



Village of Winnetka

Zoning Administrator Meeting

July 17, 2023 at 4:00 PM
Winnetka Village Hall Council Chambers
510 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Public Comments**
3. **New Applications**
 - a. **Case No. 23-12-ZA - 789 Humboldt Avenue:** An application seeking approval of a zoning variation to allow replacement of an existing legally nonconforming portion of the existing residence at 789 Humboldt Avenue that would provide less than the minimum required rear yard setback from the westerly property line. The Zoning Administrator has final jurisdiction on this request.
4. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a public hearing will be held by the Winnetka Zoning Administrator on **MONDAY, JULY 17, 2023 AT 4:00 PM** in the Council Chamber of the Winnetka Village Hall at 510 Green Bay Road, Winnetka, Illinois for the purpose of considering the following:

**CASE NO. 23-12-ZA
789 HUMBOLDT AVENUE – ALTERATIONS TO RESIDENCE**

An application submitted by Dan Greiwe and Phyllis Myers (collectively the “Applicant”), as the contract purchaser of the property located at 789 Humboldt Avenue (the “Subject Property”), on behalf of the Valerie P. Kennedy 1994 Trust, the current owner of the Subject Property, **to allow replacement of an existing legally nonconforming portion of the existing residence on the Subject Property.** The Applicant has filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to provide less than the minimum required rear yard setback of 22.5 feet from the westerly property line.

The Subject Property (Parcel Index Number 05-17-415-025-0000) is generally located on the southwest corner of the intersection of Humboldt and Prospect Avenues and is zoned R-3 Single Family Residential. The Subject Property contains an existing two-story residence with an attached garage.

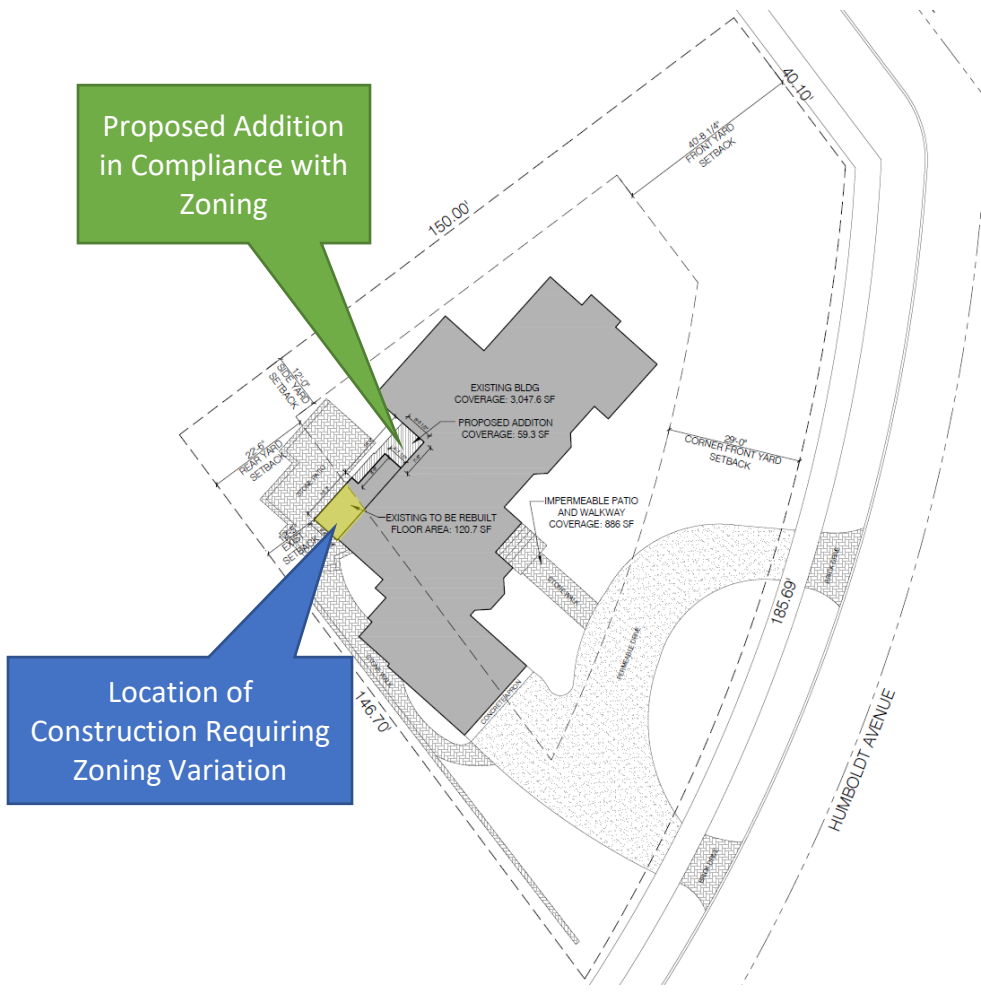
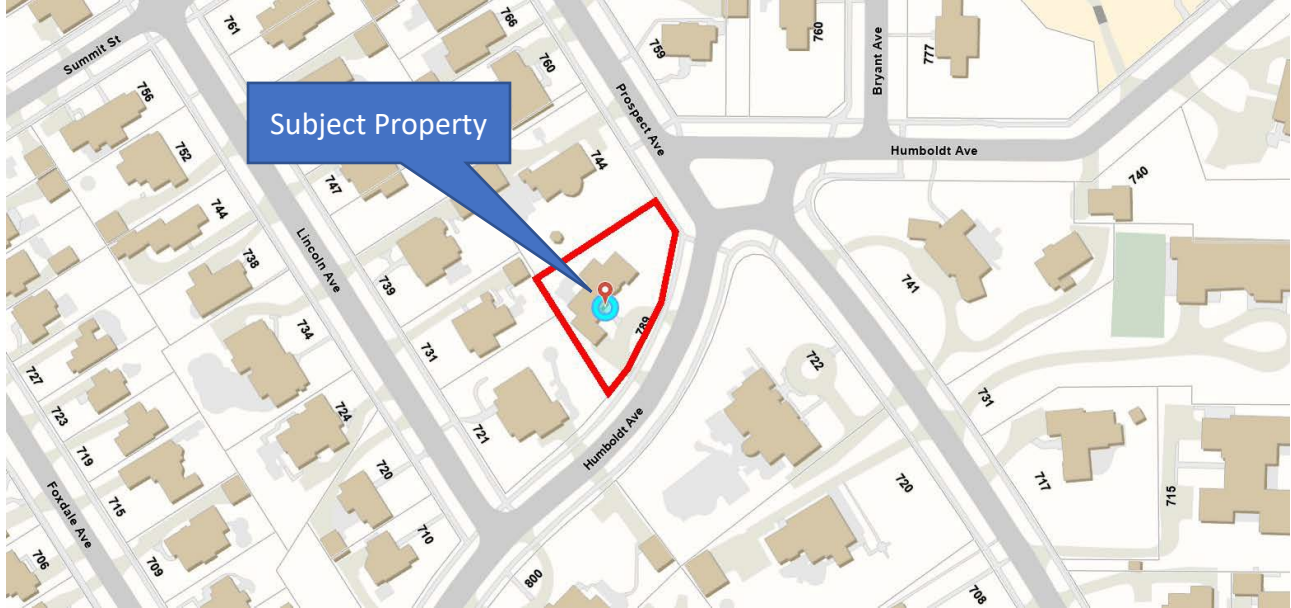
PUBLIC COMMENT & APPLICATION INFORMATION

