



Village of Winnetka

Zoning Board of Appeals Regular Meeting

July 10, 2023 at 7:00 PM
Village Hall Council Chambers
510 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Approval of Minutes**
 - a. June 12, 2023, Regular Meeting Minutes
3. **Community Development Report**
4. **New Cases**
 - a. **Case No. 23-09-V2: 258 Ridge Avenue:** An application seeking approval of a zoning variation to allow a one-story addition to the existing residence at 258 Ridge Avenue. The requested variation would permit the addition to exceed the maximum permitted gross floor area. The Village Council has final jurisdiction on this request.
5. **New Business**
 - a. August 14, 2023, Regular Meeting - Quorum Check
6. **Public Comments**
7. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**WINNETKA ZONING BOARD OF APPEALS MEETING MINUTES
JUNE 12, 2023**

Zoning Board Members Present:

Matt Bradley, Chairman
Kate Casale MacNally
Mark Haller
Mike Nielsen
Todd Vender

Zoning Board Members Absent:

Lynn Hanley
Max Weigandt

Village Staff:

Ann Klaassen, Assistant Director of Community
Development

Call to Order & Roll Call:

Chairman Bradley called the meeting to order at 7:02 p.m. Ms. Klaassen took roll call of the Board Members present.

Approval of April 10, 2023 Meeting Minutes.

Chairman Bradley asked if there were any comments or for a motion to approve the April 10, 2023, meeting minutes. A motion to approve the April 10, 2023, meeting minutes was made by Ms. Casale MacNally. The motion was seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 5 to 0:

AYES: Bradley, Casale MacNally, Haller, Nielsen, Vender

NAYS: None

Community Development Report.

Ms. Klaassen provided the Board with an update in connection with 564 Green Bay Road noting the Plan Commission recommended approval and the Village Council adopted an ordinance approving the request.

Continued Cases:

a. Case No.23-02-SD: 1415 and 1423 Asbury Avenue (Continued from the April 10, 2023, meeting):
An application seeking approval of a Final Plat of Subdivision and zoning variations to allow a two-lot resubdivision of 1415 Asbury Avenue and 1423 Asbury Avenue and construction of a detached garage on Proposed Lot 2 (1415 Asbury Avenue). The requested zoning variations would (a) permit the existing residence at 1423 Asbury Avenue to (i) observe less than the minimum required side yard setback from the new east property line; and (ii) observe less than the minimum required total side yard setback for Proposed Lot 1; and (b) permit the existing residence and proposed detached garage at 1415 Asbury Avenue to exceed the maximum permitted gross floor area. The Village Council has final jurisdiction on this request.

Ms. Klaassen identified the property's location and zoning classification and described the applicant's 2020 proposal, which the Village Council had approved. She stated the applicant now planned to maintain both residences with the 2020 subdivision approval not being in effect. Ms. Klaassen then described the current and proposed lots' width with the subdivision creating two nonconformities for 1423 Asbury rendering it nonconforming in terms of the minimum side yard setback and the total side yard setback. She noted the proposed improvements comply with zoning requirements on the 1423 Asbury lot. Ms. Klaassen also identified the 1415 Asbury nonconformities and stated due to the extent of the excess GFA,

1 a variation is necessary to allow construction of the detached garage. She then referred to illustrations of
2 the front elevation and the one car garage as well as the setback requirements noting the nonconformities
3 being created and those which would remain. Ms. Klaassen noted the home complied with zoning
4 requirements at the time of its construction in 1999 and explained the reason why the basement was not
5 included in GFA which was due to zoning ordinance changes.

6
7 Ms. Klaassen stated the Plan Commission considered the subdivision request on March 27, 2023, and had
8 comments related to the proposed driveway with the applicants revising the design as shown in the
9 materials currently before the ZBA, and that the Plan Commission recommended approval. She noted an
10 email relating to the application was received this evening, from the neighbor to the west, which is
11 provided for the ZBA on the dais. Ms. Klaassen then stated following the applicants' presentation, public
12 comment and Board discussion, a Board Member may wish to make a motion as indicated on page nos.
13 20 and 21 and asked if there were any questions.

14
15 Chairman Bradley also asked if there were any questions. Ms. Casale MacNally referred to the neighbors'
16 recent email which contained extensive technical questions and comments and asked if the comments
17 were previously addressed by the Plan Commission. Ms. Klaassen responded the comments were
18 receiving shortly before the meeting and explained that it was suggest that the neighbors provide photos
19 since the video wasn't accessible. Chairman Bradley summarized the neighbors' concerns relating to
20 storm water issues. Ms. Klaassen confirmed the request would have to comply with storm water
21 regulations with the Village's Engineering Department finding that the application complied with the
22 regulations.

23
24 Mr. Nielsen questioned whether the property is required to hold all of its water until it can be released in
25 terms of engineering. Ms. Klaassen responded the applicants cannot cause water runoff onto neighboring
26 properties and that the water would be directed to drains on the site, not onto neighboring properties.
27 No additional questions were raised at this time.

28
29 Chairman Bradley swore in those speaking to this matter. Cal Bernstein, the applicants' attorney, stated
30 he would describe the changes between the former and current application. He identified the sites'
31 location and lot lines with the initial plan being to move the lot lines to the west due to issues in the rear
32 of the property and the lack of the garage's functionality. Mr. Bernstein then referred to the historical
33 significance of 1423 Asbury and that the applicant reconsidered the plan to demolish the home. He stated
34 the request remained the same as the previous proposal with the exception of them now keeping the
35 home at 1423 Asbury and identified the issues relating to the driveway. Mr. Bernstein noted the two car
36 garage at 1423 Asbury would be removed which would improve water runoff issues to the neighbors'
37 property. He stated the only change in the properties' appearance would be to shift the driveway to the
38 west side of the property requiring side yard relief. He also stated a swail to collect storm water and
39 additional landscaping would be included as part of the plan. Mr. Bernstein stated the standards were
40 addressed in the application and noted they received the email at their arrival at tonight's meeting which
41 primarily related to engineering plans. He noted they would work with the Engineering Department to
42 work with the west neighbor noting a curb cut was included between the properties to address that
43 neighbors' concerns with the project being an improvement over the current condition. Mr. Bernstein
44 then asked if there were any questions.

45
46 Chairman Bradley also asked if there were any questions. No questions were raised at this time. He then
47 asked if there was any public comment. No comments were made at this time. Chairman Bradley then
48 called the matter in for discussion.

Chairman Bradley referred to the previous concerns relating to the garage and the concerns recently raised by the neighbors relating to storm water runoff which are not within the Board's purview. Ms. Casale MacNally referred to the new driveway's location. Chairman Bradley referred to Figure 4 on page 5 and described the Plan Commission's concerns relating to the appearance of it being a shared driveway which led to its relocation. Mr. Haller questioned the fence's location which was clarified by the Board. The Board Members also discussed the new garage's location and the side yard and total side yard calculations noting the existing nonconformities.

Mr. Vender described the application as a complicated no-brainer and stated he would be in support of the request noting compliance is required by the Engineering Department and that the request met the standards. Chairman Bradley stated he would also be in favor of recommending approval and appreciated the applicant's attempts to retain and repair the 1423 Asbury property with the request being an improvement for the neighborhood. Mr. Haller referred to the increased GFA and asked for the Board's comments. Mr. Nielsen responded it was previously addressed by Ms. Klaassen which related to the zoning ordinance change relating to basements. Ms. Klaassen noted a GFA bonus is allowed for the detached garage but there would be an overall GFA increase.

Mr. Nielsen stated the email relating to the storm water concerns are not to be addressed by the Board as well as impermeable surfaces noting the request met the standards. He also referred to the garage on the west side and the three variances being requested. Mr. Nielsen then stated he would be in support of the request. Mr. Haller stated he did not see anything that is overly concerning to him and referred to the improvements to the neighbors' property in connection with the driveway's relocation. Ms. Casale MacNally stated three vehicles would be able to be parked at 1415 Asbury, the neighbors' concerns relating to storm water would be addressed by the Engineering Department and the fact the 1423 Asbury could have been replaced by a much larger home. She then stated she is in support of the request.

Chairman Bradley asked for a motion to recommend approval as indicated on page no. 13. A motion to recommend approval was made by Ms. Casale MacNally and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 5 to 0:

AYES: Bradley, Casale MacNally, Haller, Nielsen, Vender

NAYS: None

New Cases:

a. Case No. 23-06-V: 615 Elm Street: An application seeking approval of zoning variations to allow construction of an addition to the existing residence at 615 Elm Street. The requested variations would permit the addition to (i) exceed the maximum permitted gross floor area; (ii) provide less than the minimum required side yard setback from the west property line; and (iii) provide an unarticulated west side building wall. The Zoning Board of Appeals has final jurisdiction on this request.

