door width also applied to the
37 corner lot line. Ms. Hanley asked if there are any other similar roads in the Village and Ms. Klaassen
38 responded there are several other private roads in the Village. No additional questions were raised at this
39 time.
40

41 Chairman Bradley then swore in those speaking to this matter. John Franzen and William Franzen
42 introduced themselves to the Board. John Franzen state he is an architect practicing in Connecticut and
43 that he is helping his son and his wife and explained the reasoning behind the request. He stated his son
44 bought the 232 Sheridan Road home. He referred to the difficulties of dealing with the private easement
45 in terms of their plans with regard to the double wide garage. William Franzen then described safety issues
46 in the home with regard to bedrooms in relation to the roof deck and their desire to relocate the
47 bedrooms as well as the lack of a mudroom and difficulties with the single bay garage. He described the
48 proposed addition and single garage door which would improve several conditions on the home as well

1 as how the request complied with the standards. William Franzen referred to variation approvals on
2 nearby homes and noted the improvements would not be visible from Sheridan Road adding the
3 neighbors have no issues with regard to the request.
4

5 John Franzen described the conditions and difficulties accessing the garage and property in its existing
6 condition. William Franzen then stated with regard to 224 Sheridan Road and the variations granted in
7 connection with those 2004 renovations, it is similar to their request. He then referred to their attempt
8 to preserve the home's historical significance.
9

10 Chairman Bradley asked if there were any questions. Ms. Hanley asked why impermeable lot coverage is
11 being reduced and William Franzen responded it related to the driveway reduction. Mr. Nielsen referred
12 to point nos. 5 and 6 and asked if the garage size affected the first four points. William Franzen responded
13 that it related to the front yard and corner yard setbacks. Chairman Bradley referred to the extreme
14 variances sought on the west rear yard setback and the letter in the packet by that affected neighbor in
15 support. He also referred to the effort to save the home with no other alternative to place the addition.
16 Chairman Bradley then stated the garage view did not have any effect on the front yard and is not visible
17 from the street by anyone other than the five homes in the enclave. He then asked the applicants if they
18 considered other locations for the proposed addition which did not create such significant variations.
19 William Franzen confirmed they did and stated there were no other viable alternatives. John Franzen
20 added concessions in terms of the garage would result in the inability to park two vehicles in the garage
21 and there is no other area in which to park.
22

23 Chairman Bradley stated it would be precedent setting to reduce the west setback from 14 feet to 5 feet
24 and William Franzen explained the reasoning behind the request. He added the home at 224 Sheridan has
25 the similar garage setup they are requesting. Ms. Hanley stated she appreciated the applicant's position
26 in terms of the garage door need noting her concerns related to GFA and roofed lot coverage and where
27 it can be reduced referring to the reduction of the kitchen addition and master bathroom. She stated the
28 kitchen and master bathroom addition did not meet the standards and agreed with the standards and
29 hardship created by the garage.
30

31 Chairman Bradley suggested the Board deliberate in terms of their position noting the fact there is a bare
32 quorum for an approval recommendation with the option of giving the applicants the opportunity to come
33 back before the Board. John Franzen agreed with Chairman Bradley's suggestion. William Franzen further
34 explained the reasoning behind the primary suite size. John Franzen then described a proposed option in
35 order to reduce the RLC and GFA calculations by reducing the width of the garage addition.
36

37 Chairman Bradley then called the matter in for discussion. He first asked for public comment. No
38 comments were made at this time.
39

40 Chairman Bradley described the property as very unique and the attempted modernization being
41 requested as well as the effect of the easement. He referred to the challenges relating to the west rear
42 yard setback and referred to the letter in support from the affected neighbor. Chairman Bradley then
43 stated he would recommend the applicant either go forward now or come back before the Board with
44 revisions. Ms. Hanley stated she would agree with the request if it incorporated the reductions suggested
45 by Mr. Franzen although GFA can be further reduced in other areas. Mr. Nielsen stated the five homes in
46 the subdivision are the same with the amount of weight placed on the neighbors' letter. He stated the
47 fact that no other owners are against the request lent toward the argument that the request is favorable.
48 Mr. Nielsen then stated the proposed 1.5 foot reduction would not change that much but would put the

1 Board in the position to recommend approval. Ms. Casale MacNally agreed with Ms. Hanley's comments
2 and stated she would be in favor of considering the proposal's slimmed down version.
3

4 Chairman Bradley explained the options to the applicant. William Franzen explained the effect of the
5 easement on GFA adding all of the neighbors are in support of the request. He then stated they could not
6 reasonably give up much more GFA in terms of their plans for the property. Ms. Hanley further explained
7 her position to the applicants. Chairman Bradley informed the applicants the reasonable return standard
8 has not been met and explained how the Board's job is to mitigate the variance amounts requested. Mr.
9 Franzen stated they request that their application be continued until the January 9, 2023, meeting.
10

11 Ms. Hanley moved to continue the application to the January 9, 2023, meeting. Mr. Nielsen seconded the
12 motion. A vote was taken and the motion unanimously passed, 4 to 0:

13 AYES: Bradley, Casale MacNally, Hanley, Nielsen

14 NAYS: None
15

16 c. **Case No. 22-31-V: 740 Humboldt Avenue: An application submitted by Rachel and Chris Kozina**
17 **seeking approval of a zoning variation to allow construction of an addition to the existing residence at**
18 **740 Humboldt Avenue. The requested variation would permit the residence to provide less than the**
19 **minimum required front yard setback from Humboldt Avenue. The Zoning Board of Appeals has final**
20 **jurisdiction on this request.**

21 Ms. Klaassen referred to the lot's irregular shape and identified the property's location, zoning
22 classification and size and that it is a legal nonconforming lot. She also referred to the home's photos
23 which was converted to a single family residence in 1949. Ms. Klaassen described the proposed addition
24 and the required setbacks identified in red on an illustration as well as the proposed first and second floor
25 plans and the proposed building elevations. She also noted that the existing residence is wholly located
26 within the minimum required front yard setback. Ms. Klaassen then stated draft resolutions are included
27 on page nos. 89 and 105 of the agenda packet, with public correspondence distributed to the Board earlier
28 today. She then asked if there were any questions.
29

30 Ms. Hanley questioned the setbacks for 720 Humboldt which Ms. Klaassen identified for the Board while
31 identifying several variations previously requested for the property. No additional questions were raised
32 at this time.
33

34 Chairman Bradley swore in those speaking to this matter. Chip Hackley introduced himself to the Board
35 as the architect and stated the property is under contract for purchase which is contingent on this
36 meeting. He read his application summary statement into the record describing the lot as highly irregular
37 and unbuildable due to the recreational easement. Mr. Hackley also described the existing residence and
38 its siting on the property and proposed modifications as well as descriptions of surrounding properties.
39 He then cited how the required setbacks resulted in the inability to build on the lot and the applicants'
40 desire to maintain the home. Mr. Hackley described the hardships for the property which include the
41 existing home's placement, the lot's irregular shape and the front yard setback relative to neighboring
42 buildings. He then referred to their response to the standards included in their application and asked if
43 there were any questions.
44

45 Chairman Bradley also asked if there were any questions. No questions were raised at this time from the
46 Board or the public. Chairman Bradley then called the matter in for discussion.
47

Ms. Casale MacNally stated she would be in favor of the request and referred to the property's nine sides. She stated the proposal would result in the property being improved and agreed there in no way to build an addition on the home as a result of the setbacks. Mr. Nielsen commended the architect on the proposal which resulted in only one variation and noted it would be an improvement. He stated he is also in favor of the request. Ms. Hanley agreed with the comments made. Chairman Bradley also stated he is in support of the request and also commended the architect on the proposal. He then asked for a motion to approve the request as indicated on page no. 89.

A motion to approve the request as presented was made by Mr. Nielsen and seconded by Ms. Casale MacNally. A vote was taken and the motion unanimously passed, 4 to 0:

AYES: Bradley, Casale MacNally, Hanley, Nielsen

NAYS: None

New Business:

a. January 9, 2023, Meeting - Quorum Check

The Board Members discussed their availability. The four members present indicated they are available for the meeting.

Adjournment:

Chairman Bradley asked for a motion to adjourn. A motion to adjourn was made by Ms. Casale MacNally and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 4 to 0:

AYES: Bradley, Casale MacNally, Hanley, Nielsen

NAYS: None

The meeting adjourned at 8:55 p.m.

Respectfully submitted,

Antionette Johnson

Recording Secretary



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: JANUARY 5, 2023
SUBJECT: 232 SHERIDAN ROAD – VARIATIONS (AMENDED CASE NO. 22-30-V2)

INTRODUCTION

On January 9, 2023, the Zoning Board of Appeals will continue a public hearing on an amended application submitted by Amy and William Franzen (collectively the “Applicant”), as the owners of the property located at 232 Sheridan Road (the “Subject Property”). The Applicant now requests approval of the following zoning variations to allow construction of an addition to the existing residence on the Subject Property:

1. **Roofed Lot Coverage** of 2,128.62 square feet, whereas a maximum of 2,114.59 square feet is permitted, a variation of 14.03 square feet (0.66%) [Section 17.30.030 – Intensity of Use of Lot];
2. **Gross Floor Area (GFA)** of 3,778.69 square feet, whereas a maximum of 3,132.72 square feet is permitted, a variation of 645.97 square feet (20.62%) [Section 17.30.040 – Maximum Building Size] [Note: The existing residence currently consists of 3,631.88 square feet. The proposed addition would add 146.81 square feet of GFA];
3. **Corner Yard Setback** of 8.3 feet from the private road easement along the north property line, whereas a minimum of 22.82 feet is required, a variation of 14.52 feet (63.63%) [Section 17.30.050 – Front and Corner Yard Setbacks] [Note: The residence currently provides a corner yard setback of 5.65 feet];
4. **Rear Yard Setback** of 7.08 feet from the west property line, whereas a minimum of 15.45 feet is required, a variation of 8.37 feet (54.17%) [Section 17.30.070 – Rear Yard Setback] [Note: The residence currently provides a rear yard setback of 14 feet];
5. **Front-facing attached garage width** of 22.52 feet, whereas a maximum width of 22 feet is permitted, a variation of 0.52 feet (2.36%) [Section 17.30.110 – Garages]; and
6. **Front-facing attached garage door width** of 18 feet, whereas a maximum width of 9 feet is permitted for an individual door, a variation of 9 feet (100%) [Section 17.30.110 – Garages].

The initial hearing on December 12, 2022, was properly noticed on November 24, 2022, in the *Winnetka Talk* and a mailed notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. As of the date of this memo, staff has received two written comments from the public regarding this application. One comment was received the day of the December ZBA meeting and was provided to the Board via email prior to the meeting, as well as at the meeting on December 12. The second comment was received after the December meeting. Both written comments are included in this report as Attachment D1. For reference, the December 8 staff report and attachments are provided as Attachment C1 of this report.

As will be discussed later in the report, ***the Applicant has reduced the extent of the zoning relief requested for (i) roofed lot coverage; (ii) gross floor area, (iii) rear yard setback, and (iv) front-facing attached garage width.*** The Village Council still has final jurisdiction on this request as only the Council has the authority to grant variations to (i) exceed the permitted gross floor area by more than 10%; and (ii) reduce a corner yard setback or a rear yard setback for a principal building by more than 50% of the required setback.

DECEMBER 12, 2022, ZBA PUBLIC HEARING

At its regular monthly meeting on December 12, the ZBA held a public hearing on the Applicant's requested zoning relief. At the December meeting, the Board focused its discussion on the amount of additional gross floor area and the rear yard setback being requested. The Board asked the Applicant if the width of the garage and the kitchen addition, as well as the second-floor addition above, could be reduced to minimize the relief necessary. At the request of the Applicant, the Board voted unanimously to continue the request until the January meeting to provide the Applicant an opportunity to consider reducing the size of the proposed addition. A copy of the draft December 12 minutes is included in the January 9 agenda packet for the ZBA's approval.

AMENDED PROPOSED PLAN

In response to comments and questions at the December 12 ZBA meeting, the Applicant has provided the attached revised plans (Attachment B1). The plans have been revised to reduce the width of the proposed two-story addition by 2 feet. Additionally, the revised plans reflect the removal of an existing one-story bump-out in the family room, on the west elevation, measuring approximately 26 square feet.

As reflected in the amended plans, the proposed garage would be 22.52 feet in width, rather than 24.94 feet as originally proposed and presented to the Board at the December 12 meeting. As a result, the additional garage bay would measure 19.25 feet by 9.58 feet (184 square feet), a reduction of 47 square feet from the original plan. The Applicant has also reduced the size of the proposed kitchen addition to 151 square feet, a reduction of 13 square feet from the original plan. As result of the entire addition being reduced by 2 feet, the second-floor addition above the garage and kitchen, consisting of a primary bathroom and gym, has been reduced by 44 square feet.

In summary, the net increase in roofed lot coverage is approximately 291 square feet, a reduction of 97 square feet from the original plan. The net increase in GFA is now 147 square feet, a reduction of 153 square feet from the originally proposed increase of 300 square feet. The proposed width of the garage door remains unchanged at 18 feet.

Excerpts of the amended site plan, floor plans, and building elevations are provided on the following pages as Figures 1 through 6.