At said public hearing and at any adjournment thereof, all persons interested are invited to attend and be heard. The agenda and materials for the meeting will be posted on the Village’s website - www.villageofwinnetka.org/agendas no later than Thursday, July 13, 2023. Persons seeking additional information concerning this application are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of two ways:

- 1) By sending an email to planning@winnetka.org; or
- 2) By sending a letter to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093.

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Excerpt of Proposed Site Plan
 (Note: Details may change through review process.)

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 23-12-ZA

Property Information

Site Address: 789 Humboldt Ave

Owner Information (contracted owner)

Name: Dan Greiner & Phyllis Myer Primary Contact: [Redacted]

Address: [Redacted] Phone No. [Redacted]

City, State, ZIP: Chicago, IL 60611

Email: [Redacted] Date property acquired by owner: 6. 2023

Architect Information

Attorney Information

Name: Heidi Paul, Paul Studio Design Name: NA

Primary Contact: Heidi Paul Primary Contact: _____

Address: 841 W. Chalmers Pl. Address: _____

City, State, ZIP: Chicago, IL 60614 City, State, Zip: _____

Phone No. 312 401 4025 Phone No. _____

Email: paul.studio@me.com Email: _____

Nature of any restrictions on property: The yard setbacks are set off of

prospect, causing the rear yard to land on the side of the house. We are asking for a reduction to rebuild in the existing footprint.
Brief explanation of variation(s) requested (attach separate sheet providing additional details):
49% reduction in rear yard setback

Property Owner Signature: [Redacted]

Date: 6/16/23

06/19.2023

Dear Zoning Administrator,

789 Humboldt Ave is an irregular corner lot. The zoning code corner lot definition seems to address regular corner lots where the shorter of the two frontages is typically the front yard. In this instance, the shorter of the two frontages (40.10') is diminutive in comparison to the much larger 185.69' that faces Humboldt. The house faces Humboldt Avenue, but the side of the house technically qualifies as the rear yard. Due to this categorization in the zoning code, the existing house encroaches into the rear yard setback.

We are asking for zoning relief for two changes to the existing building;

1. The owner would like to add windows in the existing southeast elevation of the house
2. The owner would like to rebuild the existing square footage of the sunroom off the of the back (northwest corner of the southwest elevation) which has currently fallen into disrepair.