Ms. Klaassen identified the property's location, zoning classification and photos of the front and rear of the home. She stated the applicant has also submitted a preliminary property history study preparation request relating to the 20% GFA bonus request with the Historical Society finding the home has architectural and historical significance. Ms. Klaassen then stated the applicant would then be asked to have an HAIS prepared for consideration by the LPC. She also described the proposed work included as part of the project noting the home is existing nonconforming and identified the setback and articulation requirements and variations being requested.

The Board Members asked several clarifying questions relating to the articulation requirements which Ms. Klaassen provided for the Board. Ms. Klaassen also identified other interior spaces that would be changed

1 as part of the project and referred to illustrations of the proposed addition on the north and west
2 elevations. She noted no public comment was received and stated two resolutions were drafted; one
3 approving the request and one denying it, both of which are included in the packet. Ms. Klaassen then
4 asked if there were any questions.

5
6 Ms. Casale MacNally asked with regard to GFA if it would be addressed as part of the historical
7 preservation process. Ms. Klaassen responded the variation request would come first with the historical
8 review process relating to the GFA taking longer to complete. Ms. Casale MacNally asked with regard to
9 the side yard setback if there would be no change. Ms. Klaassen confirmed that is correct. Chairman
10 Bradley asked with regard to the newly created specialty GFA bonus how many applications were received
11 relating to the bonus. Ms. Klaassen responded a home on Forest was the only similar request, but the
12 owners decided not to commission an HAIS so there hasn't been a bonus granted yet. No additional
13 questions were raised at this time.

14
15 Chairman Bradley swore in those speaking to this request. Healy Rice introduced herself as the architect
16 along with the property owner, Jennifer Katzman. Ms. Rice explained the reasoning for the proposed
17 addition's location with the articulation variation making the most sense to request. She then stated they
18 are having the HAIS report prepared and described the GFA bonus process as a wonderful opportunity for
19 the Village. Ms. Rice noted the FAR variation would be eliminated if the request is approved adding the
20 home is definitely significant and was built by one of the founding Village architects. She then stated the
21 FAR request is due to the coach house and they are not eligible for the detached garage bonus with the
22 proposed addition serving to square up the home. Ms. Rice referred to the neighboring properties and
23 identified mature landscaping between the properties in terms of view. She then asked if there were any
24 questions.

25
26 Mr. Vender questioned the cost of the HAIS. Ms. Rice estimated it to be \$4,500. He also asked about the
27 neighboring home. Ms. Rice stated the HAIS would contain pertinent information relating to the
28 applicant's home and neighboring homes.

29
30 Chairman Bradley asked if there were any comments from the public. No comments were made at this
31 time. He then called the matter in for discussion.

32
33 Mr. Haller commented the request is a reasonable ask and would help maintain a historically significant
34 home and described how the kitchen would be updated which was not scaled to today's standards. He
35 also stated he is not bothered by the existing unarticulated wall and to make it compliant would frustrate
36 what the purpose is. He then referred to the amount of landscaping and stated the request would not be
37 an imposition on the neighborhood or neighboring property with a modest increase in GFA. He concluded
38 by stating he would be in support of the request.

39
40 Mr. Vender stated this is an easy no-brainer and his questions relating to the process were addressed and
41 he would be in support of the application. Ms. Casale MacNally stated she is also in support of the request
42 and referred to a previous similar case. She stated the project would bring the home up to the realities of
43 modern life and the additions are being kept in the rear. Ms. Casale MacNally then stated she would be
44 in support of the request. Mr. Nielsen stated he has been in the home and the addition in the back needed
45 to be done. He then referred to the roofed lot coverage information and impermeable lot coverage and
46 stated the standards have been met. Mr. Nielsen also stated he is unbothered by the articulation and
47 would be in favor of the request. Chairman Bradley stated he would also be in favor of the request and
48 noted for the record he is in support of saving historic homes and modernizing the Village's current

1 housing stock. He described the GFA bonus program as very important which can serve as an inspiration
2 to future applicants. Chairman Bradley agreed the articulation issue is not a concern and to require
3 compliance should not be forced in this case. He concluded he is in support of the request.
4

5 Chairman Bradley then asked for a motion to approve the resolution as indicated on page 113. A motion
6 to approve the resolution was made by Ms. Casale MacNally and seconded by Mr. Nielsen. A vote was
7 taken and the motion unanimously passed, 5 to 0:

8 AYES: Bradley, Casale MacNally, Haller, Nielsen, Vender

9 NAYS: None
10

11 **New Business:**

12 a. July 10, 2023 Meeting - Quorum Check

13 The Board Members discussed their availability.
14

15 **Public Comments:**

16 No comments were made at this time.
17

18 **Adjournment:**

19 Chairman Bradley asked for a motion to adjourn. A motion to adjourn was made by Ms. Casale MacNally
20 and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 5 to 0:

21 AYES: Bradley, Casale MacNally, Haller, Nielsen, Vender

22 NAYS: None

23 The meeting adjourned at 8:13 p.m.
24

25 Respectfully submitted,

26
27 Antionette Johnson

28 Recording Secretary



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: JULY 6, 2023
SUBJECT: 258 RIDGE AVENUE - VARIATION (CASE NO. 23-09-V2)

INTRODUCTION

On July 10, 2023, the Zoning Board of Appeals (ZBA) is scheduled to hold a public hearing on an application submitted by Robert and Kerry Nelson (collectively, the "Applicant") as the owners of the property located at 258 Ridge Avenue (the "Subject Property"). The Applicant requests approval of the following zoning variation to allow construction of a one-story addition to the existing residence on the Subject Property:

1. **Gross Floor Area (GFA)** of 3,836.94 square feet, whereas a maximum of 3,291.2 square feet is permitted, a variation of 545.74 square feet (16.58%) [Section 17.30.040 – Maximum Building Size] [Note: The existing residence currently consists of 3,766.86 square feet. The proposed addition would add 70.08 square feet of GFA].

A mailed notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Winnetka Talk* on June 22, 2023. As of the date of this memo, staff has not received any written comment from the public regarding this application.

The Village Council has final jurisdiction on this request as only the Council has the authority to grant a variation to allow a zoning lot with a pre-FAR building (constructed prior to 1989) to exceed the maximum permitted GFA by more than 10%.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.19 acres in size, is located on the west side of Ridge Avenue, between Sunset Road and Mount Pleasant Street, and contains an existing two-and-half-story residence and a detached garage (see Figure 1). The property is zoned R-4 Single Family Residential, and it is bordered by R-4 Single Family Residential to the north and south, R-5 Single Family Residential to the east, and R-3 Single Family Residential to the west (see Figure 2). The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The zoning of the property is consistent with the Comprehensive Plan.

The existing lot is a legal nonconforming interior lot that is 8,228 square feet in lot area, while the minimum required lot area for an interior lot in the R-4 District is 12,600 square feet. Also, the lot has an average lot width of 44 feet, while the minimum required average lot width for an interior lot in the R-4 District is 60 feet.