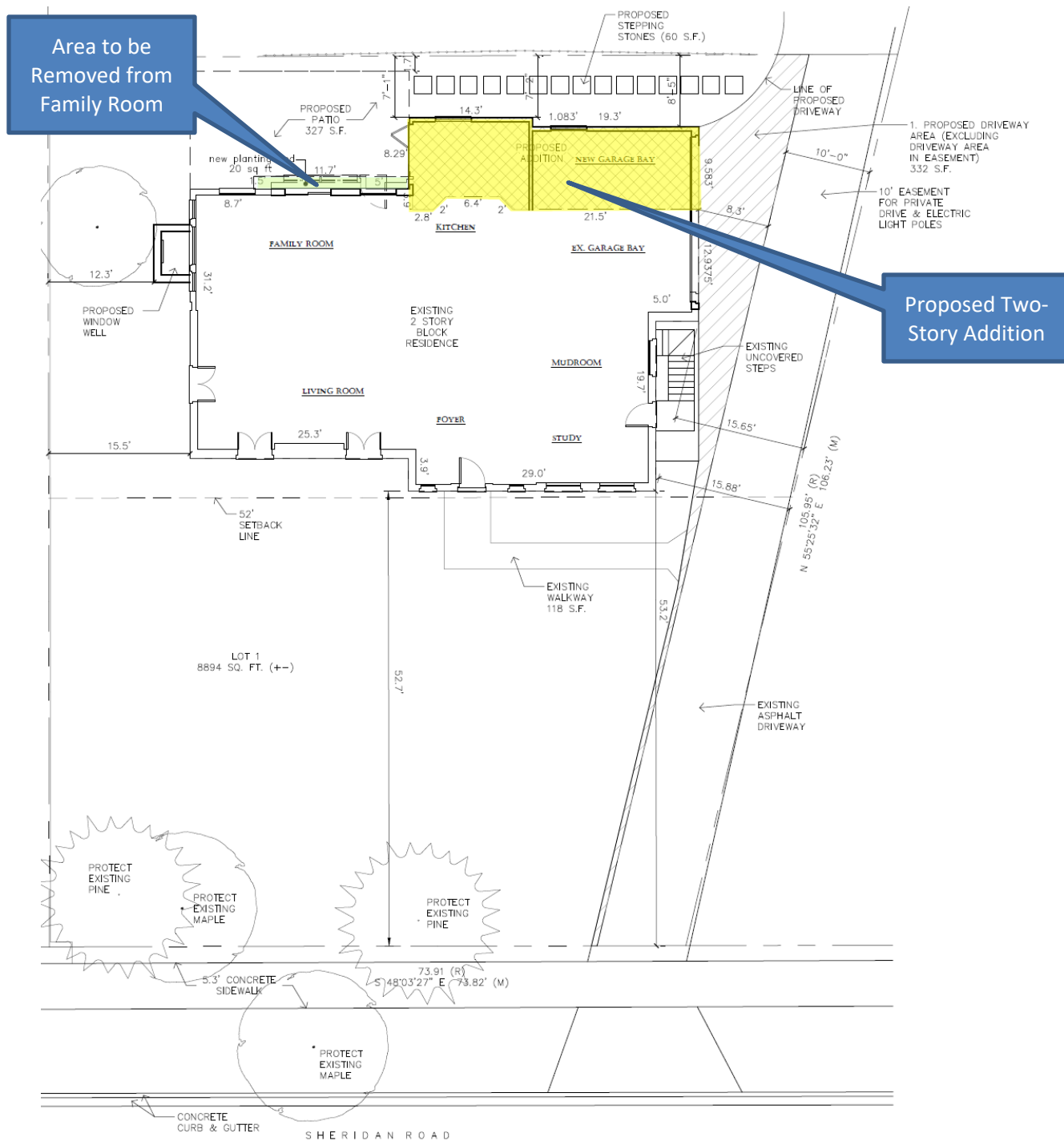


Figure 1 – Amended Site Plan

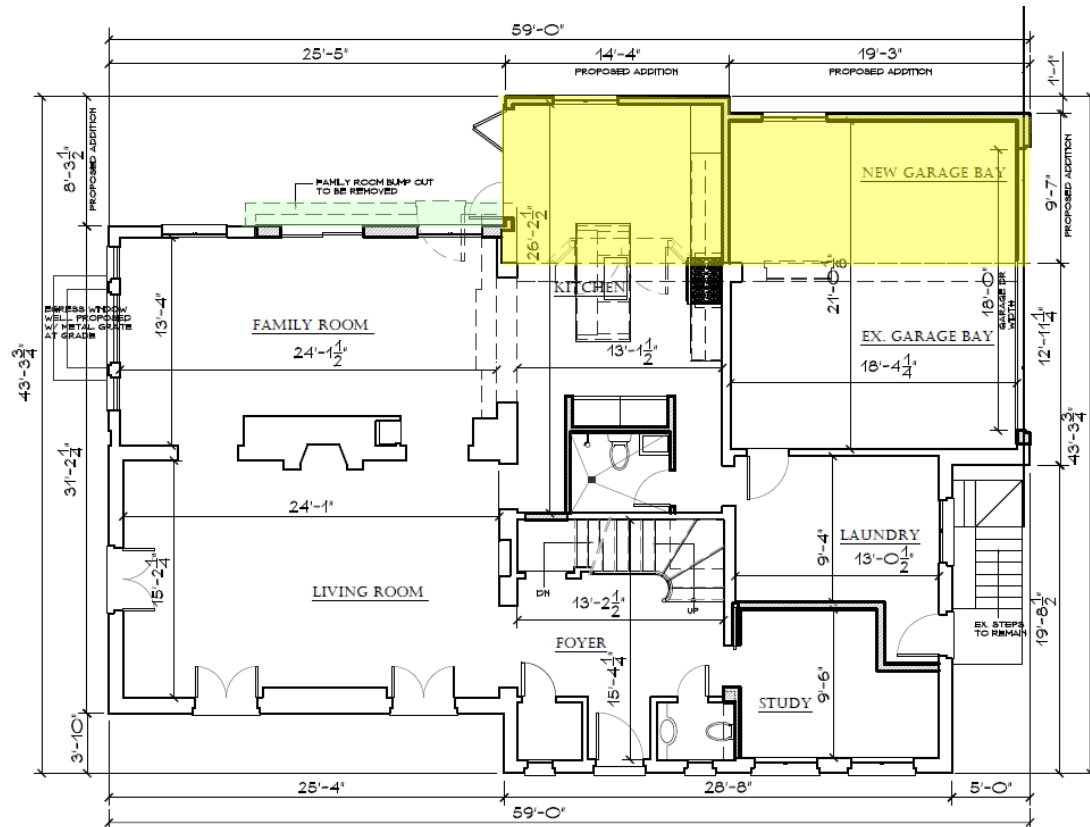


Figure 2 – Amended First Floor Plan

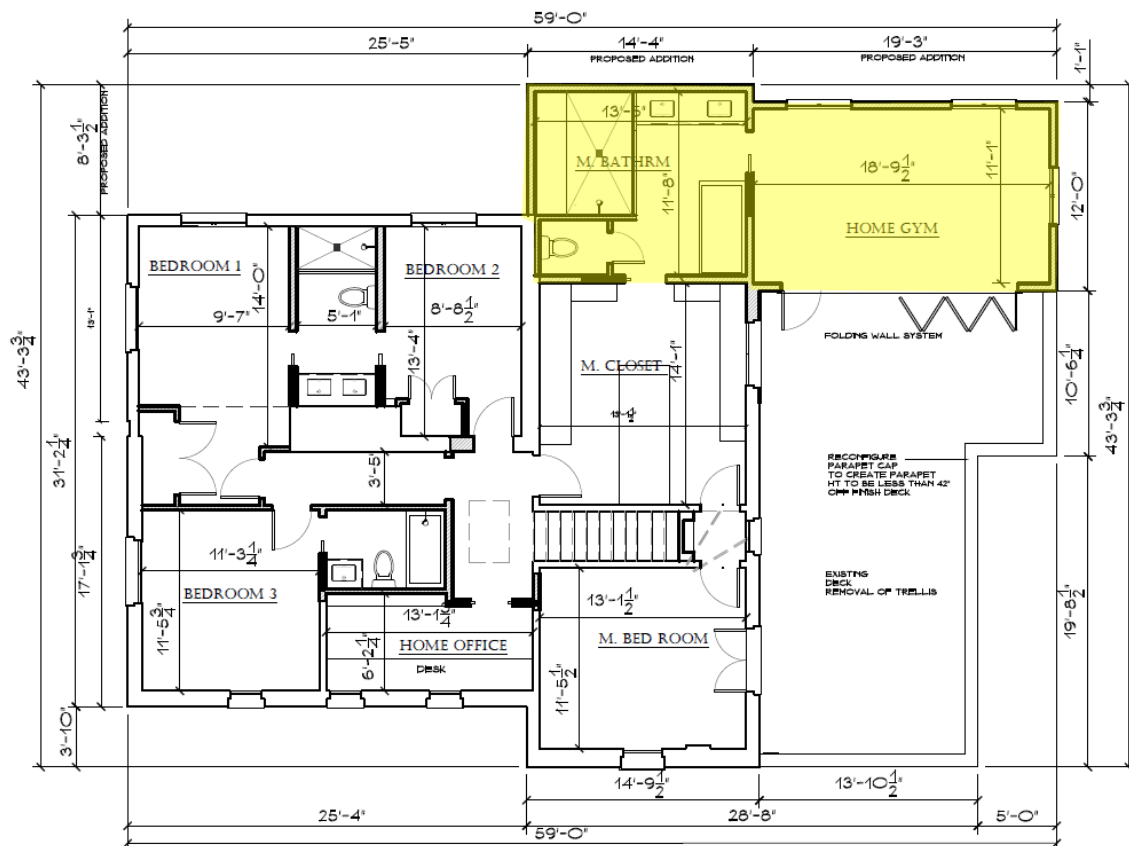


Figure 3 – Amended Second Floor Plan



Figure 4 – Amended Rear Building Elevation (West)



Figure 5 – Amended Corner Elevation (North)



Figure 6 – Amended Side Elevation (South)

REQUESTED ZONING RELIEF

The attached amended zoning matrix highlights the existing lot and the proposed improvement's compliance with the R-4 zoning district (Attachment A1). Six variations are still being requested: (1) roofed lot coverage; (2) gross floor area; (3) minimum corner yard setback; (4) minimum rear yard setback; (5) maximum front-facing attached garage width; and (6) maximum front-facing attached garage door width. However, the amended plan represents a reduction in the proposed roofed lot coverage, gross floor area, and front-facing attached garage width, as well as an increase in the proposed rear yard setback. The requested variations for the corner yard setback and the front-facing attached garage door width remain unchanged.

Maximum Roofed Lot Coverage (RLC). The site currently contains 1,837.24 square feet of RLC. The net increase in RLC with the proposed amended addition and removal of a portion of the existing family room is 291.38 square feet, bringing the total RLC to 2,128.62 square feet, whereas a maximum of 2,114.59 square feet is permitted, a variation of 14.03 square feet (0.66%). The amended plan represents a reduction of 97.4 square feet from the original proposal.

Maximum Building Size (GFA). The site currently contains 3,631.88 square feet of GFA, exceeding the maximum permitted GFA by 499.16 square feet. The net increase in GFA with the proposed amended plan is 146.81 square feet; bringing the total GFA to 3,778.69 square feet, whereas a maximum of 3,132.72 square feet is permitted, a variation of 645.97 square feet (20.62%). This is a reduction of 153.58 square feet from the original proposal.

Corner Yard Setback (Private Road Easement). The existing residence is legally nonconforming with respect to the required corner yard setback as it currently provides a corner yard setback of 5.65 feet from the outer limits of the private road easement along the north property line of the Subject Property, encroaching the minimum required setback of 22.82 feet by 17.17 feet. The proposed addition would provide a corner yard setback of 8.3 feet, requiring a variation of 14.52 feet (63.63%). The proposed corner yard setback would remain the same with the amended plan.

Rear Yard Setback (West Property Line). The existing residence is also legally nonconforming with respect to the minimum required rear yard setback as it currently provides a rear yard setback of 14 feet from the west property line, encroaching the minimum required setback of 15.45 feet by 1.45 feet. The proposed amended addition would provide a rear yard setback of 7.08 feet, requiring a variation of 8.37 feet (54.17%). This is an increase of 1.98 feet from the rear yard setback proposed on the original plan.

Front-Facing Attached Garage Width. The existing attached garage is 12.94 feet in width. The proposed additional garage bay, which would measure 9.58 feet in width, would bring the total width of the garage to 22.52 feet. The Zoning Ordinance allows a maximum width of 22 feet when an attached garage is part of the front elevation of the building. The amended plan represents a reduction of 2.42 feet in width for the garage from the original plan.

Front-Facing Attached Garage Door Width. The proposed garage door would be 18 feet in width, which is the same as originally proposed. The Zoning Ordinance allows a maximum of two individual 9-foot wide garage doors on a front-facing attached garage.

For those zoning requirements requiring variations, the following compares the Zoning Ordinance requirements, the existing conditions, as well as the difference between the originally proposed plan and the amended plan currently before the Board.

	CODE REQUIREMENT	EXISTING CONDITION	ORIGINAL PLAN	AMENDED PLAN
MAXIMUM ROOFED LOT COVERAGE	2,114.59 square feet	1,837.24 square feet	2,226.02 square feet	2,128.62 square feet
MAXIMUM GROSS FLOOR AREA	3,132.72 square feet	3,631.88 square feet	3,932.27 square feet	3,778.69 square feet
MINIMUM CORNER YARD SETBACK	22.82 feet	5.64 feet	8.3 feet	8.3 feet
MINIMUM REAR YARD SETBACK	15.45 feet	14 feet	5.1 feet	7.08 feet
MAXIMUM FRONT-FACING ATTACHED GARAGE WIDTH	22 feet	12.54 feet	24.94 feet	22.52 feet
MAXIMUM FRONT-FACING GARAGE DOOR WIDTH	Two 9-foot wide doors	One 9.75-foot wide door	One 18-foot wide door	One 18-foot wide door

FINDINGS

Does the ZBA find that the requested variations meet the standards for granting such variations; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variations granting:

1. Roofed Lot Coverage of 2,128.62 square feet, whereas a maximum of 2,114.59 square feet is permitted, a variation of 14.03 square feet (0.66%) [Section 17.30.030 – Intensity of Use of Lot];
2. Gross Floor Area (GFA) of 3,778.69 square feet, whereas a maximum of 3,132.72 square feet is permitted, a variation of 645.97 square feet (20.62%) [Section 17.30.040 – Maximum Building Size];
3. Corner Yard Setback of 8.3 feet from the private road easement along the north property line, whereas a minimum of 22.82 feet is required, a variation of 14.52 feet (63.63%) [Section 17.30.050 – Front and Corner Yard Setbacks];
4. Rear Yard Setback of 7.08 feet from the west property line, whereas a minimum of 15.45 feet is required, a variation of 8.37 feet (54.17%) [Section 17.30.070 – Rear Yard Setback];
5. Front-facing attached garage width of 22.52 feet, whereas a maximum width of 22 feet is permitted, a variation of 0.52 feet (2.36%) [Section 17.30.110 – Garages]; and
6. Front-facing attached garage door width of 18 feet, whereas a maximum width of 9 feet is permitted for an individual door, a variation of 9 feet (100%) [Section 17.30.110 – Garages].

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variations requested are **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **has been met [has not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
3. The variation, if granted, will not alter the essential character of the locality.
4. An adequate supply of light and air to the adjacent property will not be impaired.
5. The hazard from fire and other damages to the property will not be increased.
6. The taxable value of the land and buildings throughout the Village will not diminish.
7. The congestion in the public street will not increase.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

ATTACHMENTS

Attachment A1: Amended Zoning Matrix

Attachment B1: Applicant's Revised Plans

Attachment C1: December 8, 2022, ZBA Staff Report and Attachments

Attachment D1: Public Correspondence

ATTACHMENT A1

ZONING MATRIX

(Amended 01.03.2023)

ADDRESS: 232 Sheridan Road

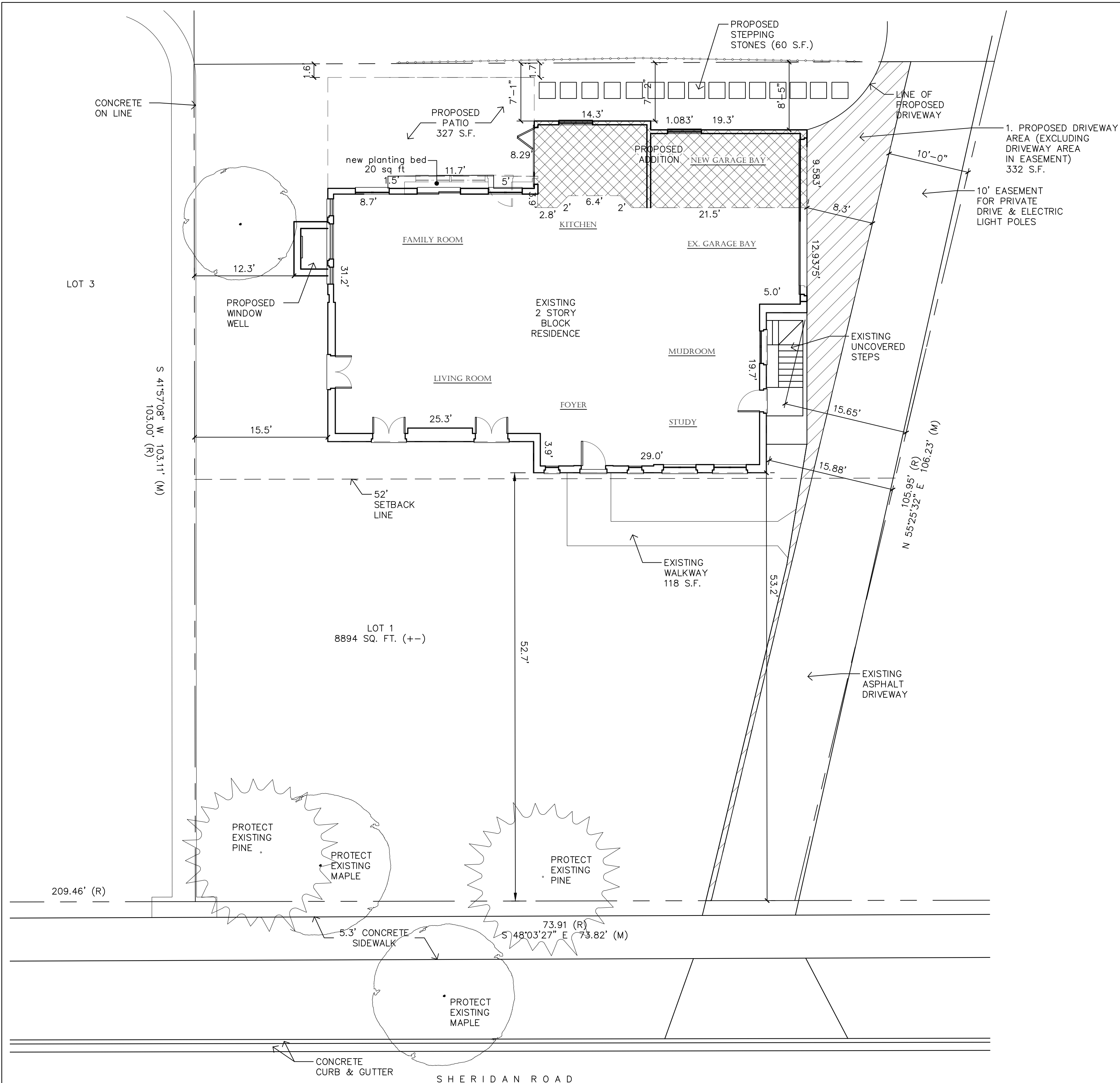
CASE NO: 22-30-V2

ZONING: R-4

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	13,300 SF	7,831.8 SF	N/A	N/A	EXISTING NONCONFORMING
Min. Average Lot Width	70 FT	76.04 FT	N/A	N/A	OK
Min. Lot Depth	120 FT	103 FT	N/A	N/A	EXISTING NONCONFORMING
Max. Roofed Lot Coverage	2,114.59 SF (1)	1,837.24 SF	2,128.62 SF	291.38 SF	14.03 SF (0.66%) VARIATION
Max. Gross Floor Area	3,132.72 SF (1)	3,631.88 SF	3,778.69 SF	146.81 SF	645.97 SF (20.62%) VARIATION
Max. Impermeable Lot Coverage	3,915.9 SF (1)	3,196.24 SF	3,093.43 SF	-102.81 FT	OK
Max. Front Yard Lot Coverage	575 SF	0 FT	0 FT	0 FT	OK
Min. Front Yard (Sheridan/East)	30 FT	52.7 FT	52.7 FT	0 FT	OK
Min. Corner Yard (Private Easement/North)	22.82 FT	5.65 FT	8.3 FT (3)	0 FT	14.52 FT (63.63%) VARIATION
Min. Side Yard (South)	7.6 FT	15.5 FT	15.5 FT	0 FT	OK
Min. Rear Yard (West)	15.45 FT	14 FT	7.08 FT	-6.92 FT	8.37 FT (54.17%) VARIATION

NOTES:

- (1) Based on net lot area of 7,831.8 s.f. Gross lot area is 8,894 s.f. Area private road easement (1,062.2 s.f.) is excluded from the lot area for zoning purposes).
- (2) Variation amount is the difference between proposed and requirement.
- (3) Existing nonconforming setback of 5.65 feet will remain. Proposed addition would provide a setback of 8.3 feet from the outer limits of the private road easement.



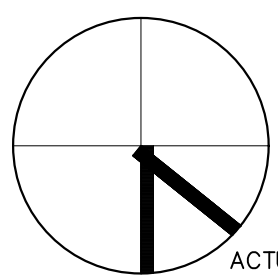
ALL EXISTING SITE INFORMATION DERIVED FROM PROPERTY BOUNDARY SURVEY PREPARED FOR:

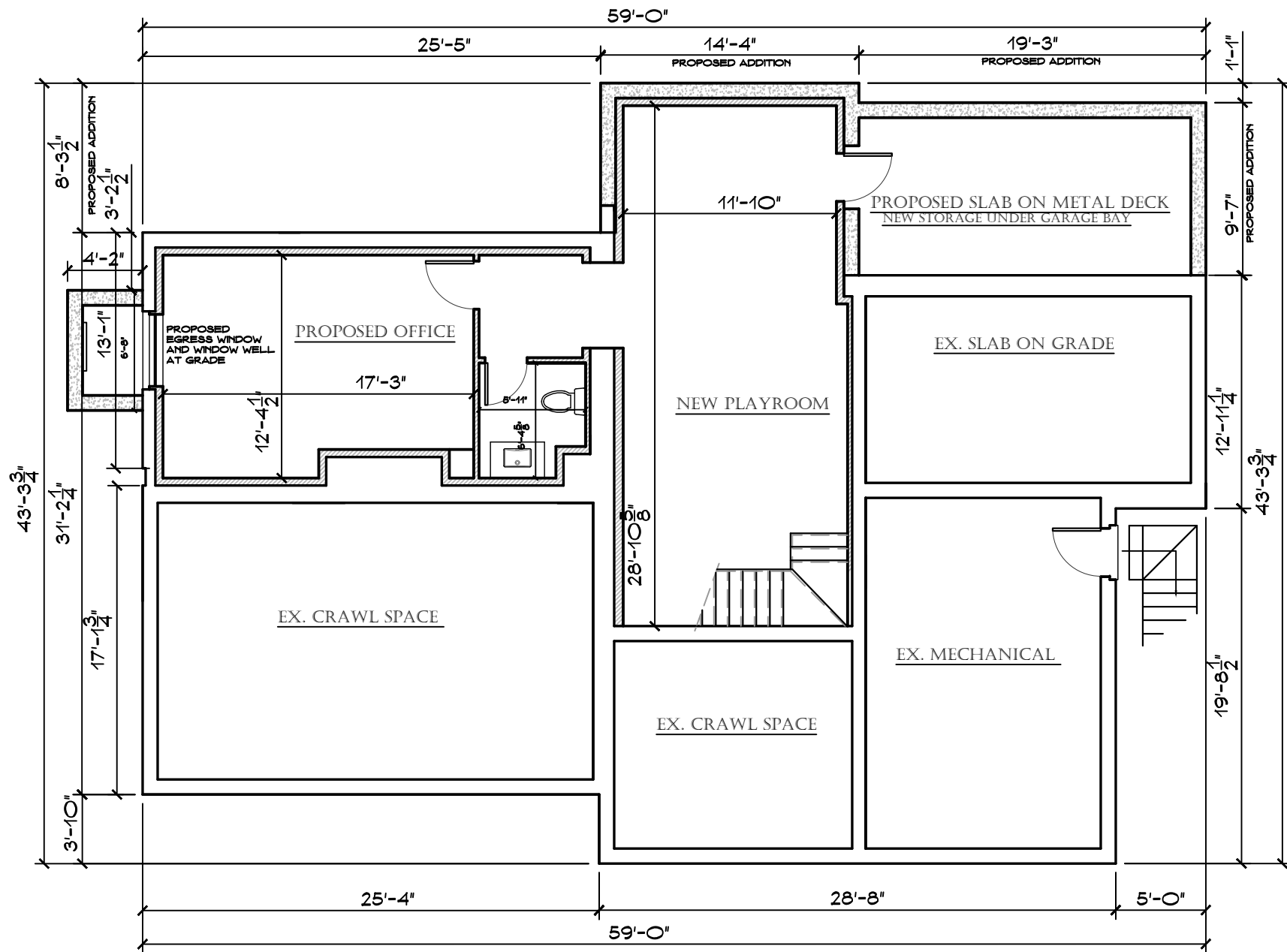
WILLIAM & AMY FRANZEN
232 SHERIDAN ROAD
WINNETKA, IL 60093

BY:

EXACTA LAND SURVEYORS, LLC
316 EAST JACKSON STREET
MORRIS, IL 60450
(773) 305-4011
SURVEY #: 2207.2860
DATED: 11.04.22 (REV.)