In application of the Standards for Granting of Zoning Variations:

1. 789 Humboldt cannot yield a reasonable return if permitted to be used only under the current conditions allowed by the regulations of the district. Ten feet of the existing structure encroaches into the rear yard setback, this portion of the house has fallen into disrepair and requires restoration.
2. The 789 Humboldt lot is unique in shape. The siting of the original house encroaches on the rear yard setback. To remove this portion of the house and rebuild it in the "buildable area" would create extreme hardship on the owner and it would have an adverse effect on the architecture of the house and the neighborhood.
3. The variation, if grated, will not alter the essential character of the locality as the footprint of the encroached portion of the house will remain exactly the same in footprint and in character.
4. The volume of the house does not change, therefore the impact of light and air on the adjacent homes remains the same.
5. The volume of the house does not change, therefore the hazard for fire or other damages to the property will not increase. In fact, given the materials and construction methods to be used, the hazard will decrease.
6. The revisions to the house will increase the taxable value of the land and buildings throughout the Village due to the upgrades in materials and performance.
7. The congestion to the public street will not increase due to the footprint of the building not changing and the function of the property shall remain the same.
8. The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired as the building footprint in the encroached area is not changing.

The existing structure includes a legal nonconformity in the rear yard setback. Our proposed improvement requires formalizing of the nonconformity without increasing the square footage/degree of the non conformity. The proposed improvement will enhance the utility and value of the property within the context of the established neighborhood and there is no economically viable alternative that will cure the nonconformity. We are requesting a reduction of the rear yard setback from 22.5" to 12.42" (44.8% reduction) to allow the existing building envelope to stay in its existing location.

Thank you,

Heidi Paul
Architect for the Myers + Greiwe Family
Paul Studio Design
312.401.4025

PROFESSIONALS ASSOCIATED
 PHONE: (847)-675-3000
 FAX: (847)-675-2167
 E-MAIL: pa@professionalsassociated.com
 www.professionalsassociated.com

PROFESSIONALS ASSOCIATED - MM SURVEY CO.
 BOUNDARY * ALTA * TOPOGRAPHIC * CONDOMINIUM SURVEYS
 7100 NORTH TRIPP AVENUE, LINCOLNWOOD, ILLINOIS
 PROFESSIONAL DESIGN FIRM NO. 184-003023

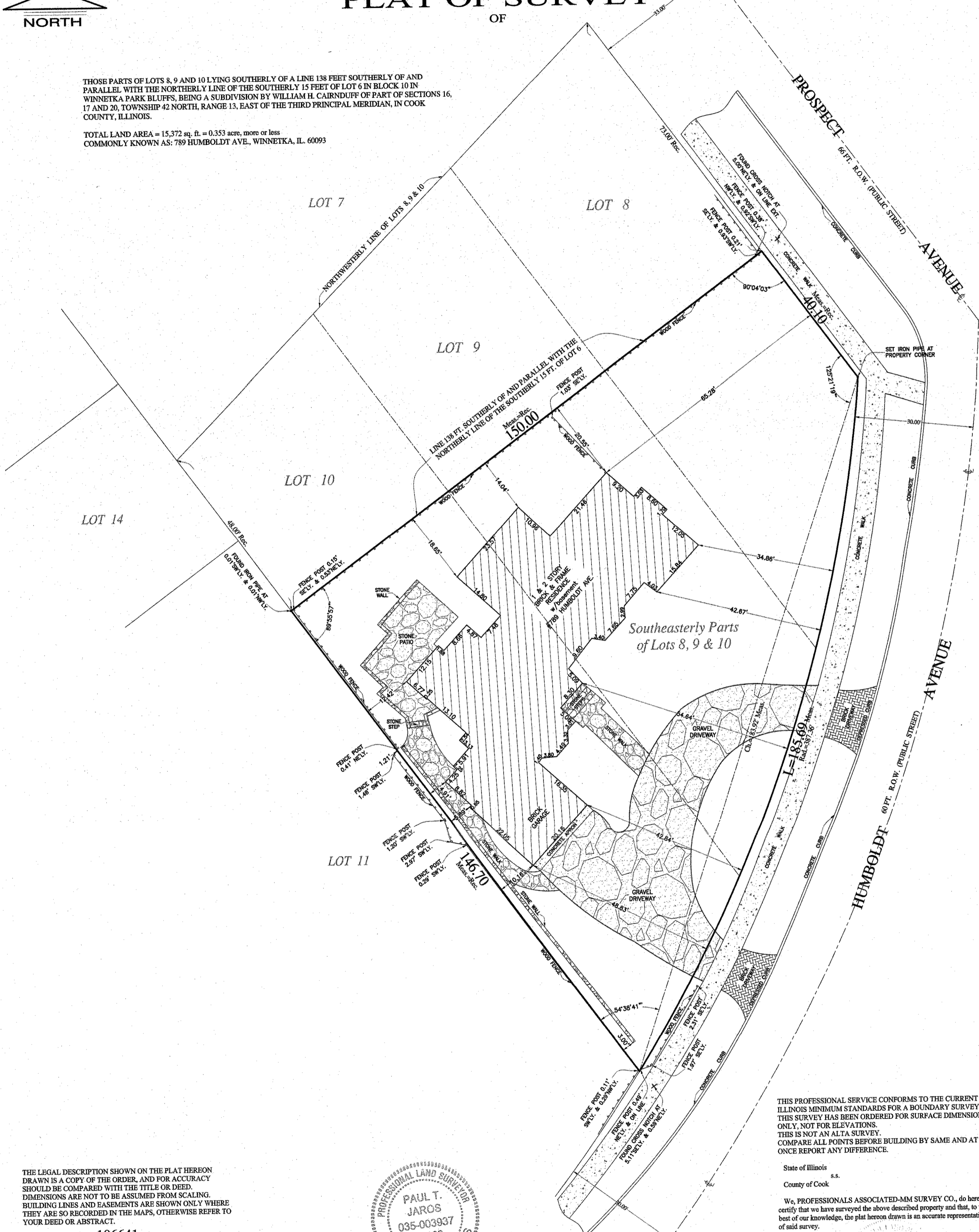
MM SURVEY
 PHONE: (773)-282-5900
 FAX: (773)-282-9424
 E-MAIL: info@MMSurveyingChicago.com
 www.mmsurveyingchicago.com