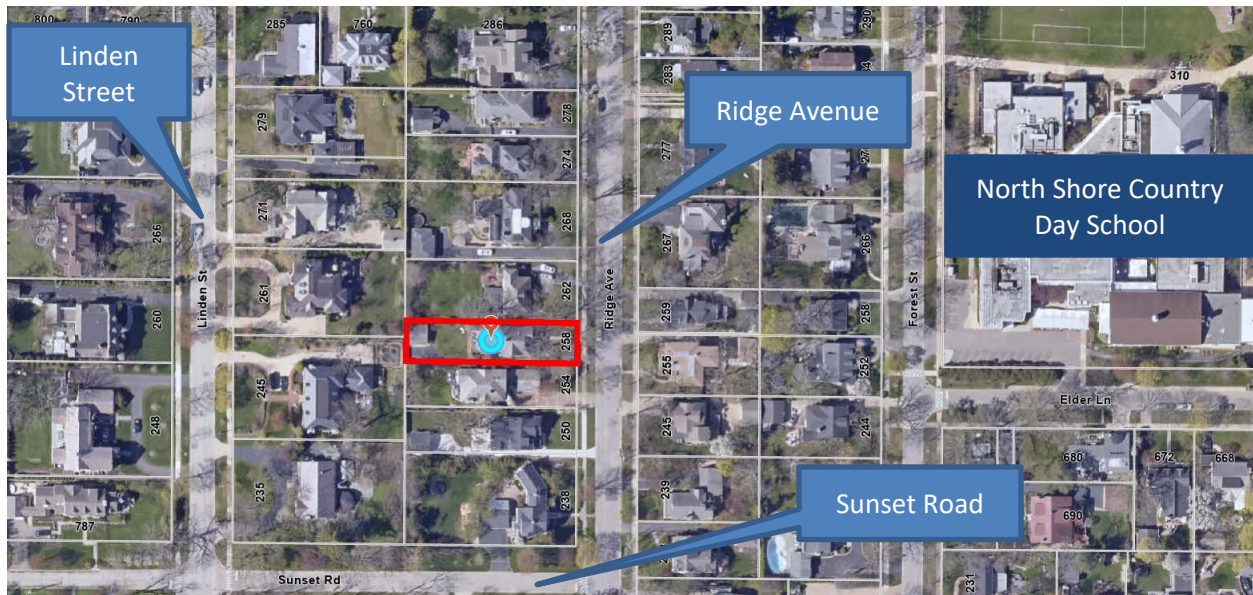


Figure 1 – Aerial Map

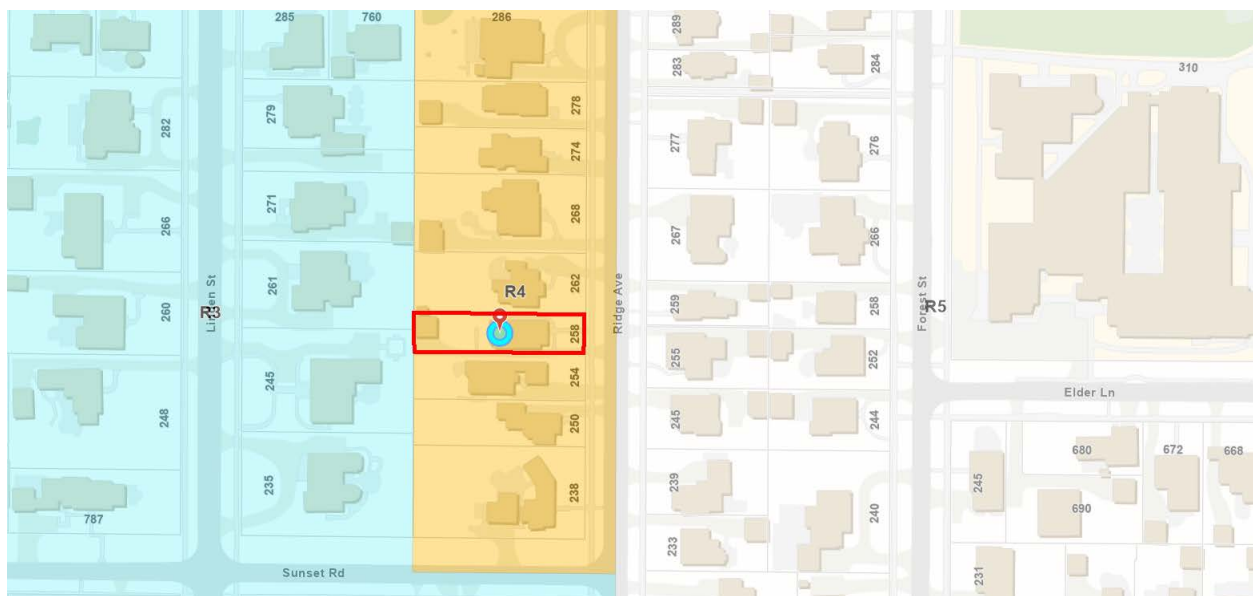


Figure 2 – Zoning Map

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The original date of construction of the residence is not able to be determined from Village records. According to research by the Winnetka Historical Society (WHS), the residence is circa 1890's. The following subsequent building permits were issued in:

1. 1930 to alter a two car garage;
2. 1993 to erect a two car detached garage;
3. 1994 to construct an addition at the rear of the existing residence;
4. 1995 to renovate two bedrooms and two bathrooms on the second floor; and
5. 2018 to renovate two bathrooms and add a second floor laundry room.

Other minor permits have been issued over the last several years. The Applicant acquired the property in 2013. There is one previous zoning case on file for the Subject Property. In 1994, ZBA Case No. 1638 was approved by the ZBA granting a variation to exceed the maximum permitted roofed lot coverage to allow a one-story addition on the rear elevation of the existing residence.

In April of this year, the Applicant submitted a Preliminary Property History Study Preparation Request. This is the first step in the Historic and Architecturally Significant Maximum Building Size Bonus review process. In March of 2021, the Village Council amended the Village Code to further encourage the preservation of historic or architecturally significant homes. The adopted amendments provide a 20% maximum building size (GFA) bonus to any single-family home that the Landmark Preservation Commission (LPC) finds to be historic or architecturally significant, provided the home is not demolished or altered in a manner that destroys the home's historic or architectural significance. The goal of the bonus is to encourage property owners and developers to preserve significant homes rather than demolish them.

After a Preliminary Property History Study Preparation Request is received, staff compiles the permit records, and any other relevant documents in Village files, for the property and provides the information to the WHS and requests comments from the WHS. The WHS conducted its research on the Subject Property and property ownership in May of this year (Attachment D). The WHS found that the Subject Property likely maintains historical and architectural significance due to its association with early developer John T. Dale. Mr. Dale was an attorney who moved to Winnetka and began investing in and developing real estate in the early 1870's. He developed multiple subdivisions in the Village, within which he built many large Victorian homes. The WHS commented that "258 Ride is a good example of the vernacular Victorian style that was popular in Winnetka in the 19th and early 20th centuries. While we do not know with certainty that this house was built by Dale in the 1890's, the style is in-line with his other Victorian houses and it falls within Dale's 3rd subdivision."

The Applicant has received the results of the WHS research. If the Applicant wishes to continue to pursue the Historic and Architecturally Significant Maximum Building Size Bonus, the next step would be for the Applicant to commission a Historic and Architectural Impact Study that is then reviewed by the LPC to determine whether the property is historic or architecturally significant and therefore worthy of the 20% GFA bonus. At this time, the Applicant has decided to pursue the variation request that is currently before the Board.

For the Board's information, the maximum allowed GFA on the Subject Property is 3,291.2 square feet. A 20% maximum building size bonus, if the home was designated a historic or architecturally significant structure, would allow the home to have an additional 658.24 square feet for a total of 3,949.44 square feet. The Applicant is requesting a variation to allow a total of 3,836.94 square feet of GFA on the property, which is 112.5 square feet less than would be allowed by the 20% maximum building size bonus.

Figure 3 on the following page is a photo of the Subject Property taken earlier this year and Figure 4 is a photo believed to have been taken in 2013.



Figure 3 – Subject Property - Front Elevation (Ridge Avenue)



Figure 4 – Subject Property - Rear Elevation

The variation is being requested in order to construct a one-story addition on the rear elevation of the existing residence. A portion of the existing deck would be removed to accommodate the proposed addition, which would consist of a mudroom measuring 13 feet by 6.75 feet (87.75 square feet). The proposed plans also include removing the existing front entry enclosure; this area consists of 17.67 square feet of gross floor area (GFA). Therefore, the net increase in GFA is approximately 70 square feet.