FOR TOWN APPROVALS ONLY
11.15.22 r 12.15.22

ADDRESS OF CONSTRUCTION: 232 SHERIDAN ROAD WINNETKA, IL 60093		DATE:
LOT #: 1 ZONE: R-4		
APPLICANT: FRANZEN ASSOCIATES 95 HARBOR ROAD SOUTHPORT, CT 06890		
OWNER OF RECORD: WILLIAM & AMY FRANZEN 232 SHERIDAN ROAD WINNETKA, IL 60093		
PROPOSED SITE PLAN		
FRANZEN ASSOCIATES 95 HARBOR ROAD SOUTHPORT, CT 06890 TEL: (203) 259-0529 Fax: (203) 254-6497 ©		SCALE: 1/8" = 1' - 0" DRAWN BY: RFA PROJECT #: 122021 DRAWING #: SP-1
 PROJECT NORTH ACTUAL NORTH		



FOUNDATION - BASEMENT PROPOSED
SCALE 1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
55 HARBOR ROAD
SOUTHBURY, CT 06480
(203) 239-0029

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
DEC. 15, 2022

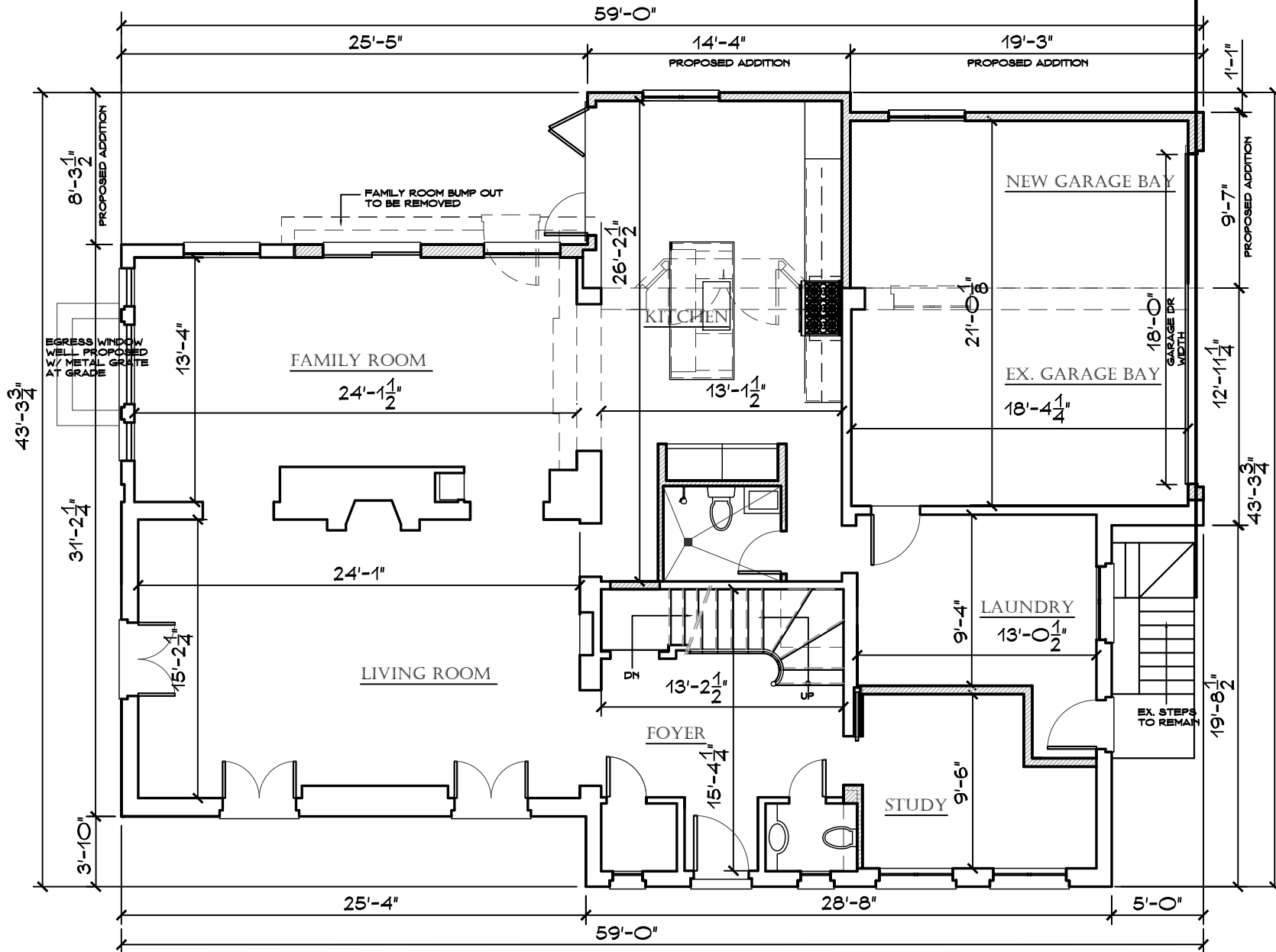
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO.
093022

DRAWING NO.

A-0



FIRST FLOOR - PROPOSED

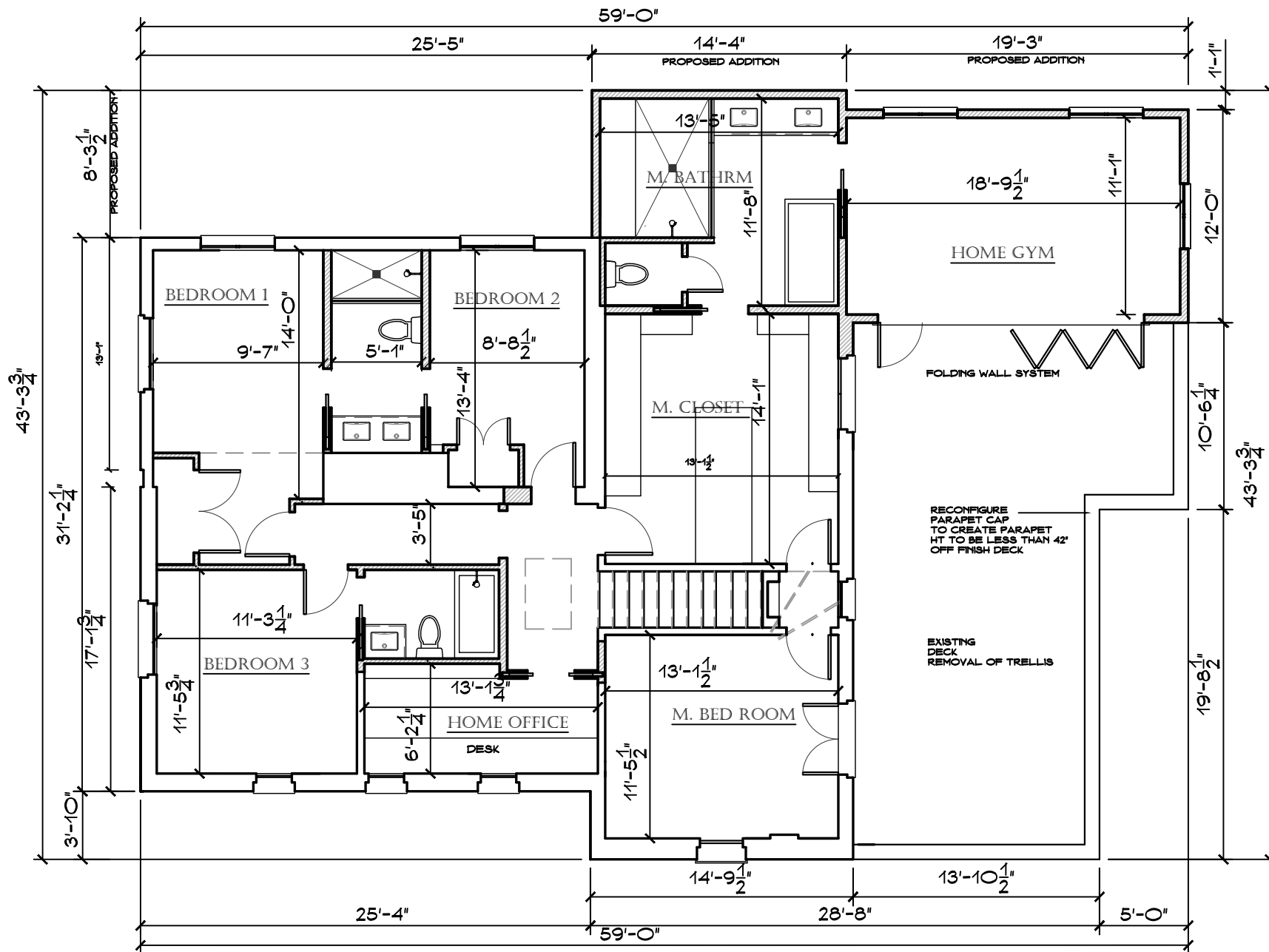
SCALE

1/8"=1'-0"

ALTERATIONS AND ADDITIONS TO THE RESIDENCE MR. AND MRS. FRANZEN 232 SHERIDAN ROAD WINNETKA IL	SCALE AS NOTED	DATE OCT. 31, 2022 NOV. 16, 2022 DEC. 16, 2022
	DRAWN BY JTS	
	JOB NO 093022	
	DRAWING NO A-1	
PROPOSED PLANS AND ELEVATIONS		©

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
50 HARBOR ROAD
SOUTHPORT, CT 06480
(203) 259-0029



SECOND FLOOR - PROPOSED

SCALE

1/8"=1'-0"

SCALE AS NOTED	ALTERATIONS AND ADDITIONS TO THE RESIDENCE MR. AND MRS. FRANZEN 232 SHERIDAN ROAD WINNETKA IL		
	DRAWN BY JTS		
	JOB NO 093022		
	DRAWING NO A-2		
PROPOSED PLANS AND ELEVATIONS		DATE OCT. 31, 2022	NOV. 15, 2022
JPF FRANZEN ASSOCIATES ARCHITECTS, P.C. THE MILL BUILDING 95 HARBOR ROAD SOUTHPORT, CT 06480 (203) 239-0029			



FRONT (EAST-STREET SIDE) ELEVATION-PROPOSED

SCALE

1/8"=1'-0"

**J.P.FRANZEN
ASSOCIATES
ARCHITECTS. P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06480
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022
DEC. 15, 2022

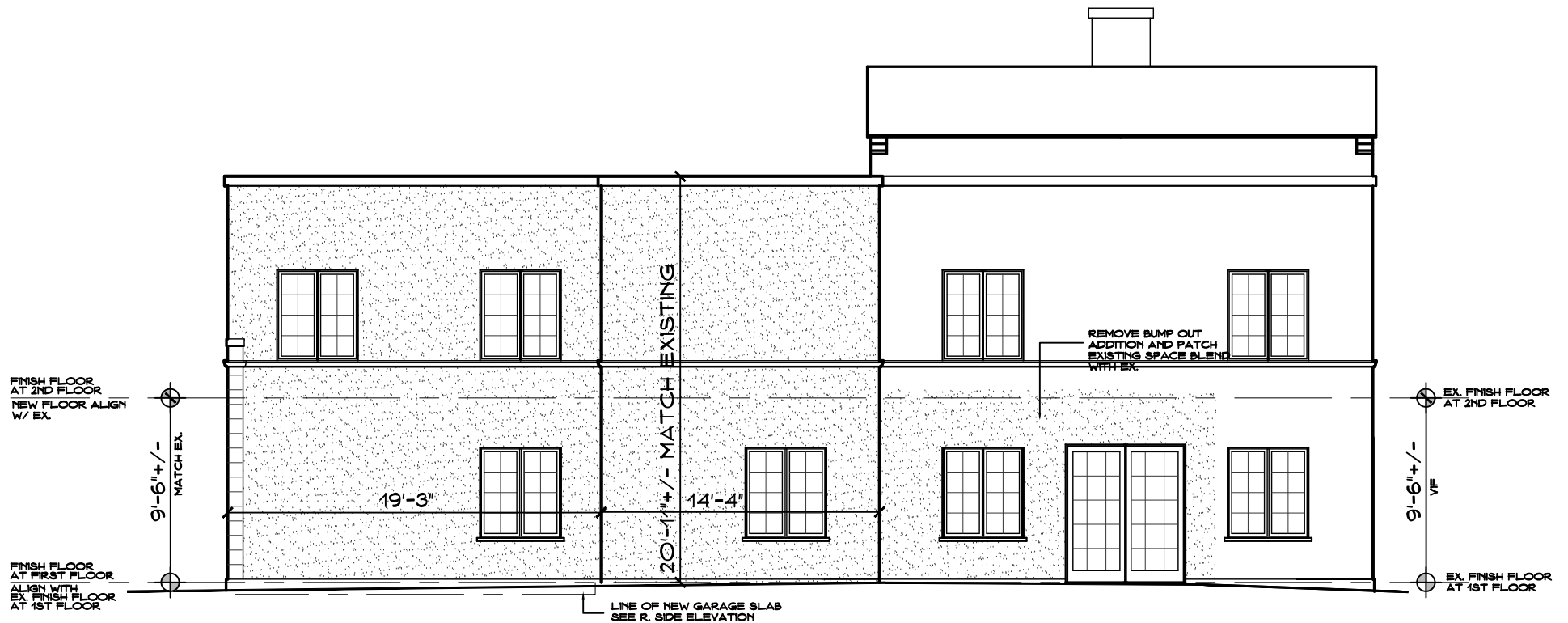
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-3



REAR (WEST) ELEVATION -PROPOSED

SCALE 1/8"=1'-0"

**J.P.FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0529

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN

232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022
DEC. 15, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-4



R. SIDE (NORTH) ELEVATION-PROPOSED

SCALE

1/8"=1'-0"

**J.P.FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHFORD, CT 06480
(203) 239-0529

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022
DEC. 15, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-5



L. SIDE (SOUTH) ELEVATION-PROPOSED

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS. P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022
DEC. 16, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-6



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: DECEMBER 8, 2022
SUBJECT: 232 SHERIDAN ROAD – VARIATIONS (CASE NO. 22-30-V2)

INTRODUCTION

On December 12, 2022, the Zoning Board of Appeals (ZBA) is scheduled to hold a public hearing on an application submitted by Amy and William Franzen (collectively the “Applicant”) as the owners of the property located at 232 Sheridan Road (the “Subject Property”). The Applicant requests approval of the following zoning variations to allow construction of an addition to the existing residence on the Subject Property:

1. **Roofed Lot Coverage** of 2,226.02 square feet, whereas a maximum of 2,114.59 square feet is permitted, a variation of 111.43 square feet (5.27%) [Section 17.30.030 – Intensity of Use of Lot];
2. **Gross Floor Area (GFA)** of 3,932.27 square feet, whereas a maximum of 3,132.72 square feet is permitted, a variation of 799.55 square feet (25.52%) [Section 17.30.040 – Maximum Building Size] [Note: The existing residence currently consists of 3,631.88 square feet. The proposed addition would add 300.39 square feet of GFA];
3. **Corner Yard Setback** of 8.3 feet from the private road easement along the north property line, whereas a minimum of 22.82 feet is required, a variation of 14.52 feet (63.63%) [Section 17.30.050 – Front and Corner Yard Setbacks] [Note: The residence currently provides a corner yard setback of 5.65 feet];
4. **Rear Yard Setback** of 5.1 feet from the west property line, whereas a minimum of 15.45 feet is required, a variation of 10.35 feet (66.99%) [Section 17.30.070 – Rear Yard Setback] [Note: The residence currently provides a rear yard setback of 14 feet];
5. **Front-facing attached garage width** of 24.94 feet, whereas a maximum width of 22 feet is permitted, a variation of 2.94 feet (13.36%) [Section 17.30.110 – Garages]; and
6. **Front-facing attached garage door width** of 18 feet, whereas a maximum width of 9 feet is permitted for an individual door, a variation of 9 feet (100%) [Section 17.30.110 – Garages].

A mailed notice was sent to property **owners** within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Winnetka Talk* on November 24, 2022. As of the date of this memo, staff has not received any written comment from the public regarding this application.

The Village Council has final jurisdiction on this request as only the Council has the authority to grant variations to (i) allow a zoning lot with a pre-FAR building (constructed prior to 1989) to exceed the maximum permitted GFA by more than 10%; and (ii) reduce a corner yard setback or a rear yard setback

for a principal building by more than 50% of the required setback. Typically, the ZBA has final jurisdiction on requests to exceed the maximum permitted roofed lot coverage by no more than 20%. Additionally, the Zoning Administrator typically has final jurisdiction on requests to exceed the permitted width for front-facing attached garages and garage doors; however, since this request includes additional zoning relief for which the ZBA and the Zoning Administrator do not have jurisdiction, the Village Council also has final jurisdiction on the requests to exceed the permitted roofed lot coverage and width for a front-facing attached garage and garage door.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.18 acres in size, is located on the west side of Sheridan Road, between Fuller and Elder Lanes, and contains an existing two-story residence with an attached garage (see Figure 1). The Subject Property is not a rectangular shape. It is a trapezoid shape with a front lot line, which runs along Sheridan Road, that is narrower than the rear lot line, which is the west property line. Also, the corner lot line, along the private road, is not perpendicular to the front lot line (see Figure 2). The property is zoned R-4 Single Family Residential, and it is bordered by R-4 Single Family Residential to the north, south, and west, and R-2 Single Family Residential to the east (see Figure 3). The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The zoning of the property is consistent with the Comprehensive Plan.

The existing lot is a legal nonconforming corner lot that is 7,831.8 square feet in net lot area (the area of the private road easement is excluded from the lot area for zoning purposes), while the minimum required lot area for a corner lot in the R-4 District is 13,300 square feet. Also, the lot is 103 feet in depth, while the minimum required lot depth for a lot in the R-4 District is 120 feet.