PLAT OF SURVEY
 OF

THOSE PARTS OF LOTS 8, 9 AND 10 LYING SOUTHERLY OF A LINE 138 FEET SOUTHERLY OF AND PARALLEL WITH THE NORTHERLY LINE OF THE SOUTHERLY 15 FEET OF LOT 6 IN BLOCK 10 IN WINNETKA PARK BLUFFS, BEING A SUBDIVISION BY WILLIAM H. CAIRN DUFF OF PART OF SECTIONS 16, 17 AND 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA = 15,372 sq. ft. = 0.353 acre, more or less
 COMMONLY KNOWN AS: 789 HUMBOLDT AVE., WINNETKA, IL. 60093



LOT 14

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

Southeasterly Parts
 of Lots 8, 9 & 10

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
 s.s.
 County of Cook

We, PROFESSIONALS ASSOCIATED-MM SURVEY CO., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

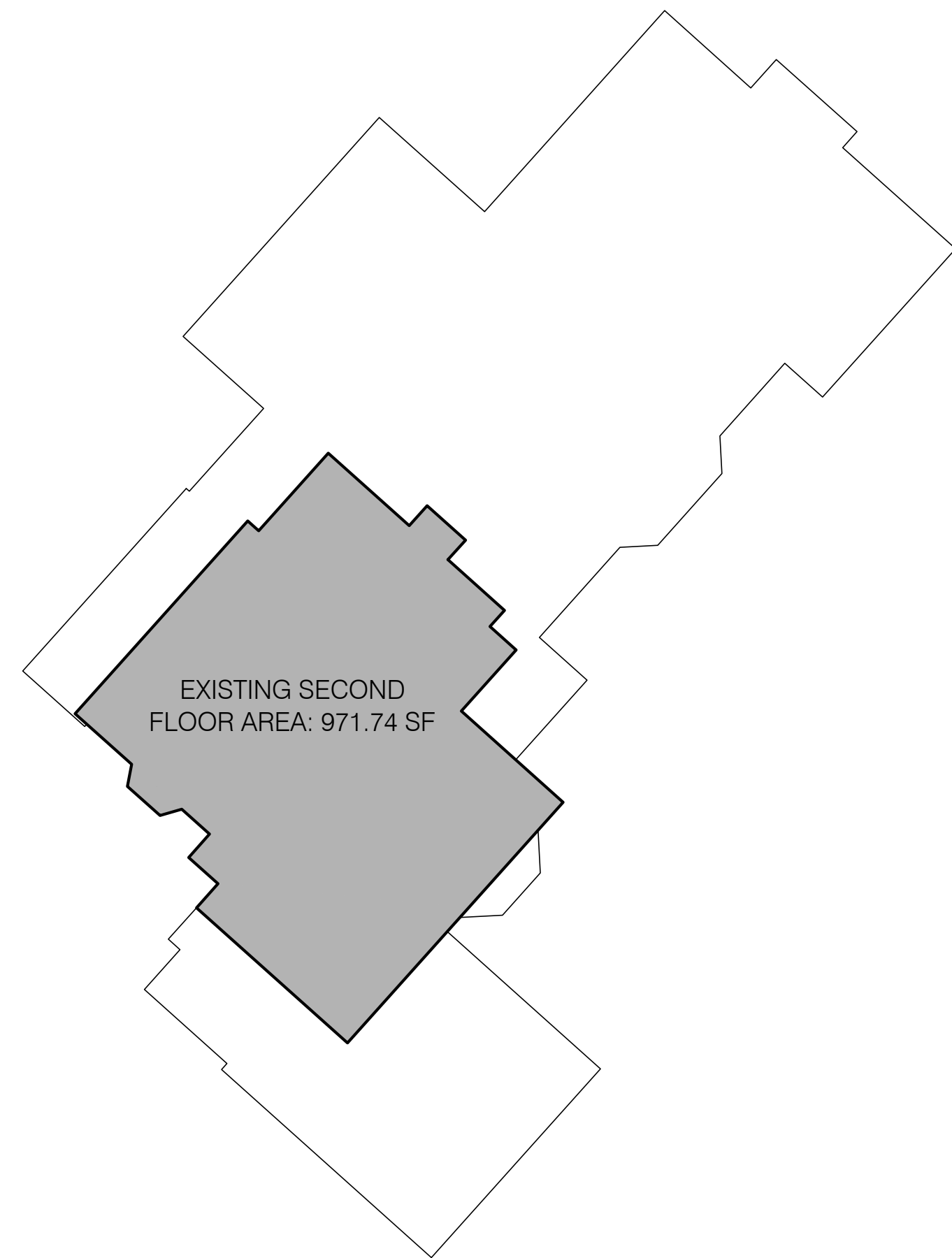
Date: APRIL 7, 2023

Paul Jaros
 ILL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2024
 DRAWN BY: E.D.M.