BRICKING AROUND DRIVEWAY

BRICKING DRIVEWAY

BRICKING BRICK WALL NEWSPAPER TUNNELS

DECK

1.5 story

2.5 story

2500 RIDGE 2 1/2 story

Front Porch

BRICKING DRIVEWAY

BRICKING DRIVEWAY

BRICKING WALL

44.00

157.00

50.50

187.00

187.00

Proposed One-Story Addition

RIDGE AVENUE

Page 5

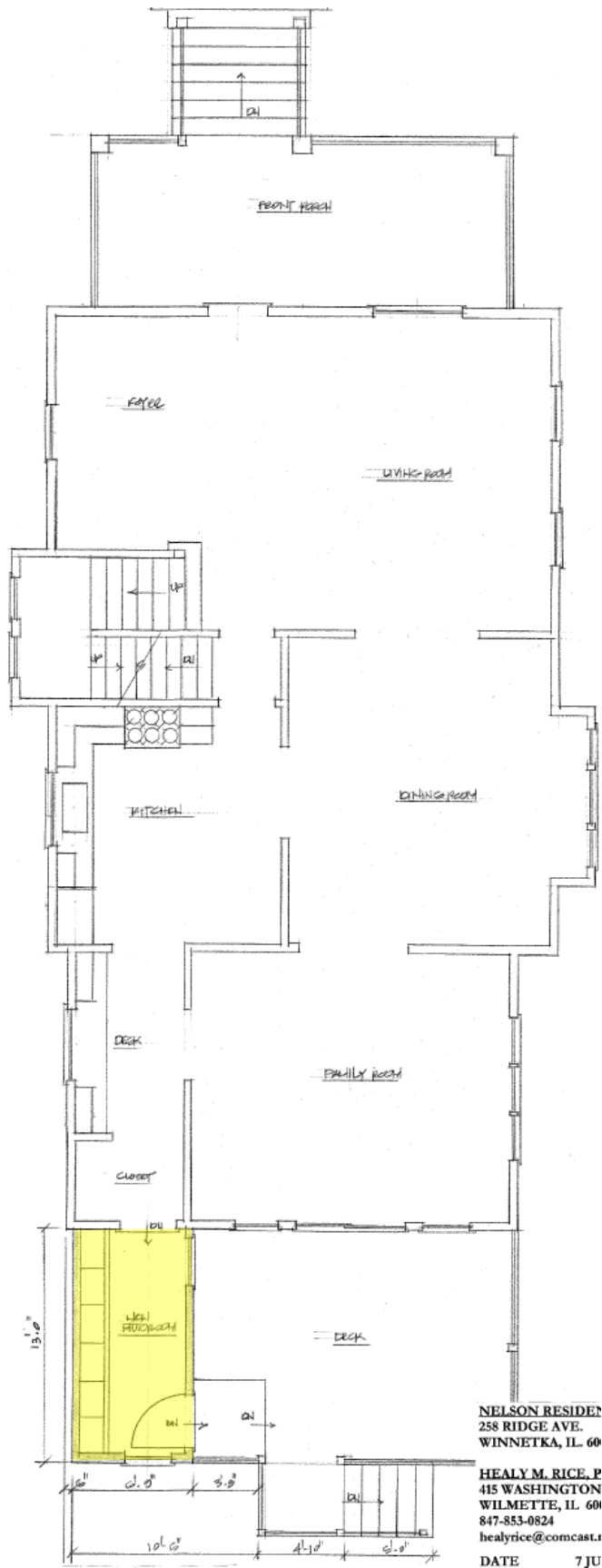




Figure 7 – Proposed Rear Elevation (West)



Figure 8 –Proposed Side Elevation (North)



Figure 9 – Proposed Side Elevation (South)

Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, attached is a Stormwater Matrix (Attachment B). Based on the proposed plan, which represents a negligible increase in impermeable lot coverage, it appears additional stormwater detention would not be required. However, a final determination will be made by Village Engineering staff. Figure 10 on the following page represents the Subject Property's proximity to the floodplain; the cyan represents the 100-year flood area and the orange represent the 500-year flood area.

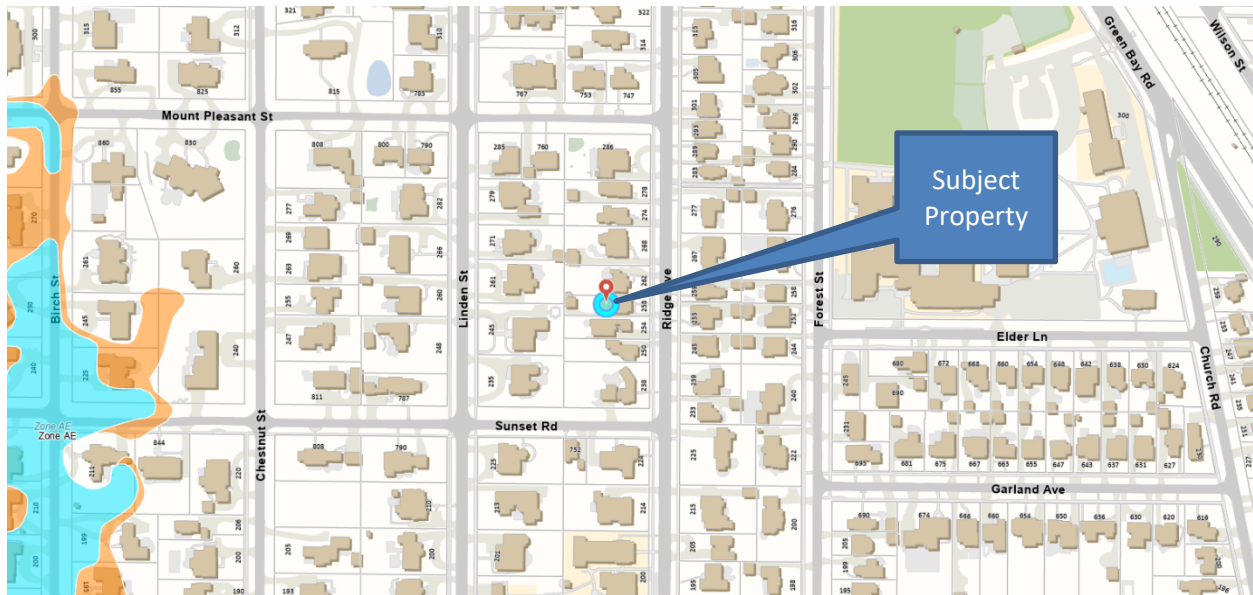


Figure 10 – GIS Floodplain Map

REQUESTED ZONING RELIEF

The attached Zoning Matrix highlights the existing lot and the proposed improvement's compliance with the R-4 zoning district (Attachment A). One variation is being requested to exceed the maximum permitted GFA. The site currently contains 3,766.86 square feet of GFA, exceeding the maximum permitted GFA by 475.66 square feet (14.45%). The net increase in GFA with the proposed addition is 70.08 square feet, bringing the total GFA to 3,836.94 square feet, whereas a maximum of 3,291.2 square feet is permitted, a variation of 545.74 square feet (16.58%).

FINDINGS

Section 17.60.040 of the Zoning Ordinance lists eight variation standards that the Board must find a variation application meets. The Applicant has supplied as part of their application materials a narrative addressing how this proposal meets these standards.

Does the ZBA find that the requested variation meets the standards for granting such variation; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variation granting:

1. Gross Floor Area (GFA) of 3,836.94 square feet, whereas a maximum of 3,291.2 square feet is permitted, a variation of 545.74 square feet (16.58%) [Section 17.30.040 – Maximum Building Size].

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variation requested is **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **have been met [have not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
3. The variation, if granted, will not alter the essential character of the locality.
4. An adequate supply of light and air to the adjacent property will not be impaired.
5. The hazard from fire and other damages to the property will not be increased.
6. The taxable value of the land and buildings throughout the Village will not diminish.
7. The congestion in the public street will not increase.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Stormwater Matrix

Attachment C: Application Materials

Attachment D: Winnetka Historical Society Research

ATTACHMENT A

ZONING MATRIX

ADDRESS: 258 Ridge Avenue

CASE NO: 23-09-V2

ZONING: R-4

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	12,600 SF	8,228 SF	N/A	N/A	EXISTING NONCONFORMING
Min. Average Lot Width	60 FT	44 FT	N/A	N/A	EXISTING NONCONFORMING
Min. Lot Depth	120 FT	187 FT	N/A	N/A	OK
Max. Roofed Lot Coverage	2,221.56 SF (1)	1,713.89 SF	1,783.97 SF	70.08 SF	OK
Max. Gross Floor Area	3,291.2 SF (1)	3,766.86 SF	3,836.94 SF	70.08 SF	545.74 SF (16.58%) VARIATION
Max. Impermeable Lot Coverage	4,114 SF (1)	4,099.32 SF	4,099.73 SF	0.41 SF	OK
Min. Front Yard (Ridge/East)	30 FT	43.7 FT	43.7 FT	0 FT	OK
Min. Side Yard (North)	6 FT	2.9 FT	2.9 FT (3)	0 FT	EXISTING NONCONFORMING
Min. Side Yard (South)	8 FT	8.8 FT	8.8 FT	0 FT	OK
Min. Rear Yard (West)	25 FT	81.8 FT	68.8 FT	-13 FT	OK

NOTES:

(1) Based on lot area of 8,228 s.f.

(2) Variation amount is the difference between proposed and requirement.

(3) Existing nonconforming setback of 2.9 feet will remain. Proposed addition would provide a setback of 6.2 feet.

ATTACHMENT B

Stormwater Volume Requirements for Development Sites

In addition to meeting the following storm water volume detention requirements, development sites must meet all other Village storm water management requirements such as drainage and grading, storm water release rates, storage system design requirements, etc. An exception is for lots along the lakefront that directly discharge into Lake Michigan; those lots are not required to provide stormwater volume detention on-site. They are required to meet all other Village stormwater system design requirements.