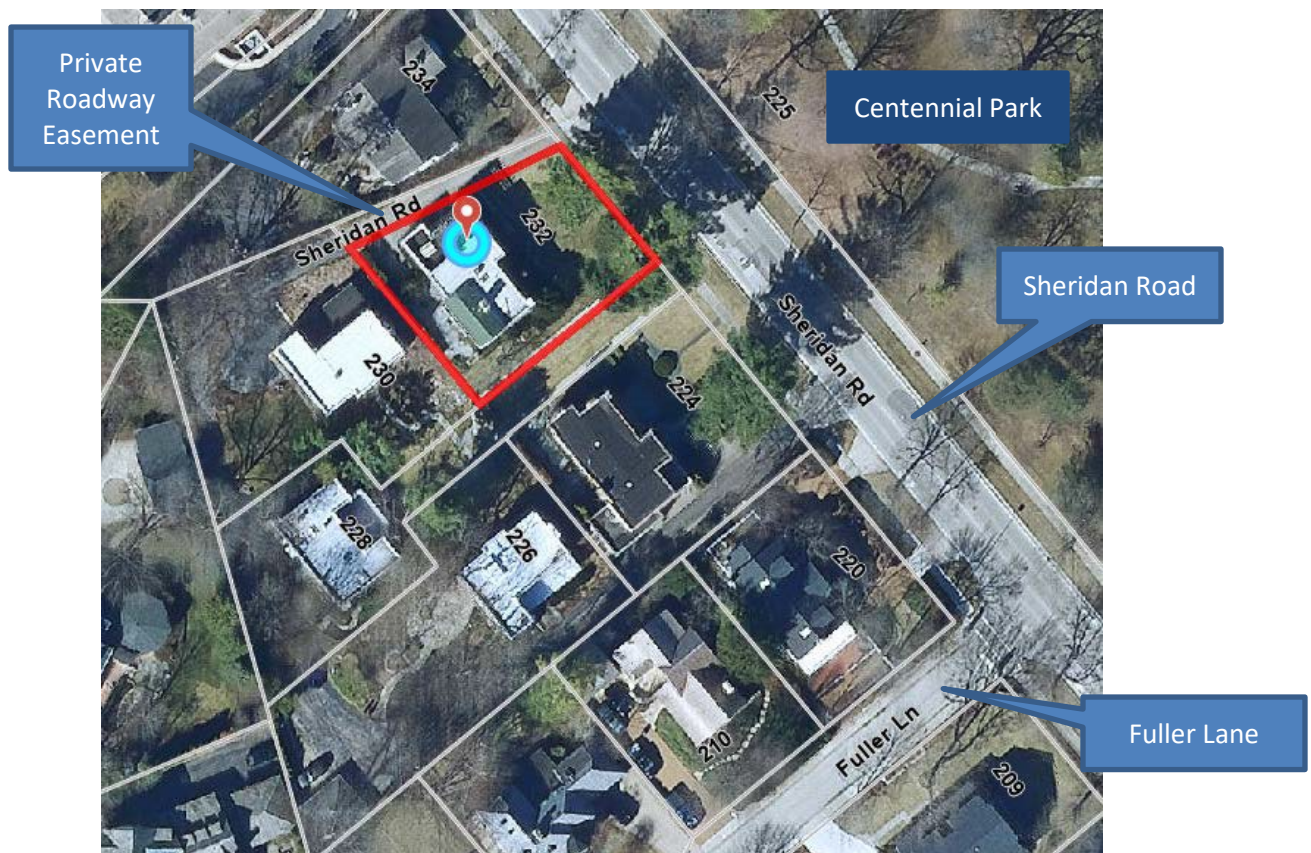


Figure 1 – Aerial Map

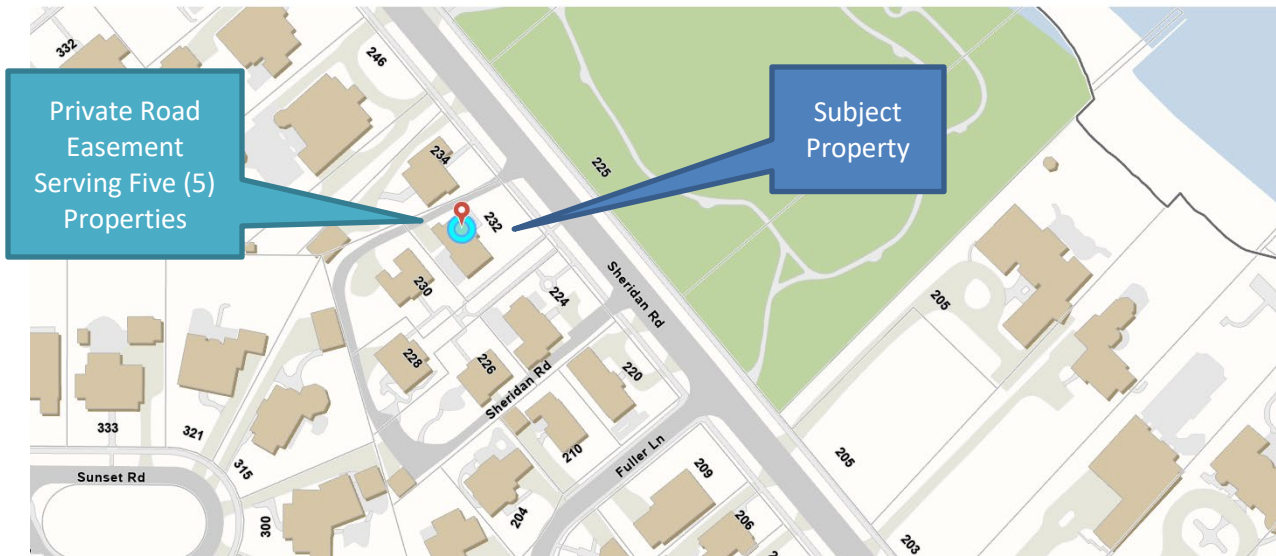


Figure 2 – GIS Map View



Figure 3 – Zoning Map

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The residence was built in 1926. The following subsequent building permits were issued in:

1. 1991 to construct an addition and remodel the residence; and
2. 1999 to construct a trellis over the existing second floor deck.

The Applicant acquired the property in August 2022. There are no previous zoning cases on file for the Subject Property.

Figures 4 and 5 on the following page are current photos of the site.



Figure 4 – Subject Property (Front Elevation – Sheridan Road)



Figure 5 – Subject Property (Southerly Front Elevation)

PROPOSED PLAN

The variations are being requested in order to construct a two-story addition on the west side of the existing residence. The proposed addition on the first floor includes expansion of the existing one-car attached garage into a two-car garage as well as expansion of the kitchen. The second-floor addition immediately above the first floor addition would consist of a home gym and a primary bathroom.

The existing parapet walls on the north side of the second floor are 3.58 feet in height, requiring the existing roof deck (515 square feet) to be included in the calculation of existing GFA. According to the definition of GFA in the Zoning Ordinance, “all areas of a building or structure that have exterior walls that extend more than 3.5 feet above the floor on two or more sides of such area” are included in the calculation of GFA. The proposed plans include removal of the existing trellis and reducing the height of the parapet walls to less than 3.5 feet so that the roof deck would no longer be included in the calculation of GFA. Therefore, the net increase in GFA is approximately 300 square feet. The proposed increase in roofed lot coverage is approximately 389 square feet. The proposed addition is described as follows:

First Floor:

- One additional garage bay measuring 19.25 feet by 12 feet (231 square feet); and
- Kitchen addition measuring approximately 164 square feet.

Second Floor:

- Primary bathroom addition measuring approximately 180 square feet; and
- Home gym addition measuring approximately 246 square feet.

Excerpts of the proposed site plan, floor plans, and proposed building elevations are provided on the following pages as Figures 6 through 12. The complete set of plans are provided in the application materials (Attachment C).

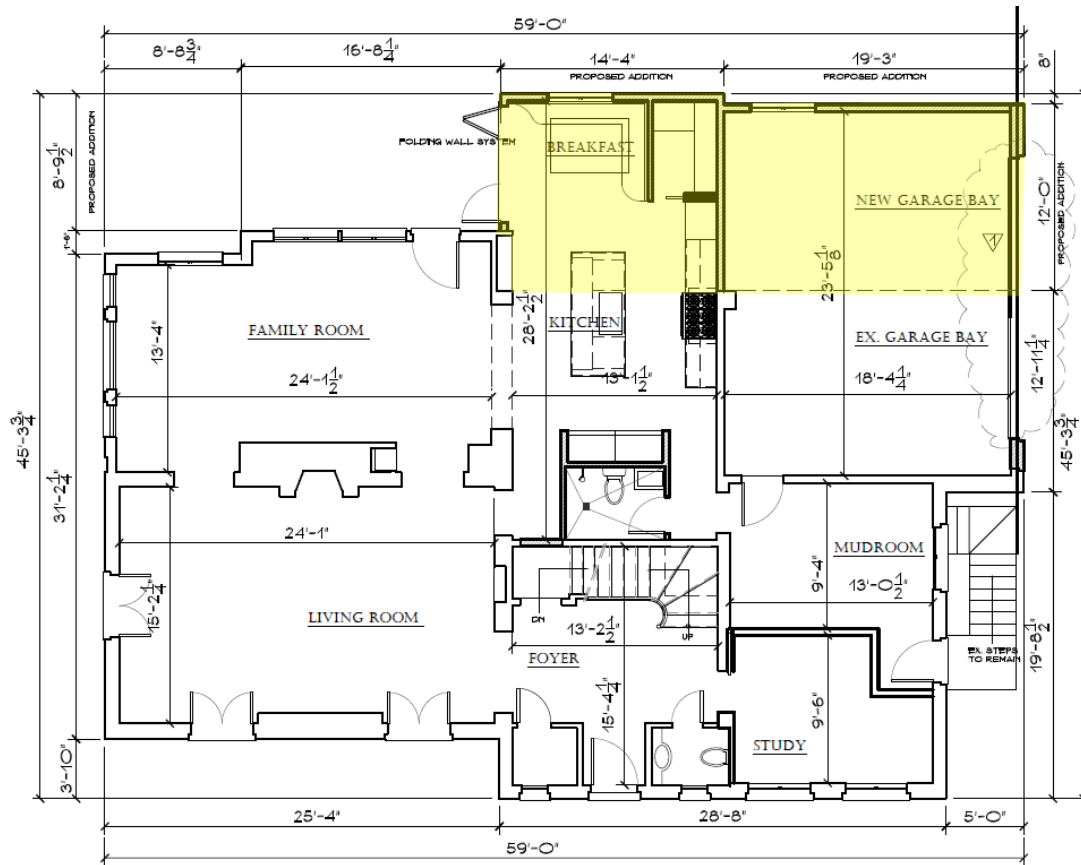


Figure 7 – Proposed First Floor Plan

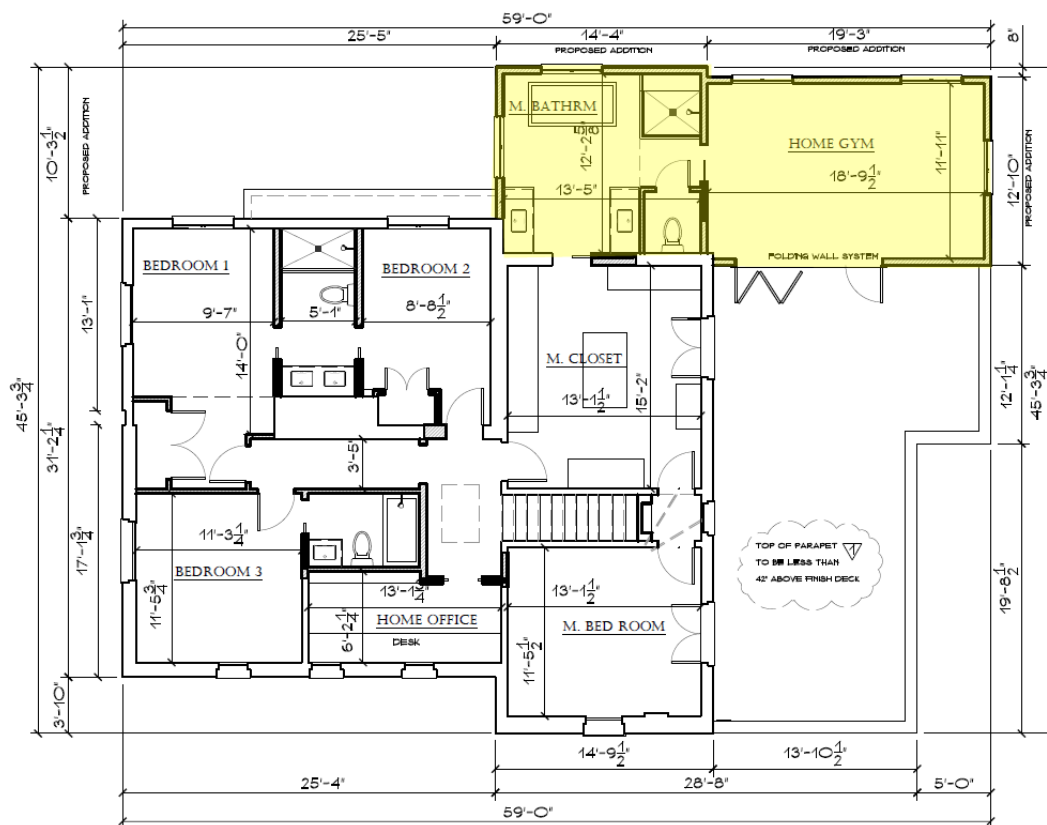


Figure 8 – Proposed Second Floor Plan



Figure 9 – Proposed Front Elevation (Sheridan Road)



Figure 10 – Proposed Rear Elevation (West)

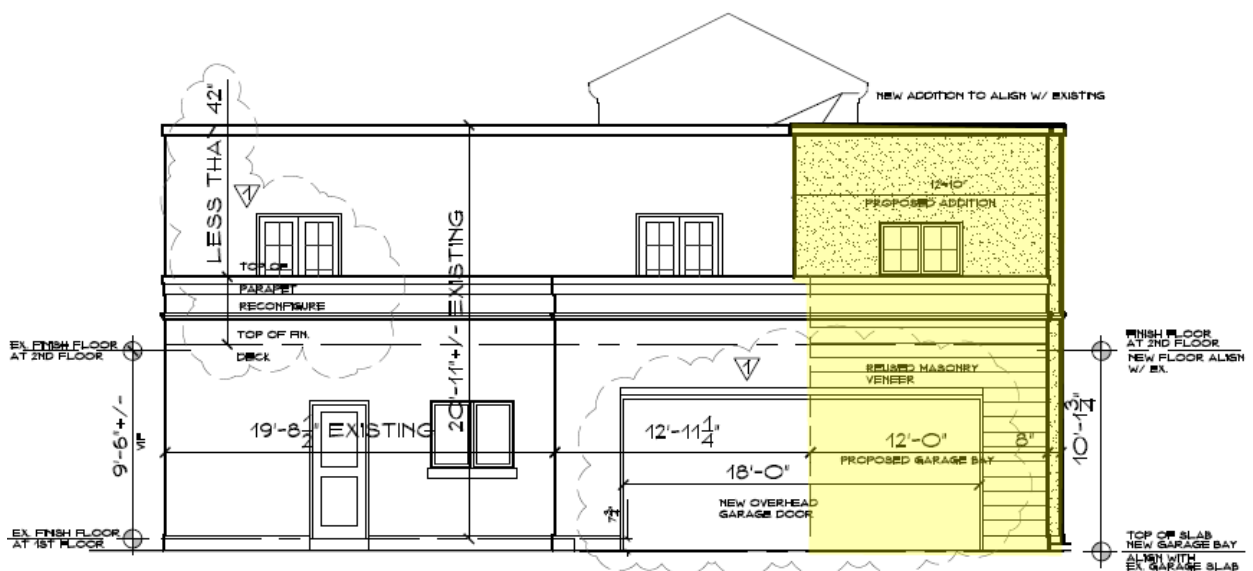


Figure 11 – Proposed Corner Elevation (North)



Figure 12 – Proposed Side Elevation (South)

Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, attached is a Stormwater Matrix (Attachment B). Based on the proposed plan, which represents a reduction in impermeable lot coverage, it appears additional stormwater detention would not be required. However, a final determination will be made by Village Engineering staff. Figure 13 below represents the Subject Property's proximity to the floodplain; the cyan represents the 100-year flood area.

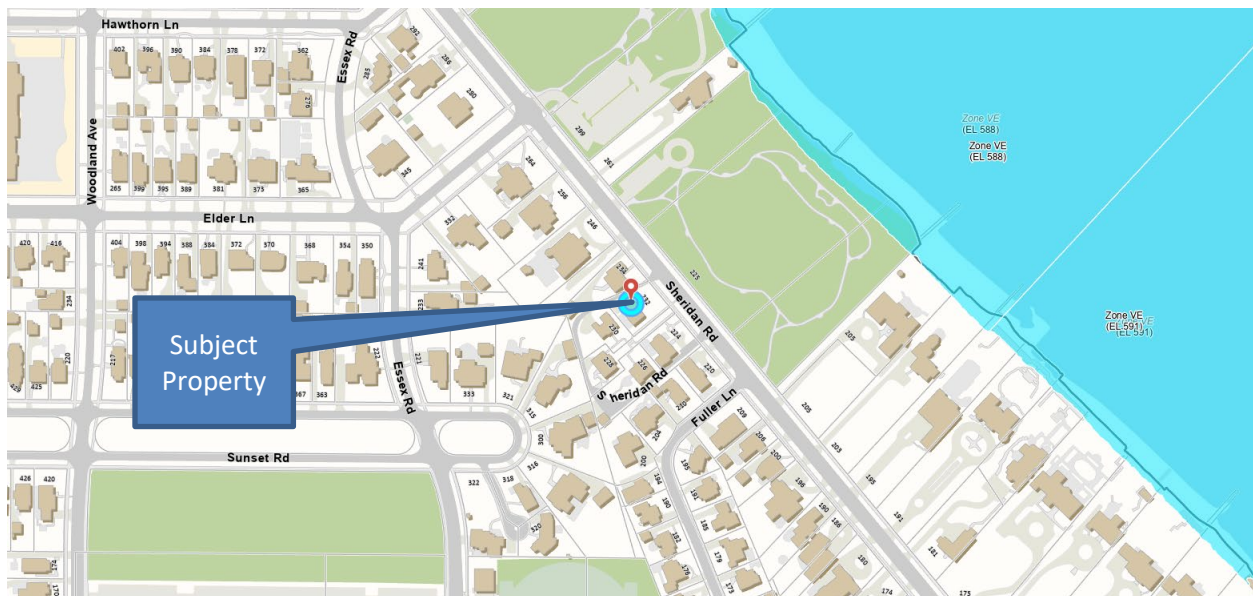


Figure 13 – GIS Floodplain Map

REQUESTED ZONING RELIEF

The attached Zoning Matrix highlights the existing lot and the proposed improvement's compliance with the R-4 zoning district (Attachment A). Six variations are being requested: (1) roofed lot coverage; (2)

gross floor area; (3) minimum corner yard setback; (4) minimum rear yard setback; (5) maximum front-facing attached garage width; and (6) maximum front-facing attached garage door width.

Maximum Roofed Lot Coverage (RLC). The site currently contains 1,837.24 square feet of RLC. The increase in RLC with the proposed addition is 388.78 square feet, bringing the total RLC to 2,226.02 square feet, whereas a maximum of 2,114.59 square feet is permitted, a variation of 111.43 square feet (5.27%).

Maximum Building Size (GFA). The site currently contains 3,631.88 square feet of GFA, exceeding the maximum permitted GFA by 499.16 square feet. The net increase in GFA with the proposed addition is 300.39 square feet, bringing the total GFA to 3,932.27 square feet, whereas a maximum of 3,132.72 square feet is permitted, a variation of 799.55 square feet (25.52%).

Corner Yard Setback (Private Road Easement). The existing residence is legally nonconforming with respect to the required corner yard setback as it currently provides a corner yard setback of 5.65 feet from the outer limits of the private road easement along the north property line of the Subject Property, encroaching the minimum required setback of 22.82 feet by 17.17 feet. The proposed addition would provide a corner yard setback of 8.3 feet, requiring a variation of 14.52 feet (63.63%).

Rear Yard Setback (West Property Line). The existing residence is also legally nonconforming with respect to the minimum required rear yard setback as it currently provides a rear yard setback of 14 feet from the west property line, encroaching the minimum required setback of 15.45 feet by 1.45 feet. The proposed addition would provide a rear yard setback of 5.1 feet, requiring a variation of 10.35 feet (66.99%).

Front-Facing Attached Garage Width. The existing attached garage is 12.94 feet in width. The proposed additional garage bay, which would measure 12 feet in width, would bring the total width of the garage to 24.94 feet. The Zoning Ordinance allows a maximum width of 22 feet when an attached garage is part of the front elevation of the building.

Front-Facing Attached Garage Door Width. The proposed garage door would be 18 feet in width. The Zoning Ordinance allows a maximum of two individual 9-foot wide garage doors on a front-facing attached garage.

FINDINGS

Section 17.60.040 of the Zoning Ordinance lists eight variation standards that the Board must find a variation application meets. The Applicant has supplied as part of their application materials a narrative addressing how this proposal meets these standards.