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

Order No. 106641
 Scale: 1 inch = 16 feet.
 Date of Field Work: 05 APRIL 2023
 Ordered by: PAUL STUDIO DESIGN

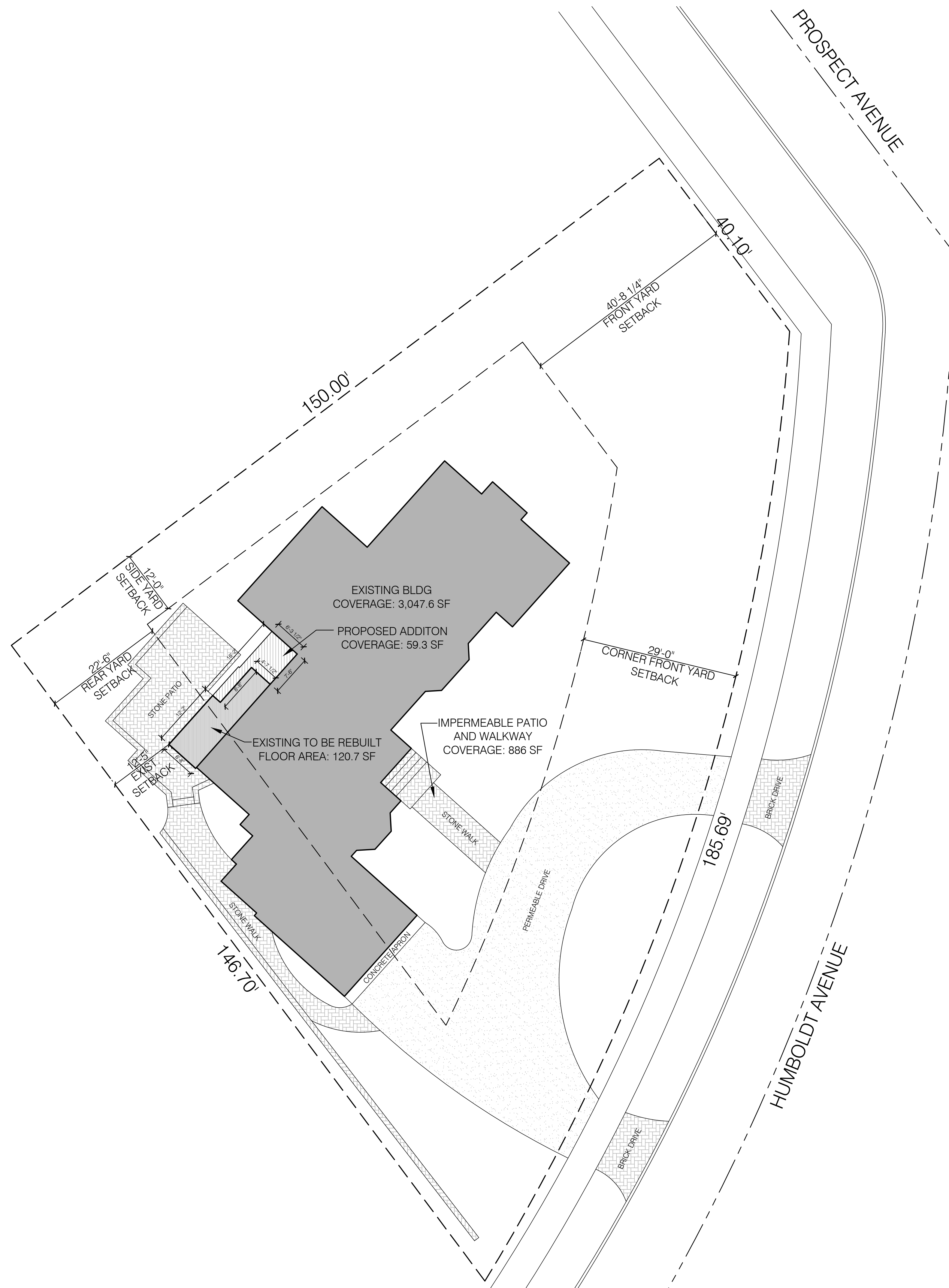




3 SECOND FLOOR AREA DIAGRAM
scale: 3/32" = 1'-0"



2 FIRST FLOOR AREA DIAGRAM
scale: 3/32" = 1'-0"



1 SITE PLAN
scale: 3/32" = 1'-0"

ps
PAUL STUDIO DESIGN
830 WEST FULLERTON
CHICAGO, IL 60614
PAULSTUDIO@GMAIL.COM
312.461.4628

ISSUED FOR: DD REVIEW
DATE: 06.23.23

PRIVATE RESIDENCE
789 HUMBOLDT AVE
WINNETKA, IL 60093

SITE PLAN

A1.1

LEGEND

— — — — —
EXISTING WALL TO REMAIN

- - - - -
EXISTING TO BE REMOVED

GENERAL DEMO NOTES

A. REMOVE ALL ITEMS INDICATED. CONTRACTOR IS RESPONSIBLE FOR SHORING OF EXISTING CONSTRUCTION AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.