	Storm Water Detention Volume Requirements	Applicable Requirement
A. New Home Construction - Previously Developed Lot	The amount of additional required storm water detention volume is based upon the difference between maximum impermeable lot coverage, per Zoning Code, and existing lot coverage, using the run-off coefficient for a 100-year storm event for both.	
B. New Home Construction - Previously <u>Undeveloped</u> Site	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
C. Redevelopment of Site for Different Use (e.g. single family to multi-family, or commercial)	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
D. Improvements to Existing Home and/or Lot, causing an increase in impermeable lot coverage <u>greater or equal to 25%</u>.	The amount of additional required storm water detention volume is based upon the difference between the proposed and existing impermeable lot coverage, using the run-off coefficient for 100 year storm event. (Note: If the increase in impermeable lot coverage is less than 25%, additional storm water detention volume is <u>not</u> required.)	<i>Applies to 258 Ridge Avenue</i> <i>Based upon preliminary review of information to date, it appears that 258 Ridge Avenue <u>would not</u> have to provide additional storm water detention volume. However, a final determination will not occur until engineering plans are submitted with a building permit application.</i>
E. Improvements to existing lots, who currently exceed maximum impermeable lot coverage (e.g., School sites,	The amount of additional required storm water detention volume is based upon: a) The amount of the impermeable lot coverage (ILC) currently in excess of the maximum	

Stormwater Volume Requirements for Development Sites

single family and multi-family sites)	permitted amount of ILC allowed by zoning that will be removed and replaced, and/or b) The amount of ILC in addition to what currently exists on the lot. The amount of required detention value is then determined using the run-off coefficient for 100-year storm event.	
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ATTACHMENT C

Village of Winnetka
ZONING VARIATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS

DEPARTMENT OF COMMUNITY DEVELOPMENT

VA 2023-545

ZONING VARIATION APPLICATION

Case No. 23-09-V2

Property Information

Site Address: 258 Ridge Ave.

Owner Information

Name: Robert and Kerry Nelson

Address: 258 Ridge Ave.

City, State, ZIP: Winnetka, IL 60093

Email: [REDACTED]

Primary Contact: Kerry Nelson

Phone No. [REDACTED]

Date property acquired by owner: 2013

Architect Information

Healy M. Rice

Name: [REDACTED]

Primary Contact: Healy Rice

Address: 415 Washington Ave.

City, State, ZIP: Wilmette, IL 60091

Phone No. 847-853-0824

Email: healyrice@comcast.net

Attorney Information

Name: [REDACTED]

Primary Contact: [REDACTED]

Address: [REDACTED]

City, State, Zip: [REDACTED]

Phone No. [REDACTED]

Email: [REDACTED]

Nature of any restrictions on property: none known

Brief explanation of variation(s) requested (attach separate sheet providing additional details):
FAR request to construct new 1 story mudroom in place of existing deck.

Property Owner Signature: [REDACTED]

Date: 06/07/2023

**Kerry and Rob Nelson
258 Ridge Avenue
Winnetka, Illinois 60093**

Request for Zoning Variation

258 Ridge Avenue is located on the west side of Ridge between Sunset Road and Mt. Pleasant Street. We are seeking a 373.67 sf (10.78 8%) Floor Area Ratio variation to permit construction of a one-story 87.75 sf mudroom addition that would replace a section of our existing deck on our legally non-conforming home. Lot coverage and remaining setbacks are compliant with required.

We seek this variation due to unique circumstances, practical difficulty and hardship. Our home was built in the 1870's and predates the current zoning ordinance. At 44.0 feet wide, it is a narrower and therefore smaller than the average lot of the neighborhood. Typical of its era, the house sits high off the ground on its foundation; the topography of our lot slopes downhill making the back higher off the ground than the front, exacerbating this condition. The exposed basement exterior walls are more than 4' tall, causing the majority of our basement to be included in our FAR. The basement adds 841.04 sf to our FAR by current standards; if the basement did not count, we would be more than 467 sf under the requirement.

Our basement is a modest collection of small rooms with ceiling heights at and under 7'-0" high. An addition built in 1994-5 on the rear of the home has only crawl space underneath, the interior clearance there is less than 5'-0" and used as storage only. At present we have a raised deck off our family room and steps down to grade. The mudroom would replace the north 6'-9" of the deck and project the same 13'-0" distance west. The steps to grade would just shift to the south.

The 1994 addition by former owners does include a small mud area by the back door. We have lived in the home for 10 years now and this nook is insufficient for our family of 6 people. Adjacent to the mud area is a narrow countertop and then our kitchen. We have tried to work with the existing area with clever storage options, but it falls far short. A mudroom addition with dedicated storage will provide the needed location for our everyday coats, shoes, boots, and sporting equipment. We have considered alternative locations within our existing footprint but none of them really work with the first-floor plan; building a new mudroom off the back of the house with access from our driveway makes the most practical sense.

The only neighbors impacted by the additions are to our north and west. To the west, our rear lot line will be 68.90 feet from the addition, and our detached garage at the back of our lot is behind the addition providing adequate separation and a visual screen. To the north, we are offsetting the mudroom addition to comply with the 6'-0" side yard minimum and the 18" articulation requirements. Our house is actually only 4.50 feet from the north property line so the mudroom will be farther away from our north neighbor and, at only one story, will not be imposing. There will be no impact to the light or air to any property in the rest of the neighborhood.

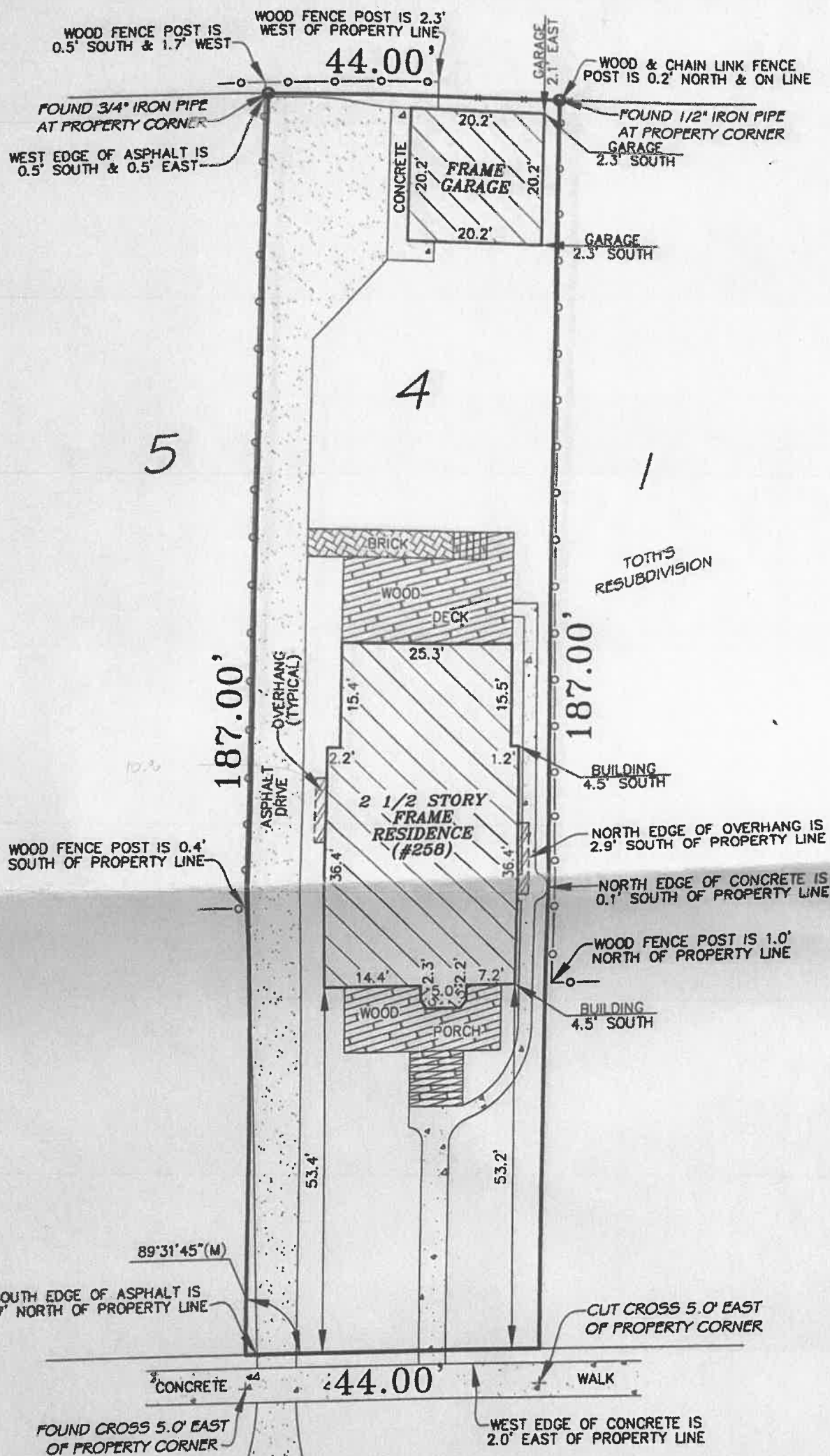
The proposed zoning relief does not alter the essential character of the neighborhood and will be consistent with the goals, objectives, and policies established in the zoning ordinance. The proposed variation will not impair an adequate supply of light and air to the adjacent properties, will not injure other property and its use, will not substantially increase the danger of fire, or otherwise endanger public health, safety and welfare, and will not substantially diminish or impair property values within the neighborhood.