Does the ZBA find that the requested variations meet the standards for granting such variations; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variations granting:

1. Roofed Lot Coverage of 2,226.02 square feet, whereas a maximum of 2,114.59 square feet is permitted, a variation of 111.43 square feet (5.27%) [Section 17.30.030 – Intensity of Use of Lot];

2. Gross Floor Area (GFA) of 3,932.27 square feet, whereas a maximum of 3,132.72 square feet is permitted, a variation of 799.55 square feet (25.52%) [Section 17.30.040 – Maximum Building Size];
3. Corner Yard Setback of 8.3 feet from the private road easement along the north property line, whereas a minimum of 22.82 feet is required, a variation of 14.52 feet (63.63%) [Section 17.30.050 – Front and Corner Yard Setbacks];
4. Rear Yard Setback of 5.1 feet from the west property line, whereas a minimum of 15.45 feet is required, a variation of 10.35 feet (66.99%) [Section 17.30.070 – Rear Yard Setback];
5. Front-facing attached garage width of 24.94 feet, whereas a maximum width of 22 feet is permitted, a variation of 2.94 feet (13.36%) [Section 17.30.110 – Garages]; and
6. Front-facing attached garage door width of 18 feet, whereas a maximum width of 9 feet is permitted for an individual door, a variation of 9 feet (100%) [Section 17.30.110 – Garages].

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variations requested are **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **have been met [have not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
3. The variation, if granted, will not alter the essential character of the locality.
4. An adequate supply of light and air to the adjacent property will not be impaired.
5. The hazard from fire and other damages to the property will not be increased.
6. The taxable value of the land and buildings throughout the Village will not diminish.
7. The congestion in the public street will not increase.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Stormwater Matrix

Attachment C: Application Materials

ATTACHMENT A

ZONING MATRIX

ADDRESS: 232 Sheridan Road

CASE NO: 22-30-V2

ZONING: R-4

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	13,300 SF	7,831.8 SF	N/A	N/A	EXISTING NONCONFORMING
Min. Average Lot Width	70 FT	76.04 FT	N/A	N/A	OK
Min. Lot Depth	120 FT	103 FT	N/A	N/A	EXISTING NONCONFORMING
Max. Roofed Lot Coverage	2,114.59 SF (1)	1,837.24 SF	2,226.02 SF	388.78 SF	111.43 SF (5.27%) VARIATION
Max. Gross Floor Area	3,132.72 SF (1)	3,631.88 SF	3,932.27 SF	300.39 SF	799.55 SF (25.52%) VARIATION
Max. Impermeable Lot Coverage	3,915.9 SF (1)	3,196.24 SF	3,188.83 SF	-7.41 FT	OK
Max. Front Yard Lot Coverage	575 SF	0 FT	0 FT	0 FT	OK
Min. Front Yard (Sheridan/East)	30 FT	52.7 FT	52.7 FT	0 FT	OK
Min. Corner Yard (Private Easement/North)	22.82 FT	5.65 FT	8.3 FT (3)	0 FT	14.52 FT (63.63%) VARIATION
Min. Side Yard (South)	7.6 FT	15.5 FT	15.5 FT	0 FT	OK
Min. Rear Yard (West)	15.45 FT	14 FT	5.1 FT	-8.9 FT	10.35 FT (66.99%) VARIATION

NOTES:

- (1) Based on net lot area of 7,831.8 s.f. Gross lot area is 8,894 s.f. Area private road easement (1,062.2 s.f.) is excluded from the lot area for zoning purposes).
- (2) Variation amount is the difference between proposed and requirement.
- (3) Existing nonconforming setback of 5.65 feet will remain. Proposed addition would provide a setback of 8.3 feet from the outer limits of the private road easement.

ATTACHMENT B

Stormwater Volume Requirements for Development Sites

In addition to meeting the following storm water volume detention requirements, development sites must meet all other Village storm water management requirements such as drainage and grading, storm water release rates, storage system design requirements, etc.

	Storm Water Detention Volume Requirements	Applicable Requirement
A. New Home Construction - Previously Developed Lot	The amount of additional required storm water detention volume is based upon the difference between maximum impermeable lot coverage, per Zoning Code, and existing lot coverage, using the run-off coefficient for a 100-year storm event for both.	
B. New Home Construction - Previously <u>Undeveloped</u> Site	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
C. Redevelopment of Site for Different Use (e.g. single family to multi-family, or commercial)	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
D. Improvements to Existing Home and/or Lot, causing an increase in impermeable lot coverage <u>greater or equal to 25%</u>.	The amount of additional required storm water detention volume is based upon the difference between the proposed and existing impermeable lot coverage, using the run-off coefficient for 100 year storm event. (Note: If the increase in impermeable lot coverage is less than 25%, additional storm water detention volume is <u>not</u> required.)	<i>Applies to 232 Sheridan Road</i> <i>Based upon preliminary review of information to date, it appears that 232 Sheridan Road <u>would not</u> have to provide additional storm water detention volume. However, a final determination will be made by Village Engineering staff.</i>

ATTACHMENT C

Village of Winnetka
ZONING VARIATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 22-30-V2

Property Information

Site Address: 232 Sheridan Rd. Winnetka, IL 60093

Owner Information

Name: Amy and Willy Franzen
Address: [REDACTED] Sheridan Rd.
Winnetka, IL 60093
City, State, ZIP: [REDACTED]
Email: [REDACTED]

Primary Contact: Willy Franzen
Phone No. [REDACTED]
Date property acquired by owner: 8-15-2022

Architect Information

Name: J P Franzen Assoc.
Primary Contact: Jack Franzen
Address: 95 Harbor Rd.
Southport, CT 06890
City, State, ZIP: [REDACTED]
Phone No. 203-259-0529
Email: jpfranzen@mac.com

Attorney Information

Name: N.A.
Primary Contact: [REDACTED]
Address: [REDACTED]
City, State, Zip: [REDACTED]
Phone No. [REDACTED]
Email: [REDACTED]

Nature of any restrictions on property: 10' Easement on North side of property

Brief explanation of variation(s) requested (attach separate sheet providing additional details):
Variation to increase GFA and Building Roofed Coverage beyond that which is allowed and to
decrease rear and side setbacks to less than what is allowed. Permission to install over-sized
garage door. See attached narrative.

Property Owner Signature: [REDACTED]

Date: 11/9/2022

232 Sheridan Rd. Description of Work and Hardship

We are proposing to expand the existing single family residence at 232 Sheridan Rd. by means of an addition to the rear of the existing structure. The additional roofed area as a result of the proposed addition would be 398.6 SF. The addition is composed of two masses. The Northerly volume is a proposed Garage addition with living space above. The adjacent Southerly volume is a proposed Kitchen addition with living space above. The resulting Roofed Building Coverage and GFA will be 2228 SF and 3945 GFA respectively.

The Roofed Building Coverage of 2228 SF will exceed the allowable (2115.3 SF) by 112.7 SF or 5.3%. The GFA will exceed the allowable (3133.8 SF) by 811.2 SF or 25.9%.

The Northerly volume of the addition would be set back from the Westerly (rear) property line by 6' as opposed to the required 15.45' and from the Northerly easement by 8.3' versus the required 22.81'.

The Southerly volume of the addition would be set back from the Westerly (rear) property line by 5.2' as opposed to the required 15.45'.

The addition of a double-wide garage door on the Northerly side also requires a variance.

We believe the strict application of the provisions of the zoning regulations would result in a clearly demonstrated practical difficulty or hardship and that such difficulty and hardship would justify our request. Specifically, addressing the Standards for Granting of Zoning Variations:

1. We believe the existing property is deficient in off-street covered parking.
2. The property is part of a five-lot subdivision that was developed in 1926 on the West side of Sheridan Rd. Because there is an encircling private road created by means of a 10' easement, the corner front yard setback 22.81' is measured from the easement- not the property line. Because of this, both the pre-existing nonconforming setback of 5.6' and the proposed setback to the Garage addition are deficient. Due to the angle of the Northerly property line, the proposed setback of 8.3' will be greater by about 2.7'. There is no other possible location to expand the Garage. The GFA of the existing structure is already in excess of the maximum (3620.4 SF existing versus 3133.8 SF allowed). Currently the 3620.4 SF of existing GFA includes 501 SF of deck space on the Second Floor due to the 43" parapets. The proposal is to raise the deck by several inches to improve drainage. Because of this, the parapet areas will no longer count towards GFA. We will be increasing the GFA by a net amount of 324.6 SF. The lot and structure were created prior to existing zoning regulations. The fact that the base lot area is further reduced for the purpose of calculations by the easement magnifies the non-conformity. Without the easement, this lot could support 3557.6 SF of GFA.

We are also requesting a variation for the installation of an 18' wide oversized garage door. The situation of the existing house parallel to Sheridan Rd. in combination with the angle of the Northerly property line and easement make the approach to the existing single bay garage extremely precarious. It is virtually impossible to access the existing bay with anything larger than a full sized sedan. The proposed door faces the side of the property so as to be largely out of view.

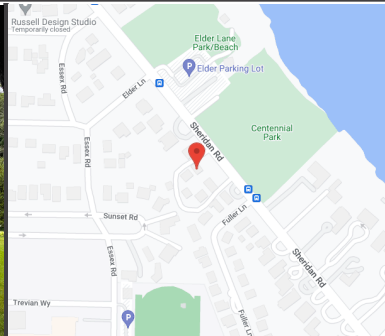
3. The variation if granted will not alter the essential character of the locality since the neighboring structure to the immediate South (a mirror image in the original development) has already undergone similar modifications that were granted by this board in 2004. The

proposed work will be carried out in the sea style using reclaimed materials as much as possible. Increased coverage is proposed to be built largely over already existing impermeable areas- so resulting impermeable areas will still be in conformance with the regulations. Much of the proposed work is to the side and rear of the property and thereby subordinate to the architecture facing Sheridan Rd. and largely out of view.

4. Adequate light and air will be supplied to the adjacent property. The existing privacy hedge on the Westerly property line will be maintained.
5. Fire hazard will not be increased as existing and proposed material to be used (block and stucco) are non combustible.
6. The tax value will in all likelihood be increased due to the improved parking and additional living space.
7. The congestion in the public street will not increase for the reasons stated above.
8. The comfort, safety, morals and welfare of the inhabitants of the Village will not be otherwise impaired. The improvements intended to expand and modernize the structure will be carried out in such a way as to recognize the cultural resource and architectural significance of the Leah White subdivision and development.



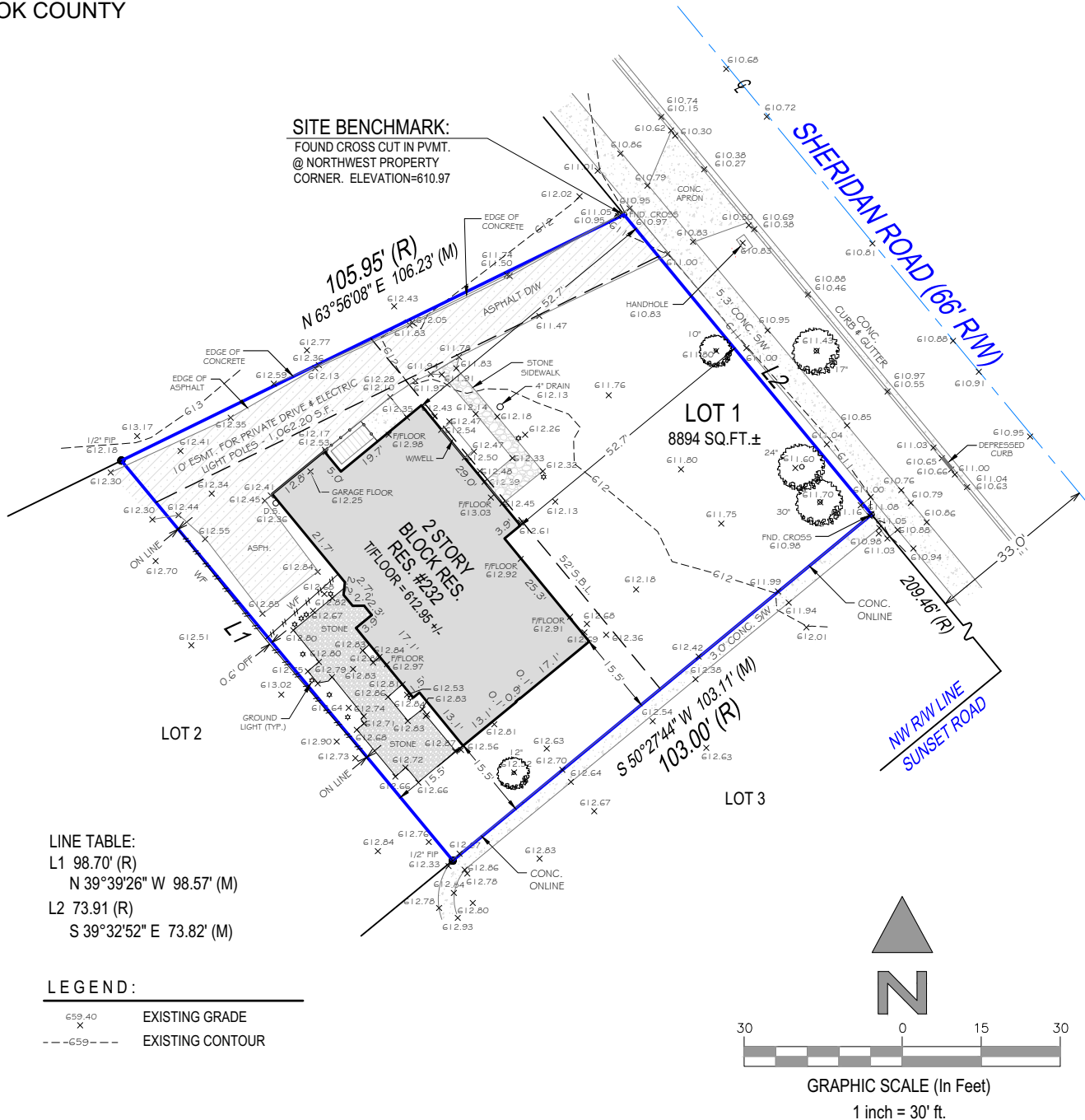
www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS: 232 SHERIDAN ROAD, WINNETKA, ILLINOIS 60093

SURVEY NUMBER: 2207.2860-02

2207.2860
BOUNDARY & TOPOGRAPHY SURVEY
COOK COUNTY



STATE OF ILLINOIS } SS
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Warren D. Johnson



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:

1. CONCRETE OVER PROPERTY LINE 2. ASPHALT OVER PROPERTY LINE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60460



DATE OF SURVEY: 11/04/22
FIELD WORK DATE: 11/3/2022
REVISION DATE(S): (REV.1 11/4/2022)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

JOB SPECIFIC SURVEYOR NOTES:

LEGAL DESCRIPTION:
LOT 1 IN WHITE S RESUBDIVISION OF WINNETKA VILLAGE BEING A SUBDIVISION OF BLOCK 2 IN PHILLIPS PARTITION OF SUBDIVISION IN FRACTIONAL SOUTH EAST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

- GENERAL SURVEYOR NOTES:
1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.

2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.

3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.

4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.

5. Alterations to this survey map and report by other than the signing surveyor are prohibited.

6. Dimensions are in feet and decimals thereof.

7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.

8. Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.

9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.

10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.

11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.

12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.

13. Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.

14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.