B. PROTECT ALL EXISTING STRUCTURE TO REMAIN FROM DAMAGE & DEBRIS DURING DEMOLITION & CONSTRUCTION.

C. REMOVE INSULATION AND ANY ELECTRICAL AND PLUMBING SERVICES AS REQUIRED.

D. REMOVE ALL ABANDONED WATER, WASTE, VENT, ELECTRIC AND GAS LINES AS REQUIRED.

E. CAP ALL WATER, WASTE, GAS AND ELECTRICAL SERVICES AS REQUIRED.

F. REMOVE ALL INTERIOR FINISHES.

DEMO NOTES

① REMOVE PORTION OF EXISTING WALL & PREPARE AREA FOR NEW OPENING

② REMOVE EXISTING EXTERIOR WALL AND WINDOWS/DOOR FOR ADDITION

③ REMOVE EXISTING WINDOW/DOOR & PREPARE AREA AS REQUIRED FOR NEW WINDOW/DOOR

④ REMOVE EXISTING INTERIOR PARTITION & TRIM

⑤ REMOVE EXISTING STAIR CONSTRUCTION

⑥ REMOVE EXISTING DOOR & CASING

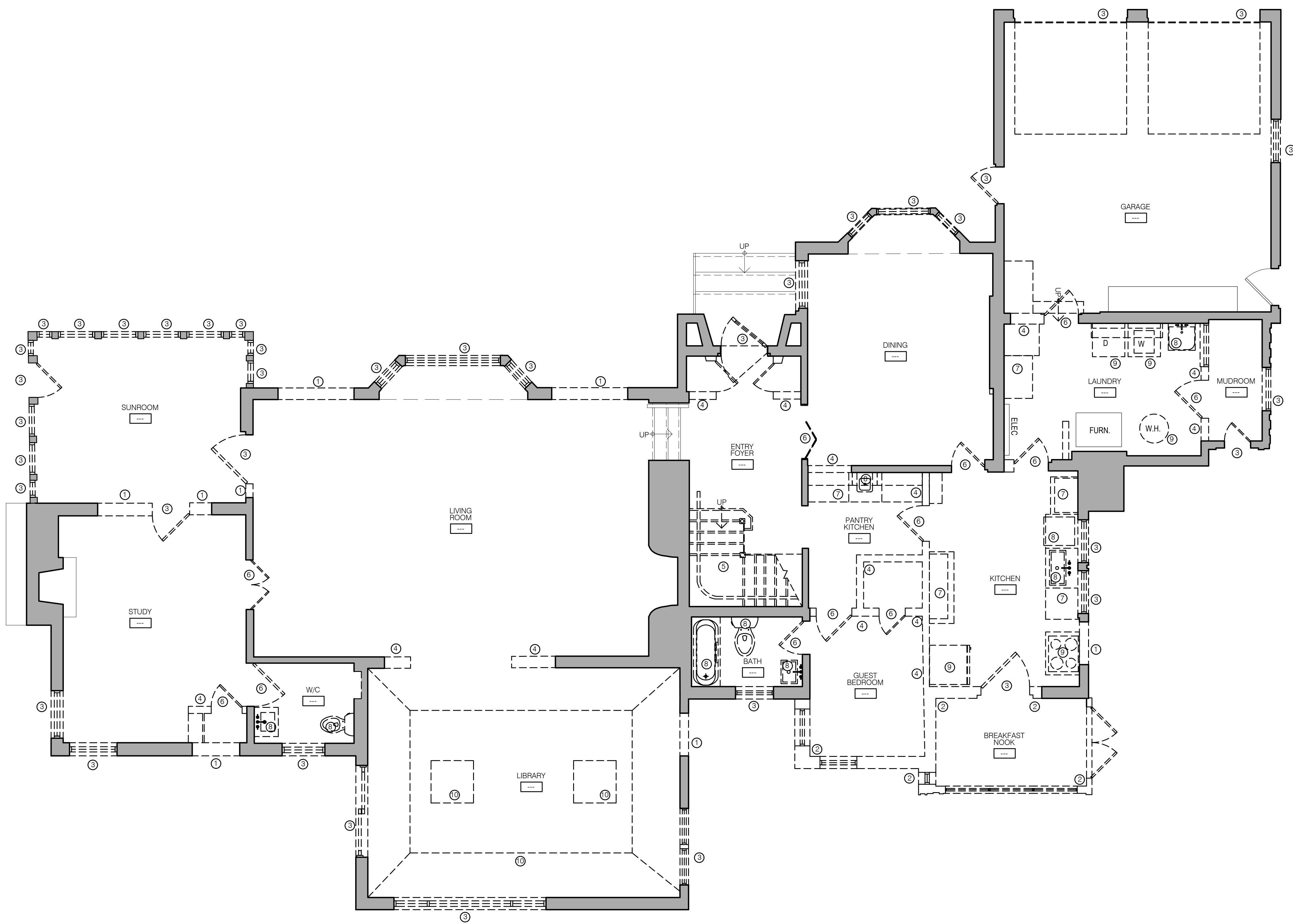
⑦ REMOVE EXISTING CABINETS & COUNTERTOP

⑧ REMOVE EXISTING PLUMBING FIXTURES

⑨ REMOVE EXISTING APPLIANCES

⑩ REMOVE EXISTING SKYLIGHT & ROOF

⑪ REMOVE EXISTING DECK & ROOF



① FIRST FLOOR DEMOLITION PLAN
scale: 1/4" = 1'-0"