Thank you for your consideration.

PLAT OF SURVEY

OF

THE SOUTH 44 FEET OF LOT 4 IN BLOCK 5 IN DALE'S THIRD ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTHEAST QUARTER (EXCEPT THE NORTHEAST QUARTER THEREOF) OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



AREA = 8,228 SQ. FT.
MORE OR LESS

LEGEND

(R/M) - RECORD / MEASURED
L - ARC LENGTH
R - RADIUS
CH - CHORD

PREPARED FOR: DANIEL F. HOFSTETTER (ATTORNEY AT LAW)
JOB ADDRESS: 258 RIDGE AVENUE, WINNETKA, IL
SELLER/BUYER: MARTIN / NELSON
JOB NO.: 13-06-0021

NEKOLA SURVEY, INC.

PROFESSIONAL LAND SURVEYING SERVICES
WWW.NEKOLASURVEY.COM
400 N. SCHMIDT RD., STE. 203
BOLINGBROOK, ILLINOIS 60440
(630) 226-1530 PHONE (630) 226-1430 FAX



NORTH

SCALE: 20'

FIELD WORK COMPLETED ON THE 13TH DAY OF JUNE, 2013.

(STATE OF ILLINOIS)
(COUNTY OF WILL) SS

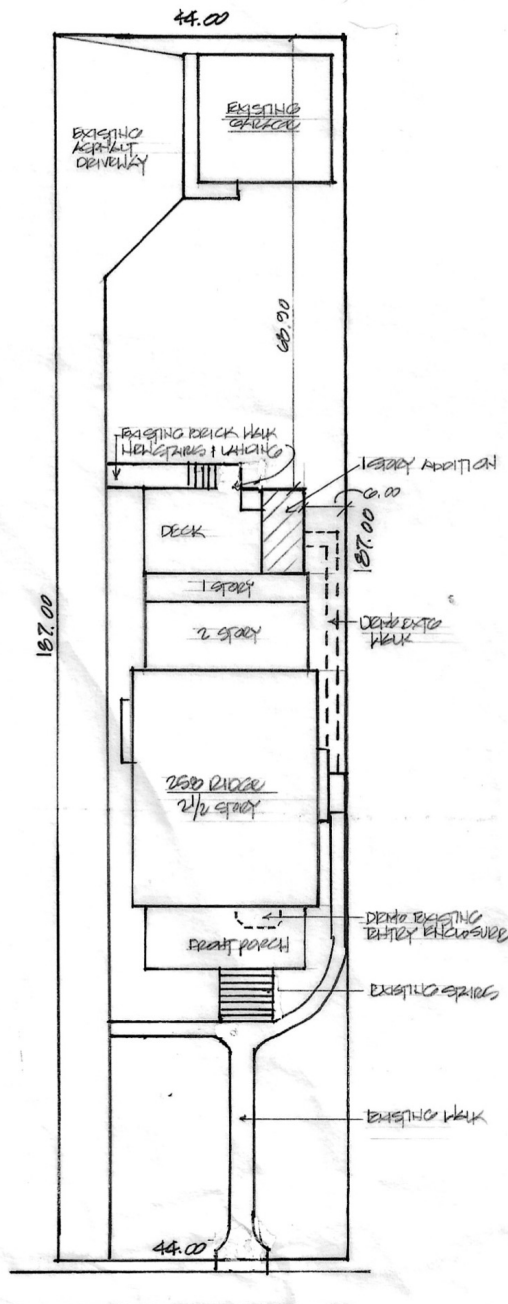
NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 14TH DAY OF JUNE, 2013.

Wayne W. Neola
IPLS No. 2923

LICENSE RENEWAL DATE: 30 NOVEMBER 2014.

NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, ABSTRACT, TITLE POLICY, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.



RIDGE AVENUE

SITE PLAN

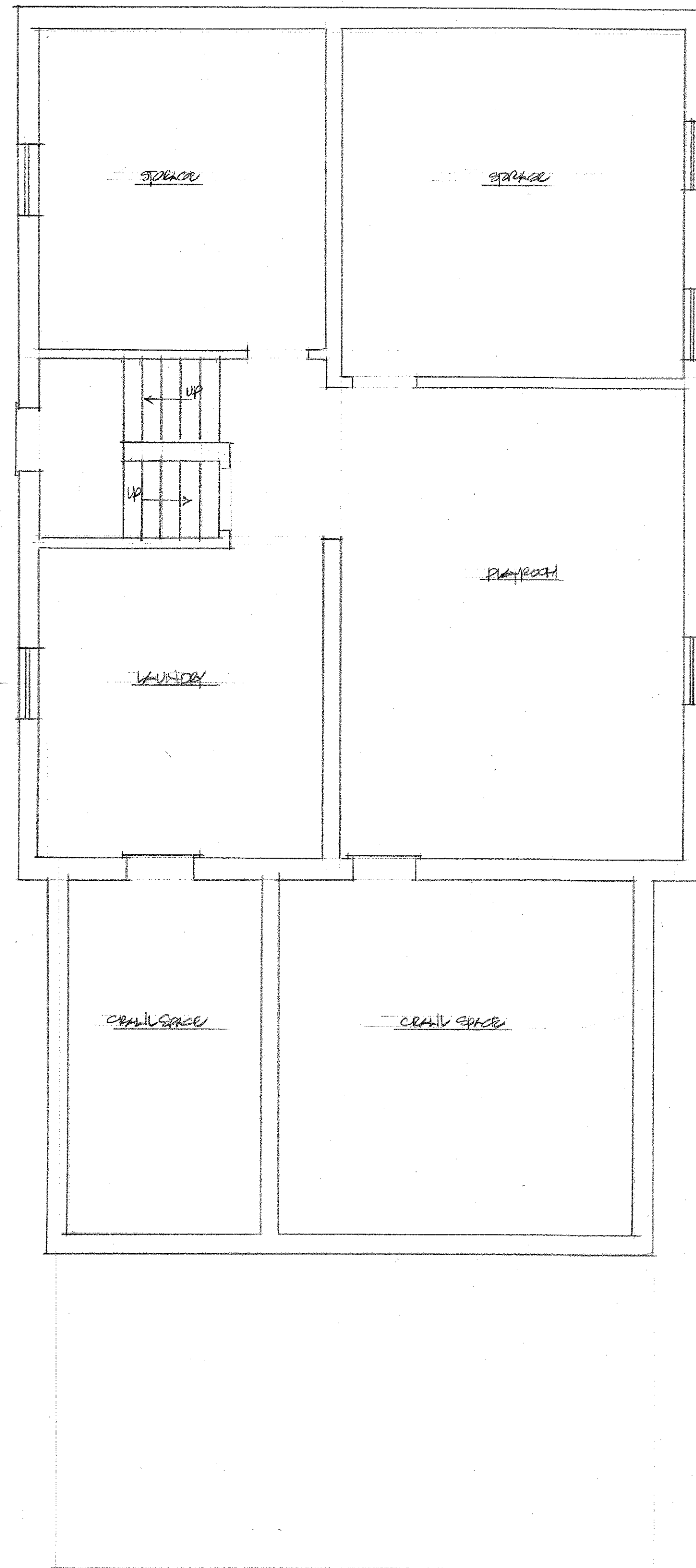
N

1" = 20'-0"