15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

<table><tr><th colspan="2">LINETYPES</th></tr><tr><td></td><td>Boundary Line</td></tr><tr><td></td><td>Center Line</td></tr><tr><td></td><td>Chain Link or Wire Fence</td></tr><tr><td></td><td>Easement</td></tr><tr><td></td><td>Edge of Water</td></tr><tr><td></td><td>Iron Fence</td></tr><tr><td></td><td>Overhead Lines</td></tr><tr><td></td><td>Structure</td></tr><tr><td></td><td>Survey Tie Line</td></tr><tr><td></td><td>Vinyl Fence</td></tr><tr><td></td><td>Wall or Party Wall</td></tr><tr><td></td><td>Wood Fence</td></tr><tr><th colspan="2">SURFACE TYPES</th></tr><tr><td></td><td>Asphalt</td></tr><tr><td></td><td>Brick or Tile</td></tr><tr><td></td><td>Concrete</td></tr><tr><td></td><td>Covered Area</td></tr><tr><td></td><td>Water</td></tr><tr><td></td><td>Wood</td></tr><tr><th colspan="2">SYMBOLS</th></tr><tr><td></td><td>Benchmark</td></tr><tr><td></td><td>Center Line</td></tr><tr><td></td><td>Central Angle or Delta</td></tr><tr><td></td><td>Common Ownership</td></tr><tr><td></td><td>Control Point</td></tr><tr><td></td><td>Catch Basin</td></tr></table>	LINETYPES			Boundary Line		Center Line		Chain Link or Wire Fence		Easement		Edge of Water		Iron Fence		Overhead Lines		Structure		Survey Tie Line		Vinyl Fence		Wall or Party Wall		Wood Fence	SURFACE TYPES			Asphalt		Brick or Tile		Concrete		Covered Area		Water		Wood	SYMBOLS			Benchmark		Center Line		Central Angle or Delta		Common Ownership		Control Point		Catch Basin	<table><tr><td></td><td>Elevation</td></tr><tr><td></td><td>Fire Hydrant</td></tr><tr><td></td><td>Find or Set Monument</td></tr><tr><td></td><td>Guywire or Anchor</td></tr><tr><td></td><td>Manhole</td></tr><tr><td></td><td>Tree</td></tr><tr><td></td><td>Utility or Light Pole</td></tr><tr><td></td><td>Well</td></tr><tr><th colspan="2">ABBREVIATIONS</th></tr><tr><td>(C)</td><td>- Calculated</td></tr><tr><td>(D)</td><td>- Deed</td></tr><tr><td>(F)</td><td>- Field</td></tr><tr><td>(M)</td><td>- Measured</td></tr><tr><td>(P)</td><td>- Plat</td></tr><tr><td>(R)</td><td>- Record</td></tr><tr><td>(S)</td><td>- Survey</td></tr><tr><td>A/C</td><td>- Air Conditioning</td></tr><tr><td>AE</td><td>- Access Easement</td></tr><tr><td>ANE</td><td>- Anchor Easement</td></tr><tr><td>ASBL</td><td>- Accessory Setback Line</td></tr><tr><td>B/W</td><td>- Bay/Box Window</td></tr><tr><td>BC</td><td>- Block Corner</td></tr><tr><td>BFP</td><td>- Backflow Preventer</td></tr><tr><td>BLDG</td><td>- Building</td></tr><tr><td>BLK</td><td>- Block</td></tr><tr><td>BM</td><td>- Benchmark</td></tr><tr><td>BR</td><td>- Bearing Reference</td></tr><tr><td>BRL</td><td>- Building Restriction Line</td></tr><tr><td>BSMT</td><td>- Basement</td></tr><tr><td>C</td><td>- Curve</td></tr><tr><td>C/L</td><td>- Center Line</td></tr><tr><td>C/P</td><td>- Covered Porch</td></tr><tr><td>C/S</td><td>- Concrete Slab</td></tr><tr><td>CATV</td><td>- Cable TV Riser</td></tr><tr><td>CB</td><td>- Concrete Block</td></tr><tr><td>CH</td><td>- Chord Bearing</td></tr><tr><td>CHIM</td><td>- Chimney</td></tr><tr><td>CLF</td><td>- Chain Link Fence</td></tr><tr><td>CME</td><td>- Canal Maintenance Easement</td></tr><tr><td>CO</td><td>- Clean Out</td></tr><tr><td>CONC</td><td>- Concrete</td></tr><tr><td>COR</td><td>- Corner</td></tr><tr><td>CS/W</td><td>- Concrete Sidewalk</td></tr><tr><td>CUE</td><td>- Control Utility Easement</td></tr><tr><td>CVG</td><td>- Concrete Valley Gutter</td></tr><tr><td>D/W</td><td>- Driveway</td></tr><tr><td>DE</td><td>- Drainage Easement</td></tr><tr><td>DF</td><td>- Drain Field</td></tr><tr><td>DH</td><td>- Drill Hole</td></tr><tr><td>DUE</td><td>- Drainage & Utility Easement</td></tr><tr><td>ELEV</td><td>- Elevation</td></tr><tr><td>EM</td><td>- Electric Meter</td></tr><tr><td>ENCL</td><td>- Enclosure</td></tr><tr><td>ENT</td><td>- Entrance</td></tr><tr><td>EOP</td><td>- Edge of Pavement</td></tr><tr><td>EOW</td><td>- Edge of Water</td></tr><tr><td>ESMT</td><td>- Easement</td></tr><tr><td>EUB</td><td>- Electric Utility Box</td></tr><tr><td>F/DH</td><td>- Found Drill Hole</td></tr><tr><td>FCM</td><td>- Found Concrete Monument</td></tr><tr><td>FF</td><td>- Finished Floor</td></tr><tr><td>FIP</td><td>- Found Iron Pipe</td></tr><tr><td>FIPC</td><td>- Found Iron Pipe & Cap</td></tr><tr><td>FIR</td><td>- Found Iron Rod</td></tr><tr><td>FIRC</td><td>- Found Iron Rod & Cap</td></tr><tr><td>FN</td><td>- Found Nail</td></tr><tr><td>FN&D</td><td>- Found Nail & Disc</td></tr><tr><td>FRRSPK</td><td>- Found Rail Road Spike</td></tr><tr><td>GAR</td><td>- Garage</td></tr><tr><td>GM</td><td>- Gas Meter</td></tr><tr><td>ID</td><td>- Identification</td></tr><tr><td>IE/EE</td><td>- Ingress/Egress Easement</td></tr><tr><td>ILL</td><td>- Illegible</td></tr><tr><td>INST</td><td>- Instrument</td></tr><tr><td>INT</td><td>- Intersection</td></tr><tr><td>IRRE</td><td>- Irrigation Easement</td></tr><tr><td>L</td><td>- Length</td></tr><tr><td>LAE</td><td>- Limited Access Easement</td></tr><tr><td>LB#</td><td>- License No. (Business)</td></tr><tr><td>LBE</td><td>- Limited Buffer Easement</td></tr><tr><td>LE</td><td>- Landscape Easement</td></tr><tr><td>LME</td><td>- Lake/Landscape Maintenance Easement</td></tr><tr><td>LS#</td><td>- License No. (Surveyor)</td></tr><tr><td>MB</td><td>- Map Book</td></tr><tr><td>ME</td><td>- Maintenance Easement</td></tr><tr><td>MES</td><td>- Mitered End Section</td></tr><tr><td>MF</td><td>- Metal Fence</td></tr><tr><td>MH</td><td>- Manhole</td></tr><tr><td>MHWL</td><td>- Mean High Water Line</td></tr><tr><td>NR</td><td>- Non-Radial</td></tr><tr><td>NTS</td><td>- Not to Scale</td></tr><tr><td>NAVD88</td><td>- North American Vertical Datum 1988</td></tr><tr><td>NGVD29</td><td>- National Geodetic Vertical Datum 1929</td></tr><tr><td>OG</td><td>- On Ground</td></tr><tr><td>ORB</td><td>- Official Records Book</td></tr><tr><td>ORV</td><td>- Official Record Volume</td></tr><tr><td>O/A</td><td>- Overall</td></tr><tr><td>O/S</td><td>- Offset</td></tr><tr><td>OFF</td><td>- Outside Subject Property</td></tr><tr><td>OH</td><td>- Overhang</td></tr><tr><td>OHL</td><td>- Overhead Utility Lines</td></tr><tr><td>OHWL</td><td>- Ordinary High Water Line</td></tr><tr><td>ON</td><td>- Inside Subject Property</td></tr><tr><td>P/E</td><td>- Pool Equipment</td></tr><tr><td>PB</td><td>- Plat Book</td></tr><tr><td>PC</td><td>- Point of Curvature</td></tr><tr><td>PCC</td><td>- Point of Compound Curvature</td></tr><tr><td>PCP</td><td>- Permanent Control Point</td></tr><tr><td>PI</td><td>- Point of Intersection</td></tr><tr><td>PLS</td><td>- Professional Land Surveyor</td></tr><tr><td>PLT</td><td>- Planter</td></tr><tr><td>POB</td><td>- Point of Beginning</td></tr><tr><td>POC</td><td>- Point of Commencement</td></tr><tr><td>PRC</td><td>- Point of Reverse Curvature</td></tr><tr><td>PRM</td><td>- Permanent Reference Monument</td></tr><tr><td>PSM</td><td>- Professional Surveyor & Mapper</td></tr><tr><td>PT</td><td>- Point of Tangency</td></tr><tr><td>PUE</td><td>- Public Utility Easement</td></tr><tr><td>R</td><td>- Radius or Radial</td></tr><tr><td>R/W</td><td>- Right of Way</td></tr><tr><td>RES</td><td>- Residential</td></tr><tr><td>RGE</td><td>- Range</td></tr><tr><td>ROE</td><td>- Roof Overhang Easement</td></tr><tr><td>RP</td><td>- Radius Point</td></tr><tr><td>S/W</td><td>- Sidewalk</td></tr><tr><td>SBL</td><td>- Setback Line</td></tr><tr><td>SCL</td><td>- Survey Closure Line</td></tr><tr><td>SCR</td><td>- Screen</td></tr><tr><td>SEC</td><td>- Section</td></tr><tr><td>SEP</td><td>- Septic Tank</td></tr><tr><td>SEW</td><td>- Sewer</td></tr><tr><td>SIRC</td><td>- Set Iron Rod & Cap</td></tr><tr><td>SMWE</td><td>- Storm Water Management Easement</td></tr><tr><td>SN&D</td><td>- Set Nail and Disc</td></tr><tr><td>SQFT</td><td>- Square Feet</td></tr><tr><td>STL</td><td>- Survey Tie Line</td></tr><tr><td>STY</td><td>- Story</td></tr><tr><td>SV</td><td>- Sewer Valve</td></tr><tr><td>SWE</td><td>- Sidewalk Easement</td></tr><tr><td>PI</td><td>- Point of Intersection</td></tr><tr><td>TBM</td><td>- Temporary Bench Mark</td></tr><tr><td>TEL</td><td>- Telephone Facilities</td></tr><tr><td>TOB</td><td>- Top of Bank</td></tr><tr><td>TUE</td><td>- Technological Utility Easement</td></tr><tr><td>TWP</td><td>- Township</td></tr><tr><td>TX</td><td>- Transformer</td></tr><tr><td>TYP</td><td>- Typical</td></tr><tr><td>UE</td><td>- Utility Easement</td></tr><tr><td>UG</td><td>- Underground</td></tr><tr><td>UP</td><td>- Utility Pole</td></tr><tr><td>UR</td><td>- Utility Riser</td></tr><tr><td>VF</td><td>- Vinyl Fence</td></tr><tr><td>W/C</td><td>- Witness Corner</td></tr><tr><td>W/F</td><td>- Water Filter</td></tr><tr><td>WF</td><td>- Wood Fence</td></tr><tr><td>WM</td><td>- Water Meter/Valve Box</td></tr><tr><td>WV</td><td>- Water valve</td></tr></table>		Elevation		Fire Hydrant		Find or Set Monument		Guywire or Anchor		Manhole		Tree		Utility or Light Pole		Well	ABBREVIATIONS		(C)	- Calculated	(D)	- Deed	(F)	- Field	(M)	- Measured	(P)	- Plat	(R)	- Record	(S)	- Survey	A/C	- Air Conditioning	AE	- Access Easement	ANE	- Anchor Easement	ASBL	- Accessory Setback Line	B/W	- Bay/Box Window	BC	- Block Corner	BFP	- Backflow Preventer	BLDG	- Building	BLK	- Block	BM	- Benchmark	BR	- Bearing Reference	BRL	- Building Restriction Line	BSMT	- Basement	C	- Curve	C/L	- Center Line	C/P	- Covered Porch	C/S	- Concrete Slab	CATV	- Cable TV Riser	CB	- Concrete Block	CH	- Chord Bearing	CHIM	- Chimney	CLF	- Chain Link Fence	CME	- Canal Maintenance Easement	CO	- Clean Out	CONC	- Concrete	COR	- Corner	CS/W	- Concrete Sidewalk	CUE	- Control Utility Easement	CVG	- Concrete Valley Gutter	D/W	- Driveway	DE	- Drainage Easement	DF	- Drain Field	DH	- Drill Hole	DUE	- Drainage & Utility Easement	ELEV	- Elevation	EM	- Electric Meter	ENCL	- Enclosure	ENT	- Entrance	EOP	- Edge of Pavement	EOW	- Edge of Water	ESMT	- Easement	EUB	- Electric Utility Box	F/DH	- Found Drill Hole	FCM	- Found Concrete Monument	FF	- Finished Floor	FIP	- Found Iron Pipe	FIPC	- Found Iron Pipe & Cap	FIR	- Found Iron Rod	FIRC	- Found Iron Rod & Cap	FN	- Found Nail	FN&D	- Found Nail & Disc	FRRSPK	- Found Rail Road Spike	GAR	- Garage	GM	- Gas Meter	ID	- Identification	IE/EE	- Ingress/Egress Easement	ILL	- Illegible	INST	- Instrument	INT	- Intersection	IRRE	- Irrigation Easement	L	- Length	LAE	- Limited Access Easement	LB#	- License No. (Business)	LBE	- Limited Buffer Easement	LE	- Landscape Easement	LME	- Lake/Landscape Maintenance Easement	LS#	- License No. (Surveyor)	MB	- Map Book	ME	- Maintenance Easement	MES	- Mitered End Section	MF	- Metal Fence	MH	- Manhole	MHWL	- Mean High Water Line	NR	- Non-Radial	NTS	- Not to Scale	NAVD88	- North American Vertical Datum 1988	NGVD29	- National Geodetic Vertical Datum 1929	OG	- On Ground	ORB	- Official Records Book	ORV	- Official Record Volume	O/A	- Overall	O/S	- Offset	OFF	- Outside Subject Property	OH	- Overhang	OHL	- Overhead Utility Lines	OHWL	- Ordinary High Water Line	ON	- Inside Subject Property	P/E	- Pool Equipment	PB	- Plat Book	PC	- Point of Curvature	PCC	- Point of Compound Curvature	PCP	- Permanent Control Point	PI	- Point of Intersection	PLS	- Professional Land Surveyor	PLT	- Planter	POB	- Point of Beginning	POC	- Point of Commencement	PRC	- Point of Reverse Curvature	PRM	- Permanent Reference Monument	PSM	- Professional Surveyor & Mapper	PT	- Point of Tangency	PUE	- Public Utility Easement	R	- Radius or Radial	R/W	- Right of Way	RES	- Residential	RGE	- Range	ROE	- Roof Overhang Easement	RP	- Radius Point	S/W	- Sidewalk	SBL	- Setback Line	SCL	- Survey Closure Line	SCR	- Screen	SEC	- Section	SEP	- Septic Tank	SEW	- Sewer	SIRC	- Set Iron Rod & Cap	SMWE	- Storm Water Management Easement	SN&D	- Set Nail and Disc	SQFT	- Square Feet	STL	- Survey Tie Line	STY	- Story	SV	- Sewer Valve	SWE	- Sidewalk Easement	PI	- Point of Intersection	TBM	- Temporary Bench Mark	TEL	- Telephone Facilities	TOB	- Top of Bank	TUE	- Technological Utility Easement	TWP	- Township	TX	- Transformer	TYP	- Typical	UE	- Utility Easement	UG	- Underground	UP	- Utility Pole	UR	- Utility Riser	VF	- Vinyl Fence	W/C	- Witness Corner	W/F	- Water Filter	WF	- Wood Fence	WM	- Water Meter/Valve Box	WV	- Water valve
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OFF	- Outside Subject Property																																																																																																																																																																																																																																																																																																																																																																																
OH	- Overhang																																																																																																																																																																																																																																																																																																																																																																																
OHL	- Overhead Utility Lines																																																																																																																																																																																																																																																																																																																																																																																
OHWL	- Ordinary High Water Line																																																																																																																																																																																																																																																																																																																																																																																
ON	- Inside Subject Property																																																																																																																																																																																																																																																																																																																																																																																
P/E	- Pool Equipment																																																																																																																																																																																																																																																																																																																																																																																
PB	- Plat Book																																																																																																																																																																																																																																																																																																																																																																																
PC	- Point of Curvature																																																																																																																																																																																																																																																																																																																																																																																
PCC	- Point of Compound Curvature																																																																																																																																																																																																																																																																																																																																																																																
PCP	- Permanent Control Point																																																																																																																																																																																																																																																																																																																																																																																
PI	- Point of Intersection																																																																																																																																																																																																																																																																																																																																																																																
PLS	- Professional Land Surveyor																																																																																																																																																																																																																																																																																																																																																																																
PLT	- Planter																																																																																																																																																																																																																																																																																																																																																																																
POB	- Point of Beginning																																																																																																																																																																																																																																																																																																																																																																																
POC	- Point of Commencement																																																																																																																																																																																																																																																																																																																																																																																
PRC	- Point of Reverse Curvature																																																																																																																																																																																																																																																																																																																																																																																
PRM	- Permanent Reference Monument																																																																																																																																																																																																																																																																																																																																																																																
PSM	- Professional Surveyor & Mapper																																																																																																																																																																																																																																																																																																																																																																																
PT	- Point of Tangency																																																																																																																																																																																																																																																																																																																																																																																
PUE	- Public Utility Easement																																																																																																																																																																																																																																																																																																																																																																																
R	- Radius or Radial																																																																																																																																																																																																																																																																																																																																																																																
R/W	- Right of Way																																																																																																																																																																																																																																																																																																																																																																																
RES	- Residential																																																																																																																																																																																																																																																																																																																																																																																
RGE	- Range																																																																																																																																																																																																																																																																																																																																																																																
ROE	- Roof Overhang Easement																																																																																																																																																																																																																																																																																																																																																																																
RP	- Radius Point																																																																																																																																																																																																																																																																																																																																																																																
S/W	- Sidewalk																																																																																																																																																																																																																																																																																																																																																																																
SBL	- Setback Line																																																																																																																																																																																																																																																																																																																																																																																
SCL	- Survey Closure Line																																																																																																																																																																																																																																																																																																																																																																																
SCR	- Screen																																																																																																																																																																																																																																																																																																																																																																																
SEC	- Section																																																																																																																																																																																																																																																																																																																																																																																
SEP	- Septic Tank																																																																																																																																																																																																																																																																																																																																																																																
SEW	- Sewer																																																																																																																																																																																																																																																																																																																																																																																
SIRC	- Set Iron Rod & Cap																																																																																																																																																																																																																																																																																																																																																																																
SMWE	- Storm Water Management Easement																																																																																																																																																																																																																																																																																																																																																																																
SN&D	- Set Nail and Disc																																																																																																																																																																																																																																																																																																																																																																																
SQFT	- Square Feet																																																																																																																																																																																																																																																																																																																																																																																
STL	- Survey Tie Line																																																																																																																																																																																																																																																																																																																																																																																
STY	- Story																																																																																																																																																																																																																																																																																																																																																																																
SV	- Sewer Valve																																																																																																																																																																																																																																																																																																																																																																																
SWE	- Sidewalk Easement																																																																																																																																																																																																																																																																																																																																																																																
PI	- Point of Intersection																																																																																																																																																																																																																																																																																																																																																																																
TBM	- Temporary Bench Mark																																																																																																																																																																																																																																																																																																																																																																																
TEL	- Telephone Facilities																																																																																																																																																																																																																																																																																																																																																																																
TOB	- Top of Bank																																																																																																																																																																																																																																																																																																																																																																																
TUE	- Technological Utility Easement																																																																																																																																																																																																																																																																																																																																																																																
TWP	- Township																																																																																																																																																																																																																																																																																																																																																																																
TX	- Transformer																																																																																																																																																																																																																																																																																																																																																																																
TYP	- Typical																																																																																																																																																																																																																																																																																																																																																																																
UE	- Utility Easement																																																																																																																																																																																																																																																																																																																																																																																
UG	- Underground																																																																																																																																																																																																																																																																																																																																																																																
UP	- Utility Pole																																																																																																																																																																																																																																																																																																																																																																																
UR	- Utility Riser																																																																																																																																																																																																																																																																																																																																																																																
VF	- Vinyl Fence																																																																																																																																																																																																																																																																																																																																																																																
W/C	- Witness Corner																																																																																																																																																																																																																																																																																																																																																																																
W/F	- Water Filter																																																																																																																																																																																																																																																																																																																																																																																
WF	- Wood Fence																																																																																																																																																																																																																																																																																																																																																																																
WM	- Water Meter/Valve Box																																																																																																																																																																																																																																																																																																																																																																																
WV	- Water valve																																																																																																																																																																																																																																																																																																																																																																																

CERTIFIED TO:
WILLIAM FRANZEN AND AMY FRANZEN .