ISSUED FOR: _____ DATE: _____
SD REVIEW 05.26.23
ZONING REVIEW 06.19.23

PRIVATE RESIDENCE
789 HUMBOLDT AVE
WINNETKA, IL 60093

FIRST FLOOR DEMOLITION PLAN
D2.1



LEGEND
— — — — — EXISTING WALL TO REMAIN
- - - - - EXISTING TO BE REMOVED

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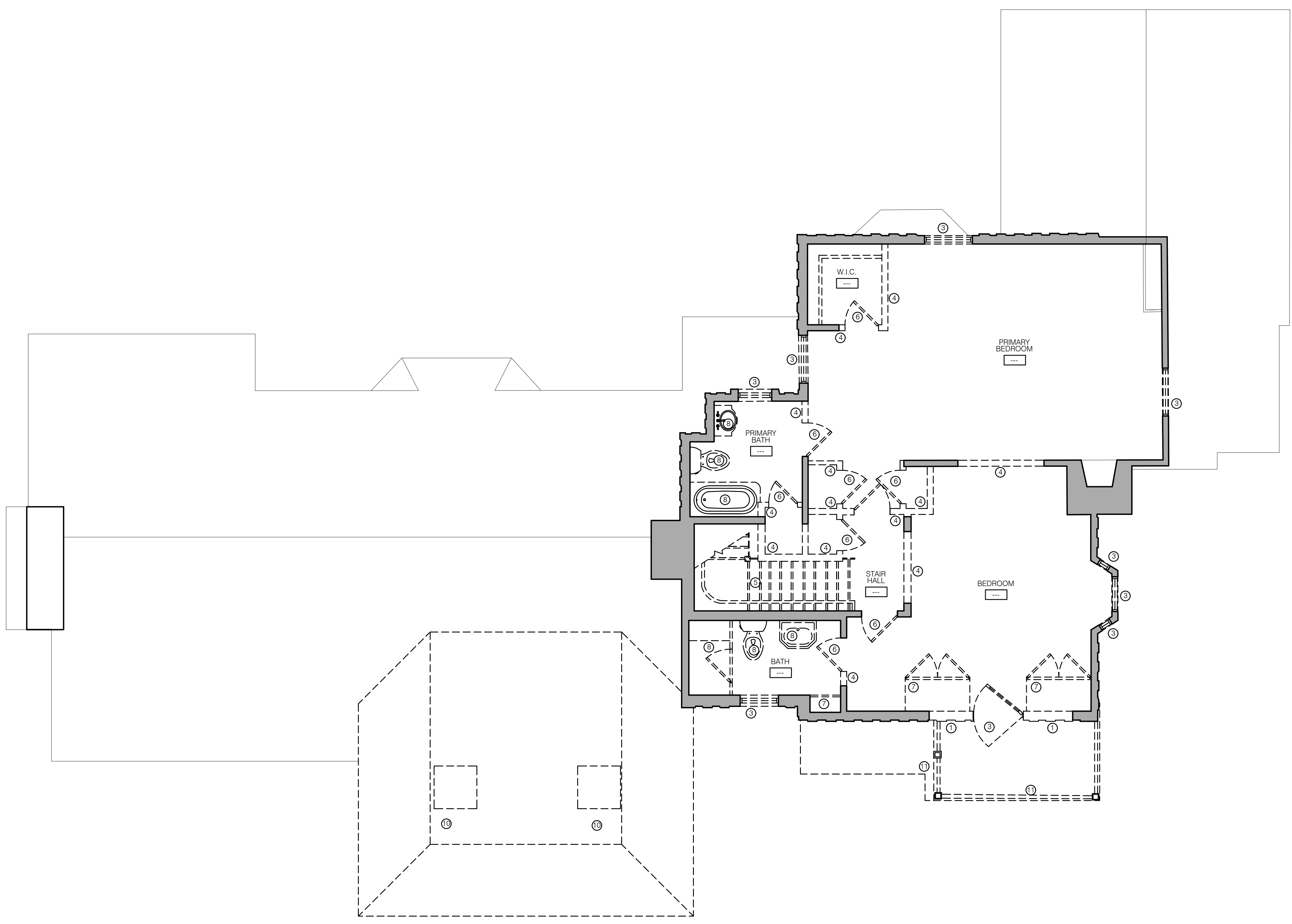
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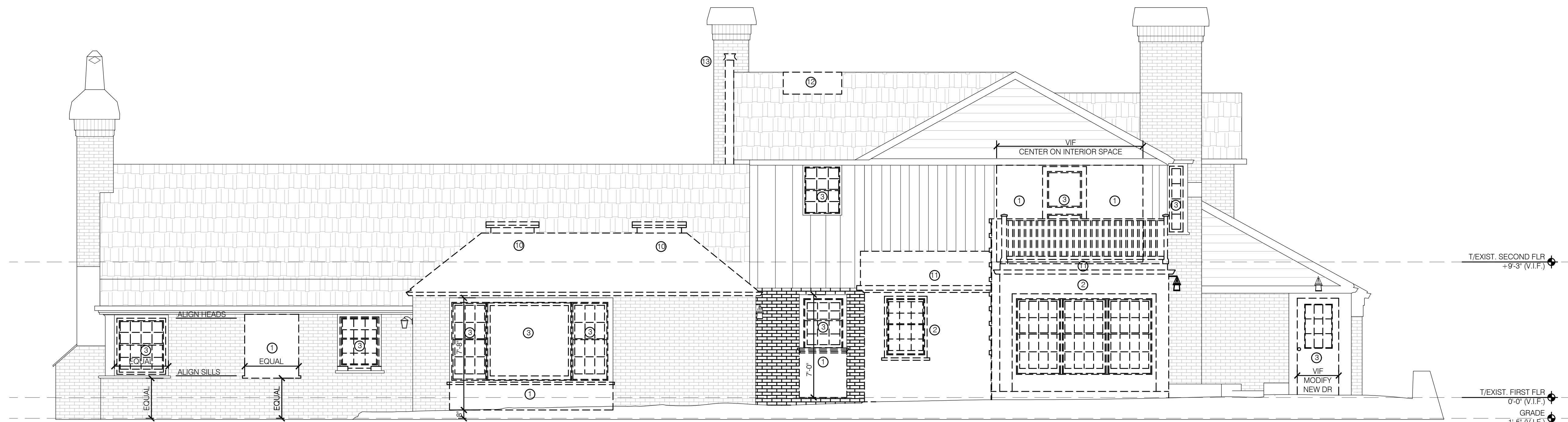
① SECOND FLOOR DEMOLITION PLAN
scale: 1/4" = 1'-0"