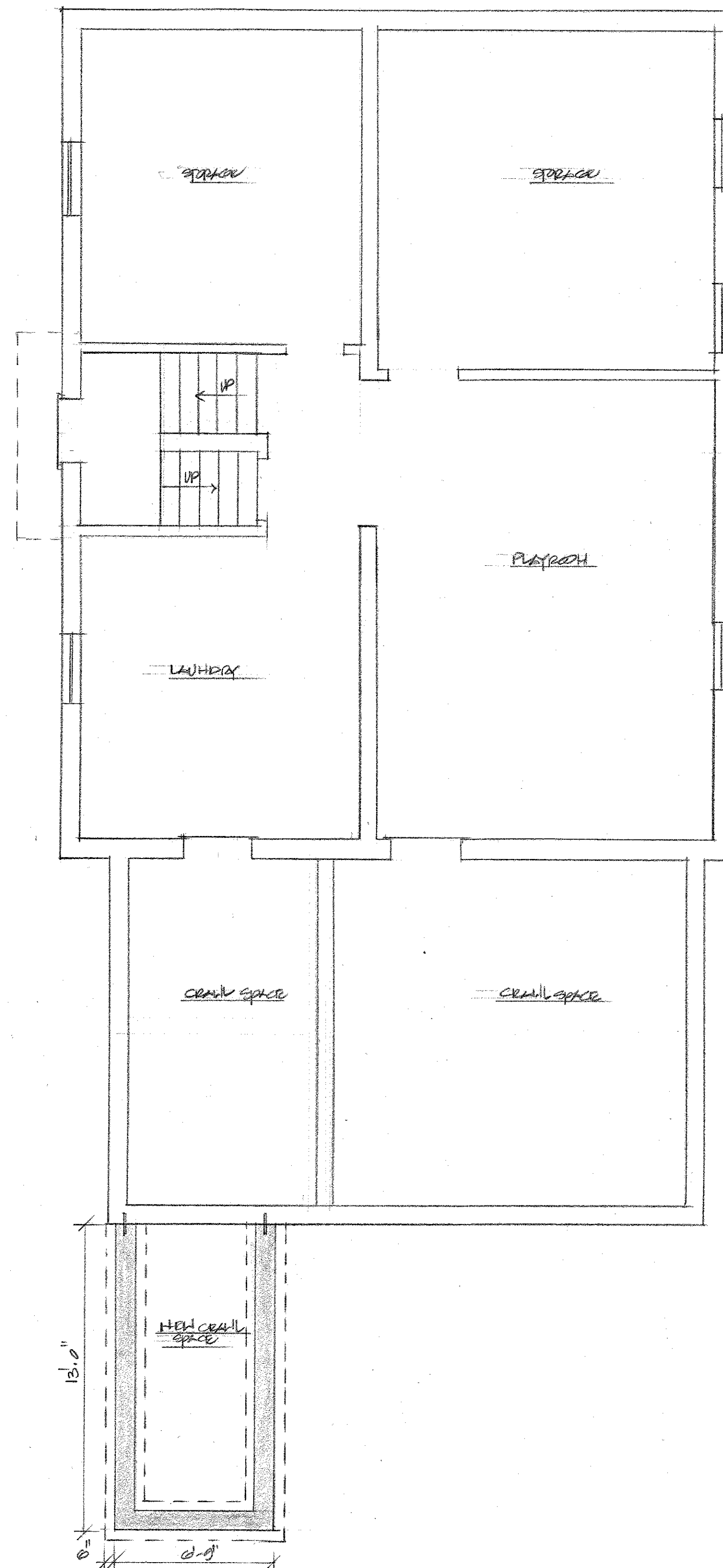
NELSON RESIDENCE
258 RIDGE AVE.
WINNETKA, IL. 60093

HEALY M. RICE, PC
415 WASHINGTON AVE.
WILMETTE, IL 60091
847-853-0824
healyrice@comcast.net

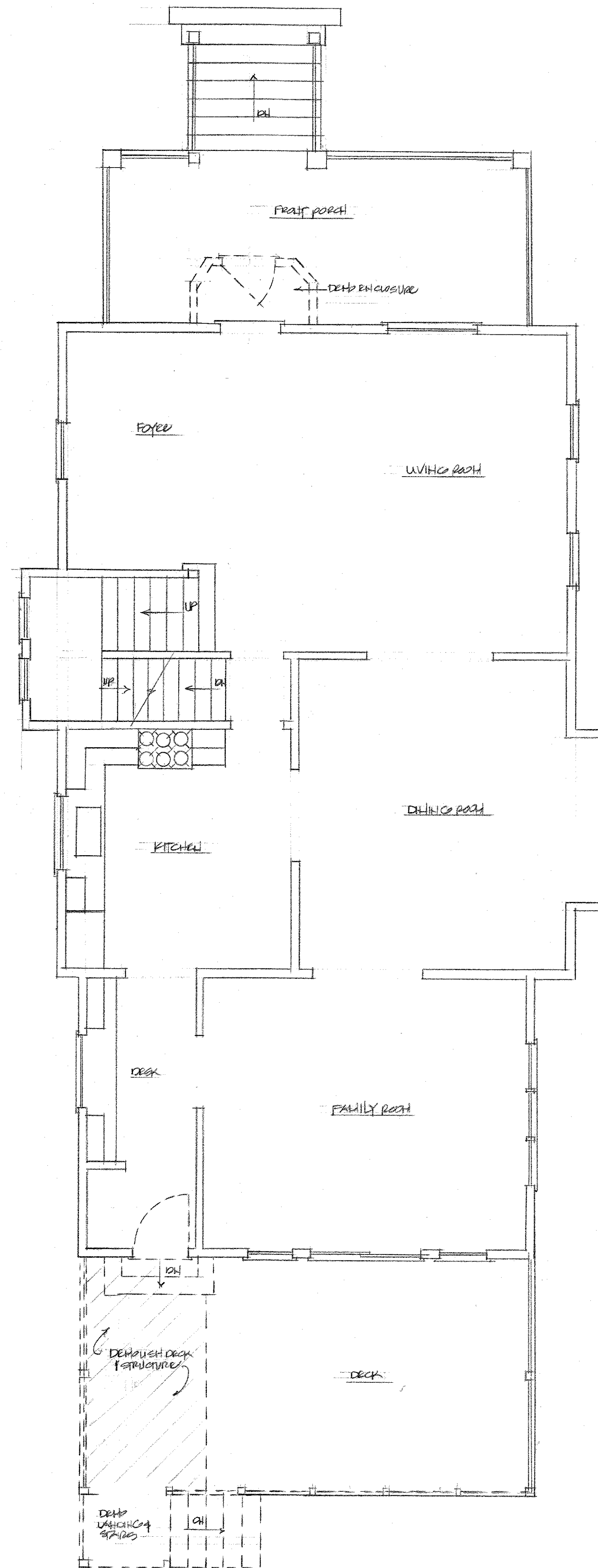
DATE 7 JUNE 23



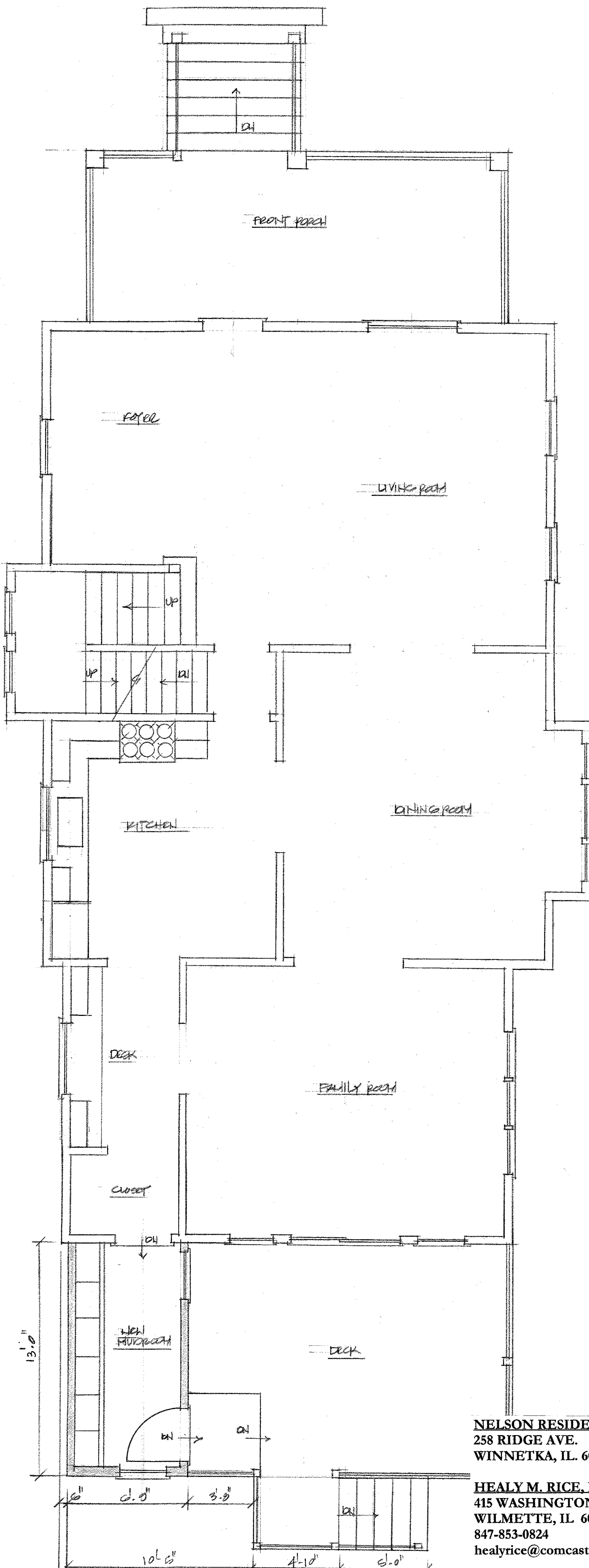
BASEMENT DEMOLITION
 1/4" = 1'-0"
 DEMOLITION