DATE SIGNED: 11/04/22

BUYER: WILLIAM FRANZEN AND AMY FRANZEN

LENDER:

TITLE COMPANY:

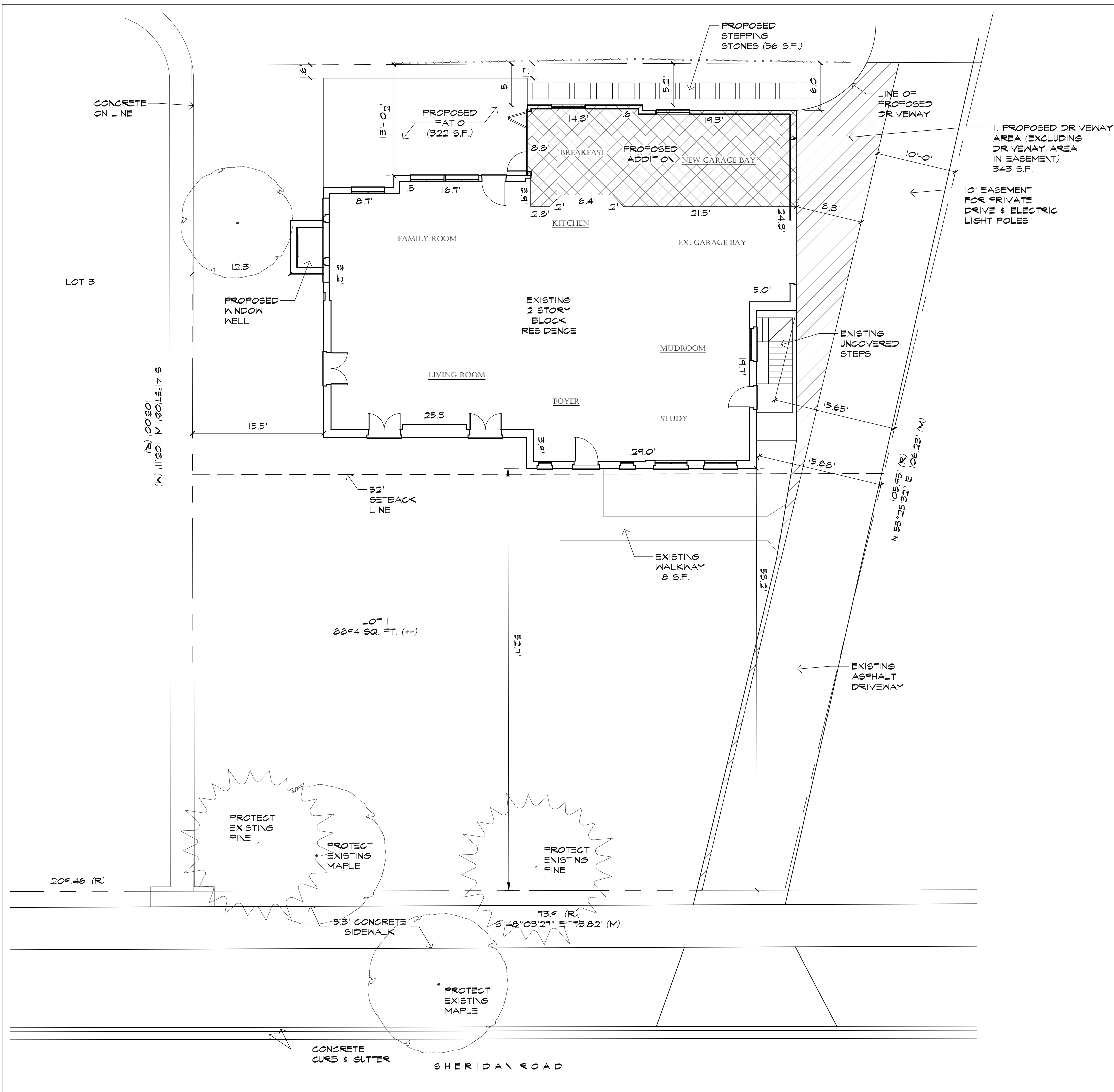
COMMITMENT DATE: NOT REVIEWED

CLIENT FILE NO:

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

FLOOD ZONE INFORMATION:

Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



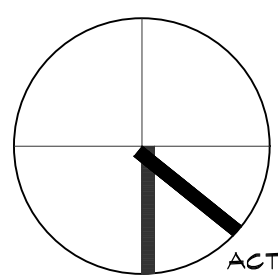
ALL EXISTING SITE INFORMATION DERIVED FROM PROPERTY BOUNDARY SURVEY PREPARED FOR:

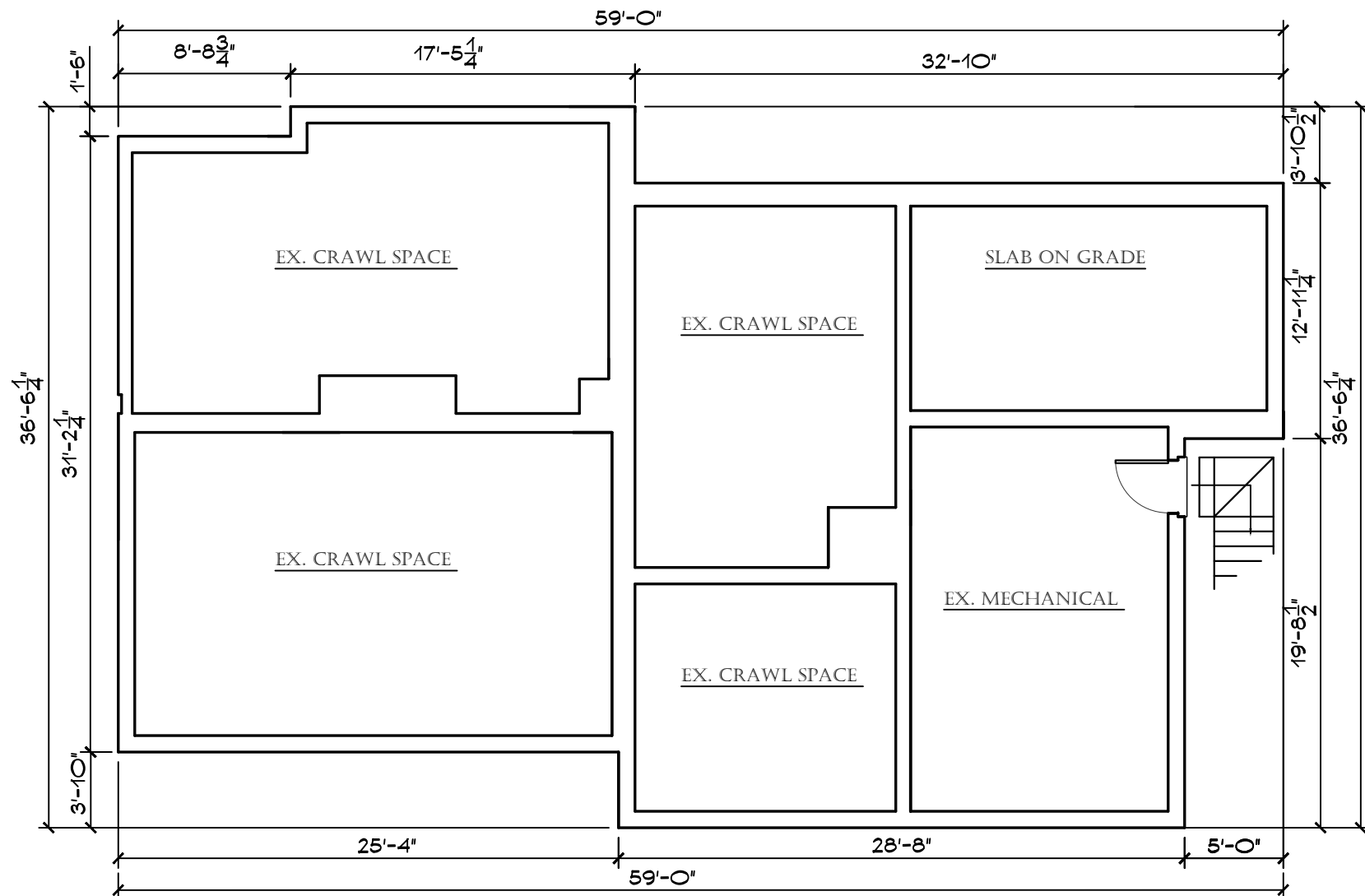
WILLIAM & AMY FRANZEN
232 SHERIDAN ROAD
WINNETKA, IL 60093

BY:

EXACTA LAND SURVEYORS, LLC
316 EAST JACKSON STREET
MORRIS, IL 60450
(773) 305-4011
SURVEY #: 2207.2860
DATED: 11.04.22 (REV.)

FOR TOWN APPROVALS ONLY
11.15.22

ADDRESS OF CONSTRUCTION: 232 SHERIDAN ROAD WINNETKA, IL 60093		DATE:
LOT #: 1 ZONE: R-4		
APPLICANT: FRANZEN ASSOCIATES 95 HARBOR ROAD SOUTHPORT, CT 06890		
OWNER OF RECORD: WILLIAM & AMY FRANZEN 232 SHERIDAN ROAD WINNETKA, IL 60093		
PROPOSED SITE PLAN		
FRANZEN ASSOCIATES 95 HARBOR ROAD SOUTHPORT, CT 06890 TEL: (203) 259-0529 Fax: (203) 254-6497		SCALE: 1/8" = 1' - 0"
		DRAWN BY: RFA
		PROJECT #: 122021
		DRAWING #: SP-1



FOUNDATION-BASEMENT - EXISTING
SCALE 1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHFORD, CT 06480
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022

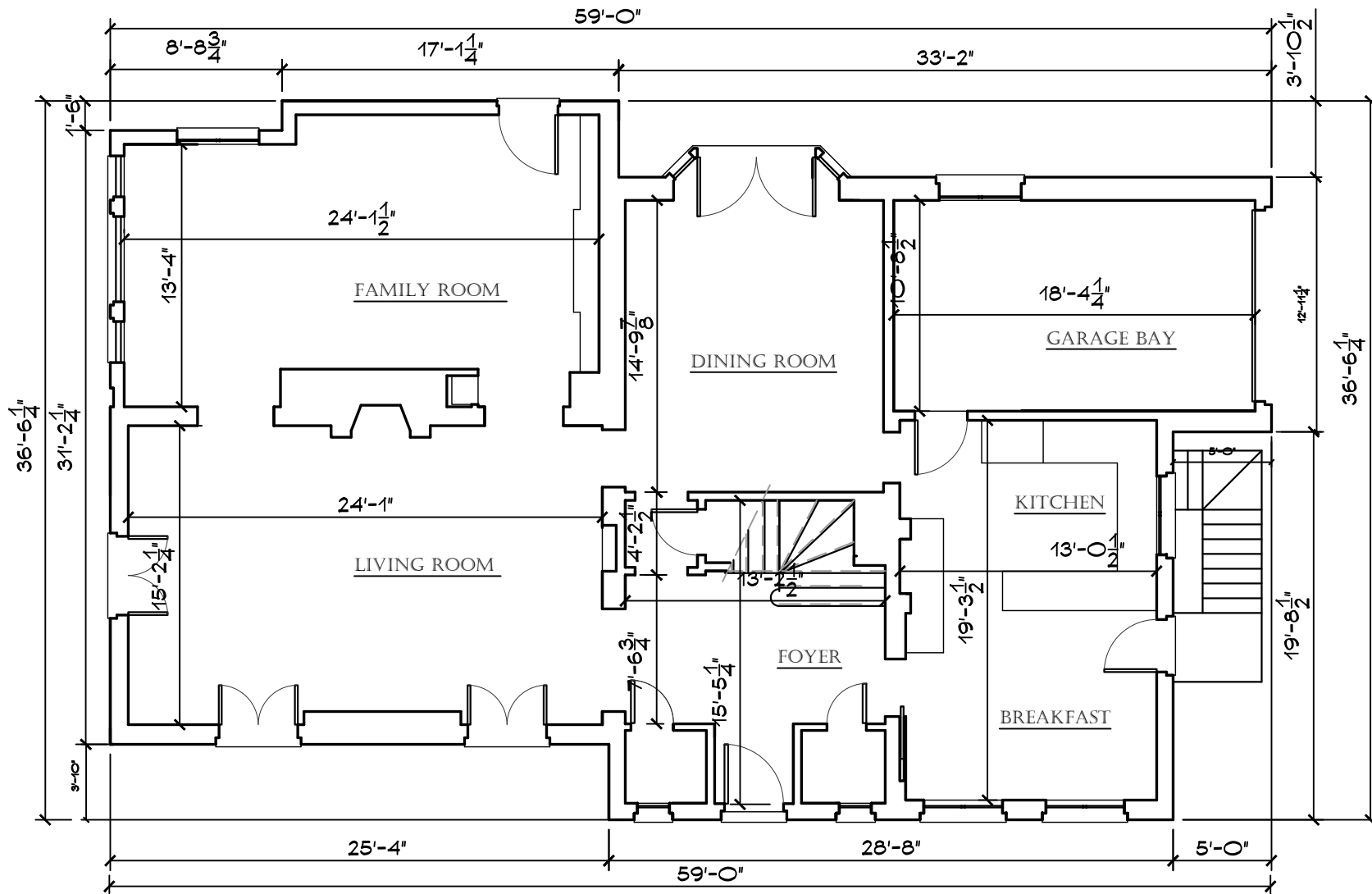
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

EX-0



FIRST FLOOR -EXISTING

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022

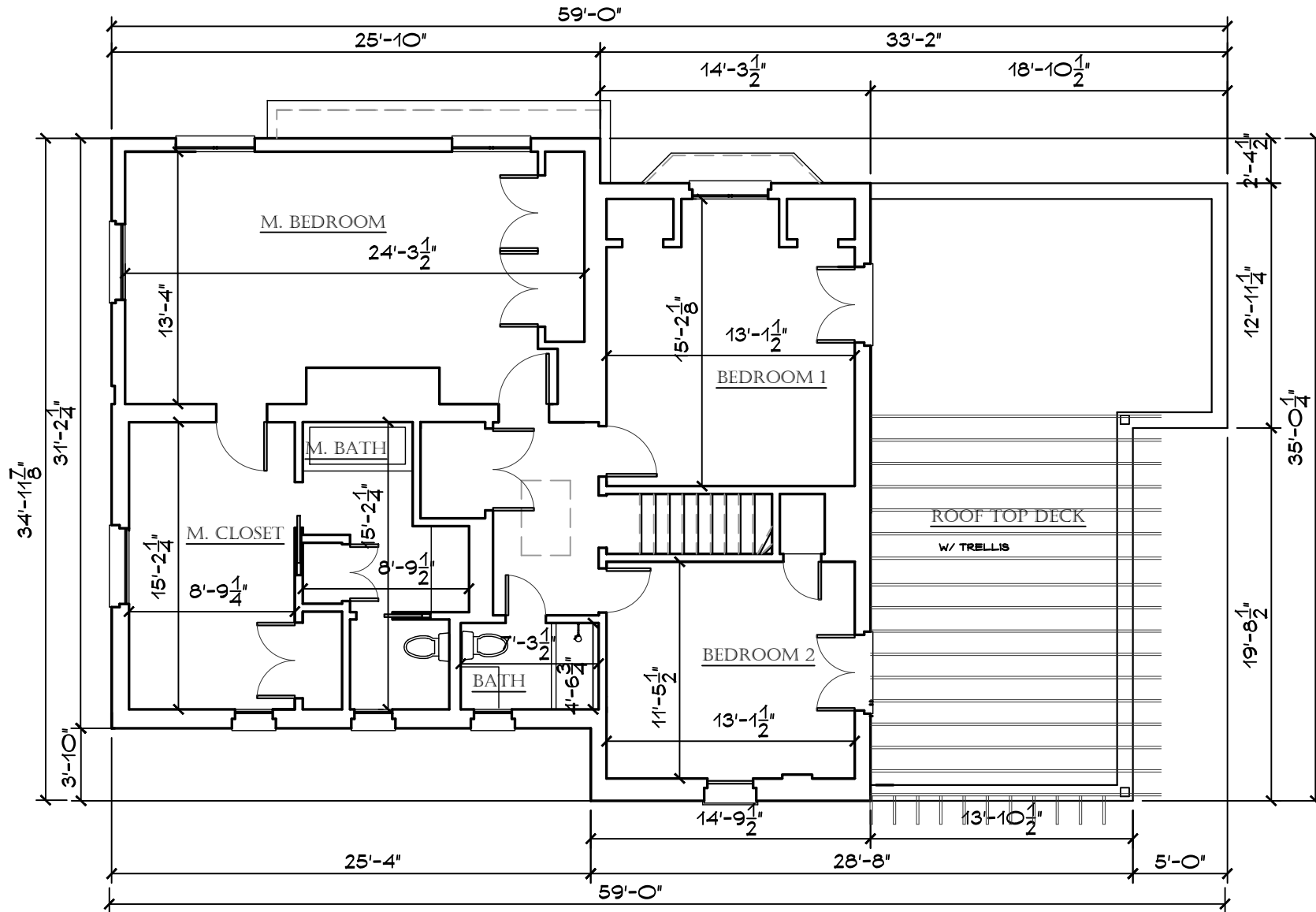
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

EX-1



SECOND FLOOR - EXISTING

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

EX-2



FRONT (EAST-STREET SIDE) ELEVATION-EXISTING

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06480
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022

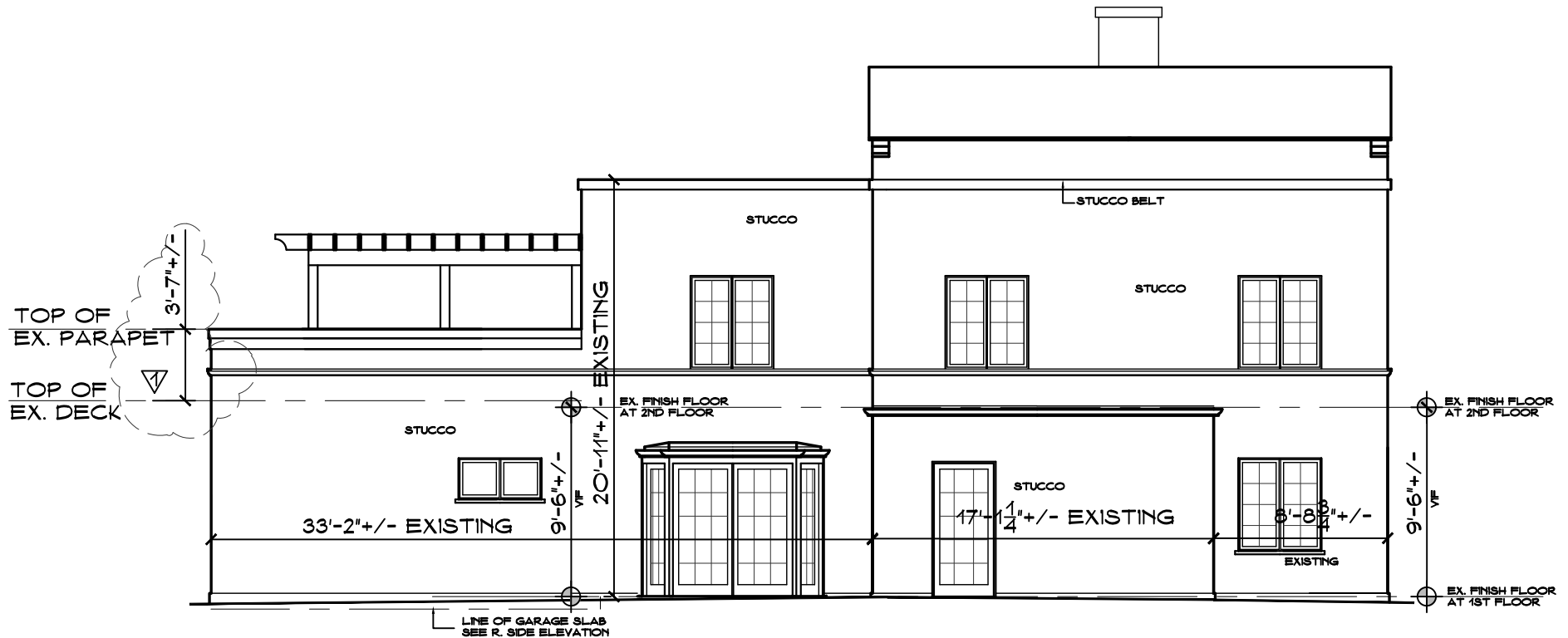
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

EX-3



REAR (WEST) ELEVATION -EXISTING

SCALE

1/8"=1'-0"

**J.P.FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022

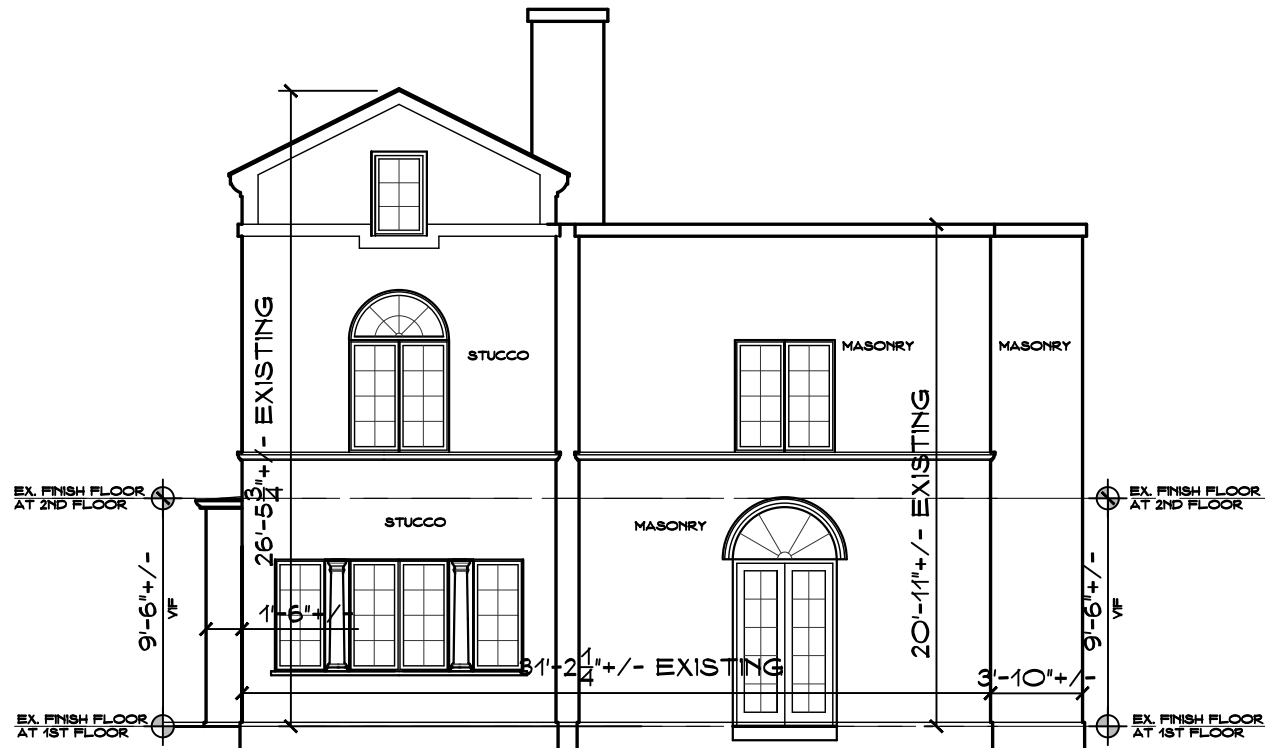
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

EX-4



L. SIDE (SOUTH) ELEVATION-EXISTING

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS. P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06480
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

EX-5



R. SIDE (NORTH) ELEVATION-EXISTING

SCALE

1/8"=1'-0"

**J.P.FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0329

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

EXISTING PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022

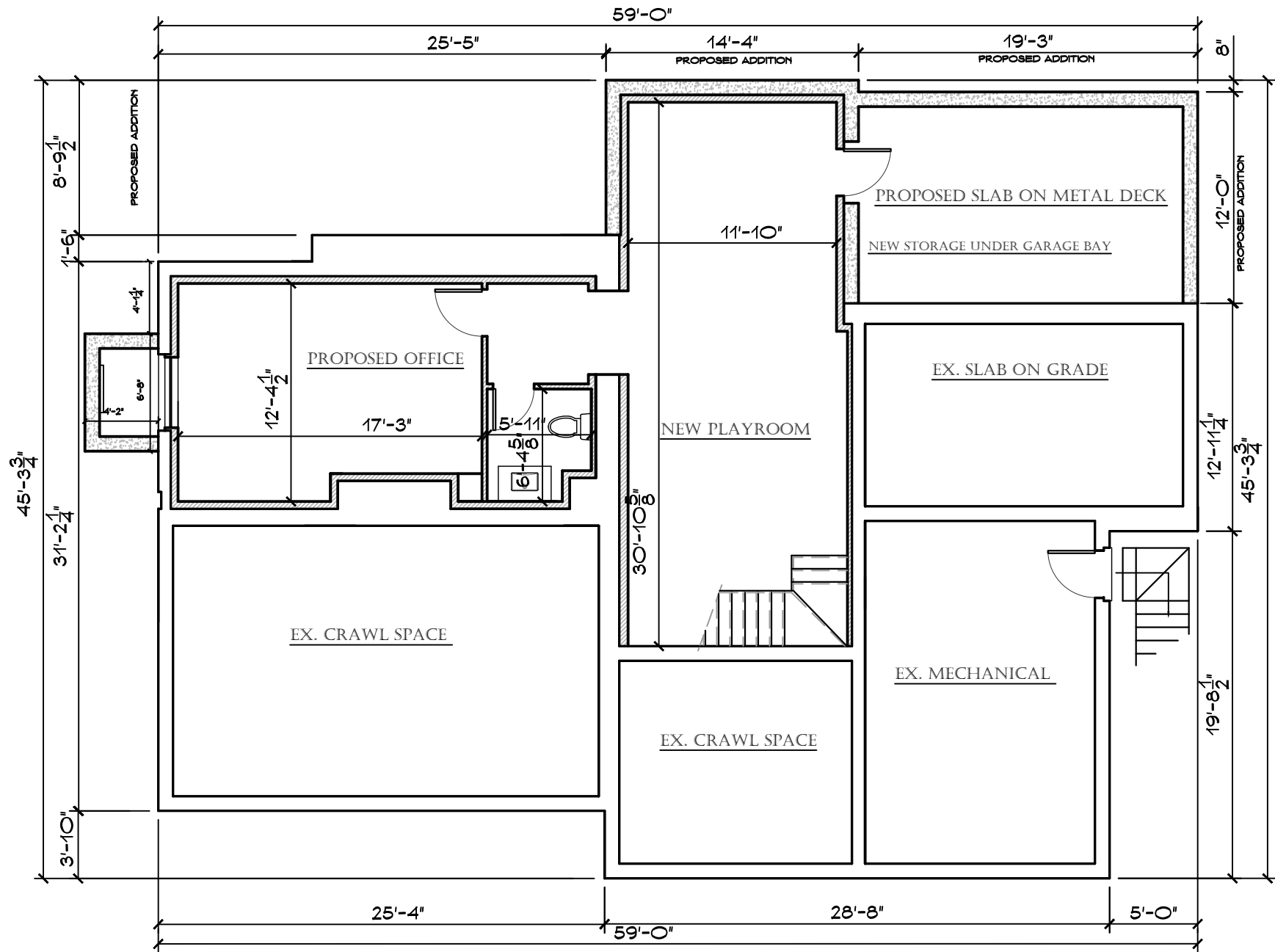
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

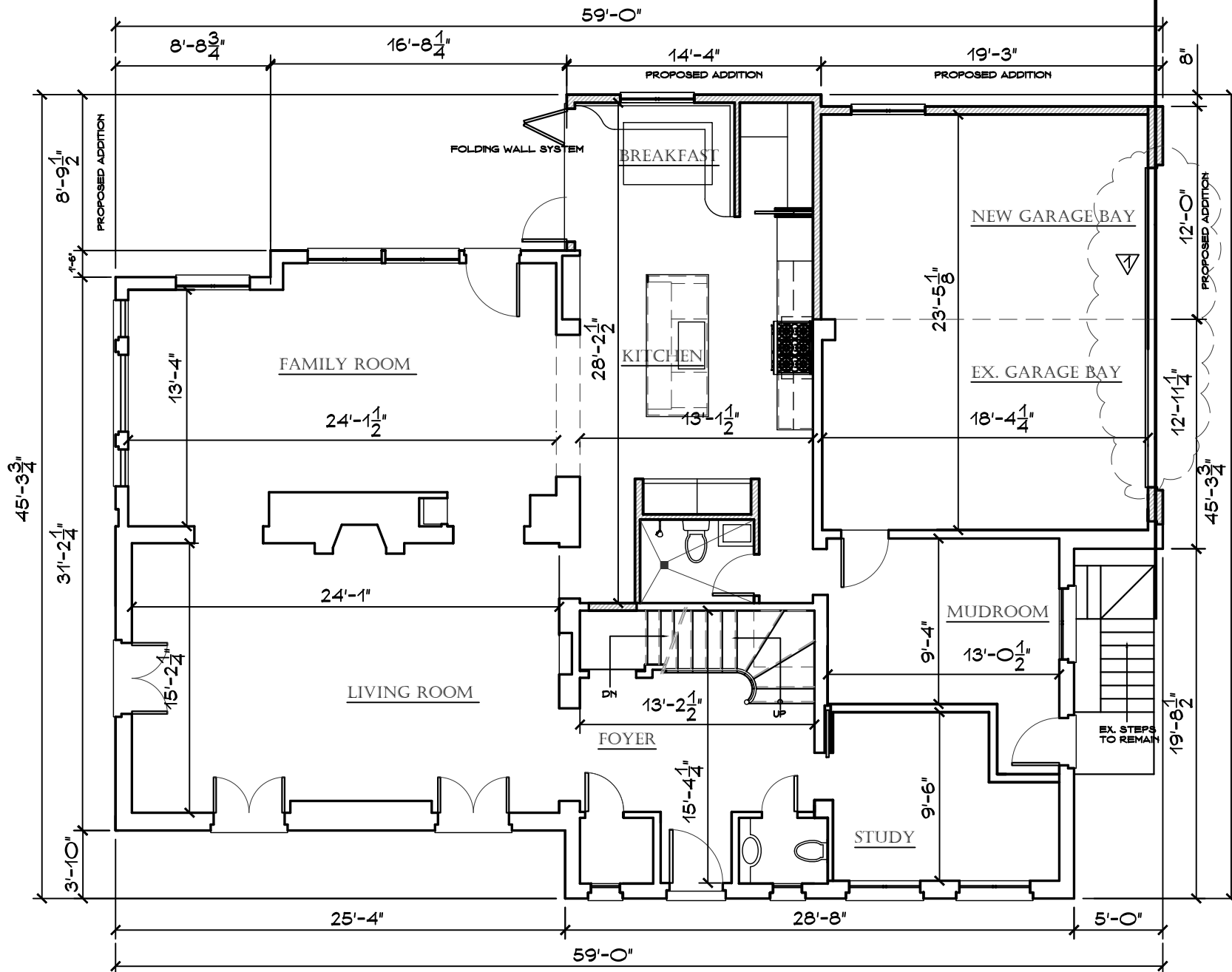
DRAWING NO

EX-6



FOUNDATION - BASEMENT PROPOSED
SCALE 1/8"=1'-0"

SCALE AS NOTED	ALTERATIONS AND ADDITIONS TO THE RESIDENCE	DATE OCT. 31, 2022
DRAWN BY JTS	MR. AND MRS. FRANZEN	PROPOSED PLANS AND ELEVATIONS
JOB NO 093022	232 SHERIDAN ROAD WINNETKA IL	
DRAWING NO A-0	JP.FRANZEN ASSOCIATES ARCHITECTS. PC.	
	TIDE MILL BUILDING 95 HARBOR ROAD SOUTHPORT, CT 06480 (203) 259-0029	9



FIRST FLOOR - PROPOSED

SCALE

1/8"=1'-0"

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0029

PROPOSED PLANS
AND ELEVATIONS

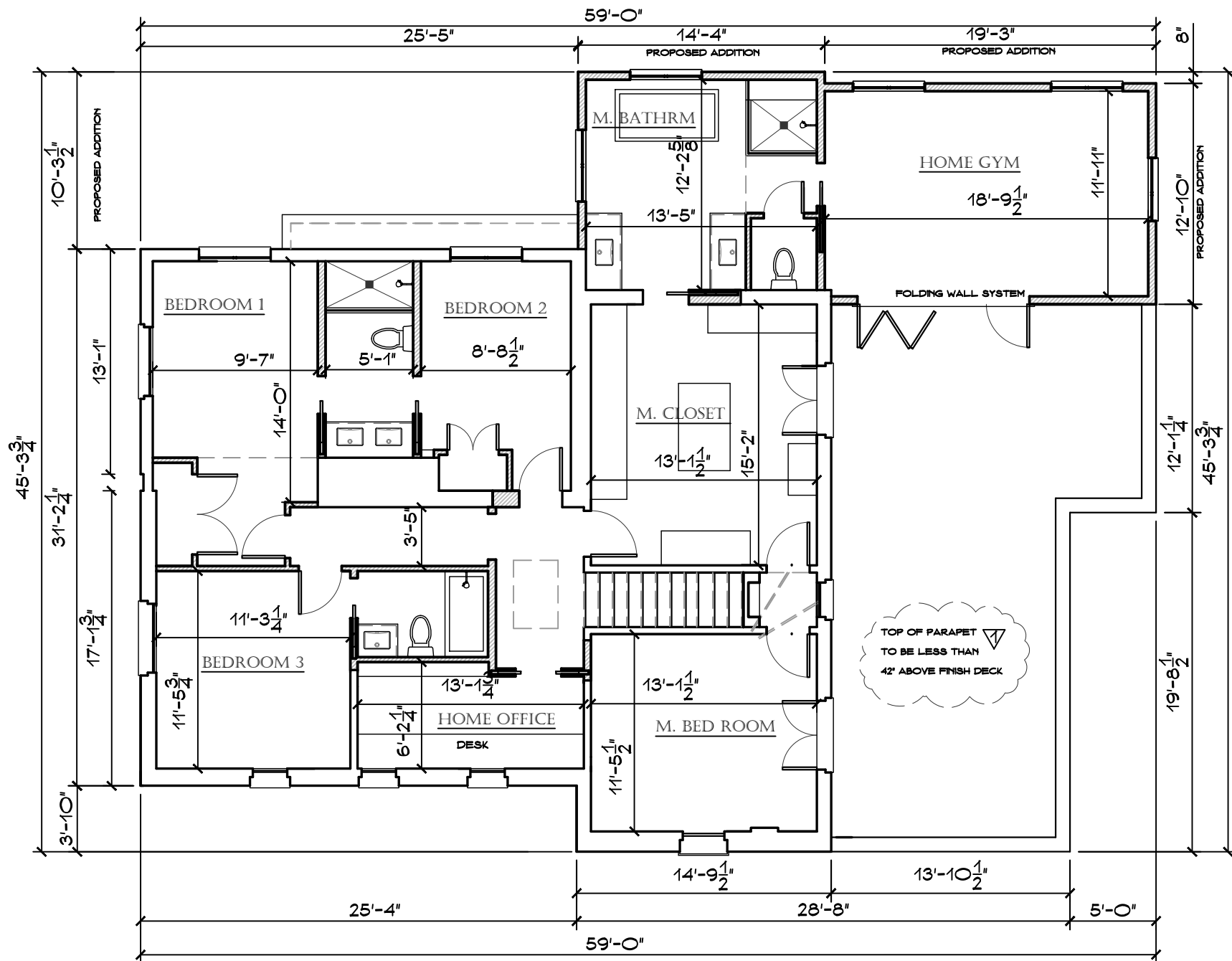
DATE
OCT. 31, 2022
NOV. 15, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO
A-1



**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
55 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 259-0029

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE: OCT. 31, 2022
NOV. 15, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-2



FRONT (EAST-STREET SIDE) ELEVATION-PROPOSED

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0529

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022

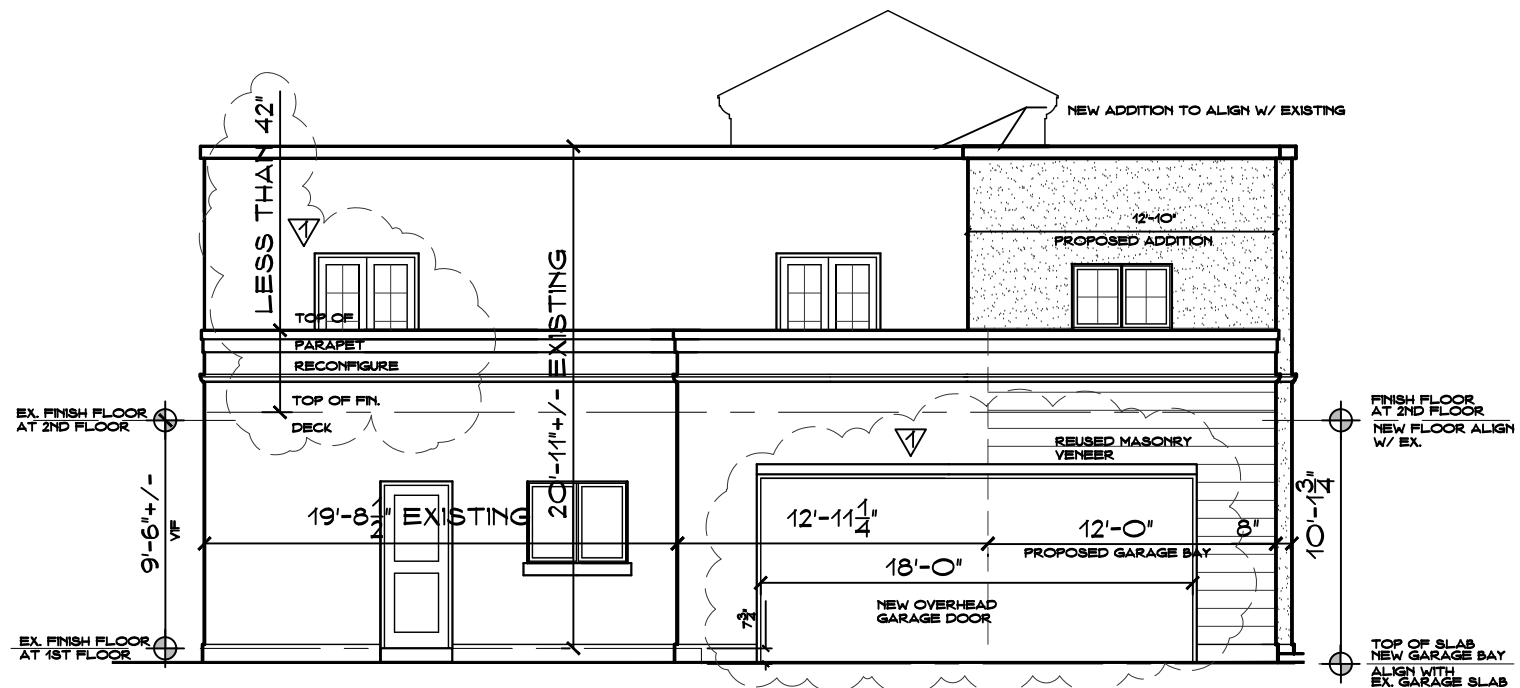
SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-3



R. SIDE (NORTH) ELEVATION-PROPOSED

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS. PC.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06480
(203) 239-0529

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022
NOV. 15, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-5



L. SIDE (SOUTH) ELEVATION-PROPOSED

SCALE

1/8"=1'-0"

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06490
(203) 239-0829

ALTERATIONS AND ADDITIONS
TO THE RESIDENCE
MR. AND MRS. FRANZEN
232 SHERIDAN ROAD
WINNETKA IL

PROPOSED PLANS
AND ELEVATIONS

DATE
OCT. 31, 2022

SCALE
AS NOTED

DRAWN BY
JTS

JOB NO
093022

DRAWING NO

A-6

ATTACHMENT D1

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: Franzen plan
Date: Tuesday, January 3, 2023 1:21:36 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please know that as a neighbor of the Franzens, I support their renovation proposal.

Mona Golub
228 Sheridan Rd.

Sent from my iPhone

LAW OFFICES OF THOMAS FLANNIGAN

230 Sheridan Road
Winnetka, IL 60093


December 12, 2022

Winnetka Zoning Board of Appeals
Winnetka Village Hall
510 Green Bay Road
Winnetka, IL 60093

By email to planning@winnetka.org

Re: Case No.22-30-V2 232 Sheridan Road Residential Addition
Monday, September 12, 2022 at 7:00 p.m.

Dear Sir or Madam:

Our neighbors, Amy and William Franzen (the “Applicants”) have filed paperwork with the Village of Winnetka seeking variances from the applicable Zoning Ordinances.

My wife and I have reviewed the plans of the Applicant and spoke to them about the plans. We have no objections to and fully support their application for zoning variances.

If you have any questions do not hesitate to contact us.

Yours truly,

Thomas Flannigan

TWF; tf