BASEMENT PLAN
 1/4" = 1'-0"
 NEW CONSTRUCTION



1ST FLOOR DEMOLITION
 1/4" = 1'-0"
 DEMOLITION



1ST FLOOR PLAN
 1/4" = 1'-0"
 NEW CONSTRUCTION

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DATE 7 JUNE 23
REVISED

SHEET 2 OF 4



EXISTING WEST ELEVATION
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"



EXISTING NORTH ELEVATION
1/4" = 1'-0"

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REVISED

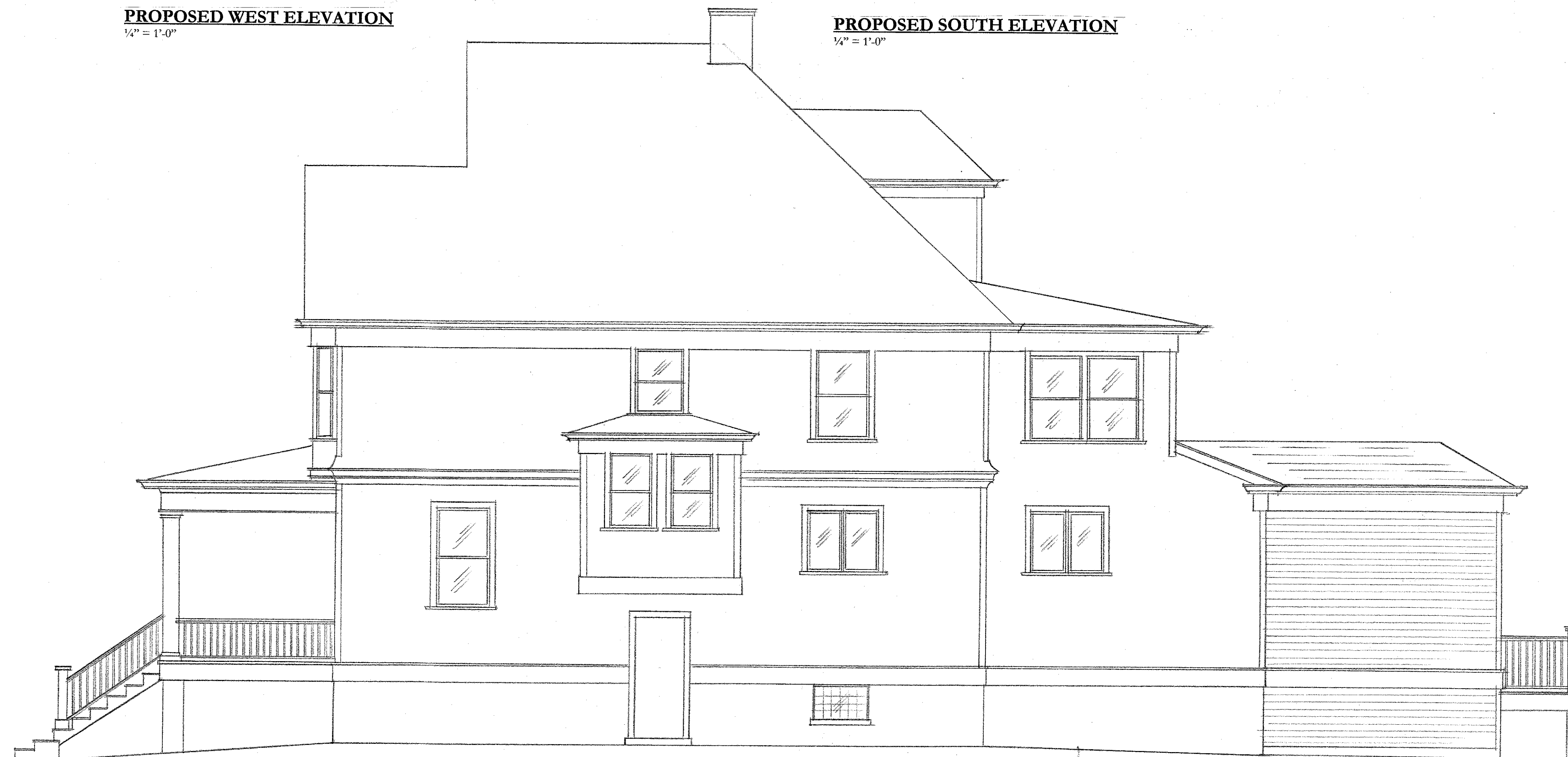
SHEET 3 OF 4



PROPOSED WEST ELEVATION
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



PROPOSED NORTH ELEVATION
1/4" = 1'-0"

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REVISED

SHEET 4 OF 4

PROPERTY RESEARCH COVERSHEET



Address: 258 Ridge

Construction Details:

Original construction date: c. 1890s¹

Construction type: Wood siding

Style: Victorian

OWNERSHIP HISTORY:

OWNER NAME	DATES OCCUPIED	INFORMATION ATTACHED	SIGNIFICANCE
John T. Dale	1870s – at least 1890s	Examination of Title for 258 Ridge, plat survey for Dale's 3 rd Subdivision	Dale was an early developer who built several historic Victorian houses in Winnetka. He served as the second President of the Village of Winnetka.
Hoyt and Lillian McClain	By 1909 – at least 1920	1909 directory, 1920 directory, <i>Winnetka Talk</i> obituary	Hoyt was the president of Tengwell Co. printers and binders.
Marx A. Stockley	1923	1923 directory, <i>Winnetka Talk</i> advertisement	Marx was a potato producer and supplier.
Duncan W. Dietrich	By 1925 – at least 1933	1925 directory, <i>Winnetka Talk</i> obituary	Duncan was the owner of the Dietrich Paper Company.
R. W. McMahon	By 1935 – 1950	1935 directory, real estate listing	
Lourde J. Welch	By 1954 – at least 1969	1954 directory, 1969 directory, <i>Winnetka Talk</i> obituary	Lourde was the Vice President of the World Book Encyclopedia.
Dr. Robert S. and Sharon A. Callaghan	By 1975 – 1994	Building permit application, 1975 directory	
Peter and Jane McNitt	1994 – 2002	Building permit application, <i>Winnetka Talk</i> property sales, Hub Group "About Us" webpage	Peter is the former Vice Chairman of BMO Harris Bank and the lead directory of the Hub Group.
Gary C. and Nan L. Martin	2003 – 2013	Cook County Recorder records	

¹ We have not been able to determine the exact build date. It is possible that it was built in the 1890s by John T. Dale as part of his 3rd subdivision, but we did not find any listings in the directories until 1909.

Kerry D. and Robert M. Nelson	2013 – present	Cook County Recorder records	
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ARCHITECTS:

ARCHITECT NAME	DATE AND DESCRIPTION OF PROJECT	INFORMATION ATTACHED
OAI – Rob Walker	1994 – construct rear addition; 1995 – renovate two bedrooms and two bathrooms on second floor	

RESEARCH SOURCES USED: *Winnetka Talk*, Cook County Assessor records, Cook County Recorder records, historic phone books, WHS property files, WHS digital files, Ancestry.com, *Chicago Tribune*

Findings:

Our research indicates that this home likely maintains historical and architectural significance due to its association with early developer John T. Dale. Dale was an attorney who moved to Winnetka and began investing in and developing real estate in the early 1870s. He developed multiple subdivisions in Winnetka, within which he built many large Victorian homes. Dale's father, Thomas, was a master carpenter (both an architect and builder) who likely designed and built the more ornate Italianate and Gothic Victorian houses in Dale's 1st and 2nd subdivisions.² Thomas Dale died in 1880. John Dale continued to develop Victorian houses after his father's death, though they tend to be vernacular Victorian in style.³

258 Ridge is a good example of the vernacular Victorian style that was popular in Winnetka in the 19th and early 20th centuries. While we do not know with certainty that this house was built by Dale in the 1890s, the style is in-line with his other Victorian houses and it falls within Dale's 3rd subdivision.

Date of Research: 5/10/2023

Submitted by:

Meagan McChesney, PhD
Curator, Winnetka Historical Society

Mary Trieschmann, MS Ed
Executive Director, Winnetka Historical Society

² 352 Linden, 352 Ridge (demolished in 1967), 326 Ridge, and 328 Linden, for example.

³ 238 Ridge is another example.