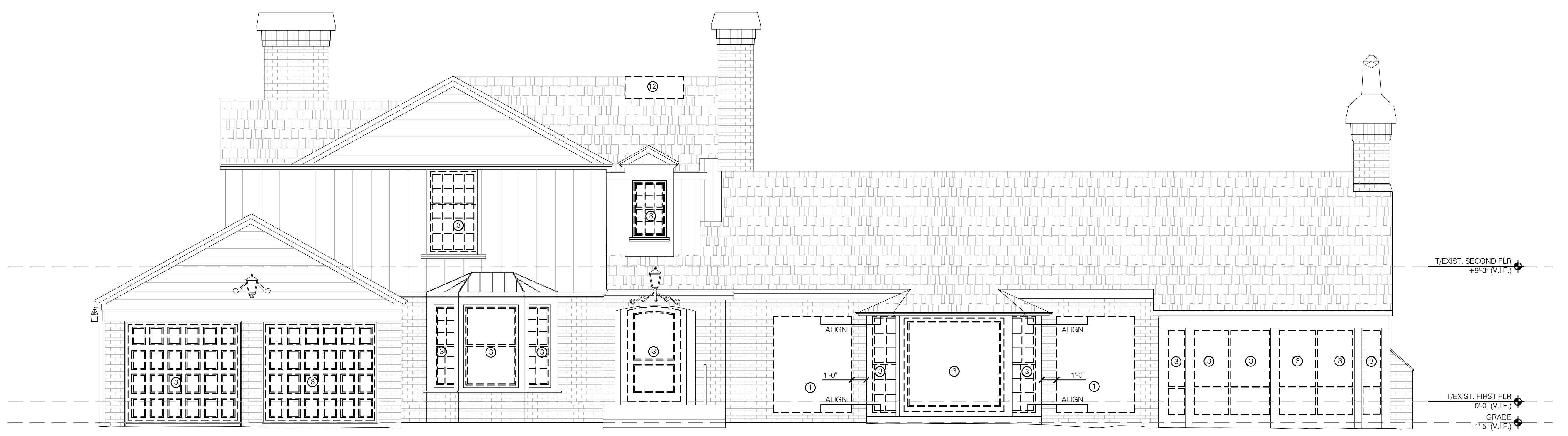
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PRIVATE RESIDENCE
789 HUMBOLDT AVE
WINNETKA, IL 60093

SECOND FLOOR DEMOLITION PLAN
D2.2



2 NORTH DEMOLITION ELEVATION
scale: 1/4" = 1'-0"



1 SOUTH DEMOLITION ELEVATION
scale: 1/4" = 1'-0"

LEGEND

 EXISTING WALL TO REMAIN
 - - - - -
 EXISTING TO BE REMOVED

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 6 REMOVE EXISTING DOOR & CASING
 7 REMOVE EXISTING CABINETRY & COUNTERTOP
 8 REMOVE EXISTING PLUMBING FIXTURES
 9 REMOVE EXISTING APPLIANCES
 10 REMOVE EXISTING SKYLIGHT & ROOF
 11 REMOVE EXISTING DECK / ROOF
 12 REMOVE EXISTING ROOF FOR NEW SKYLIGHT
 13 REMOVE VENT AND STACK

ps
 PAUL STUDIO DESIGN
 840 WEST FULLERTON
 CHICAGO, IL 60614
 PAULSTUDIO@GMAIL.COM
 312.401.4025

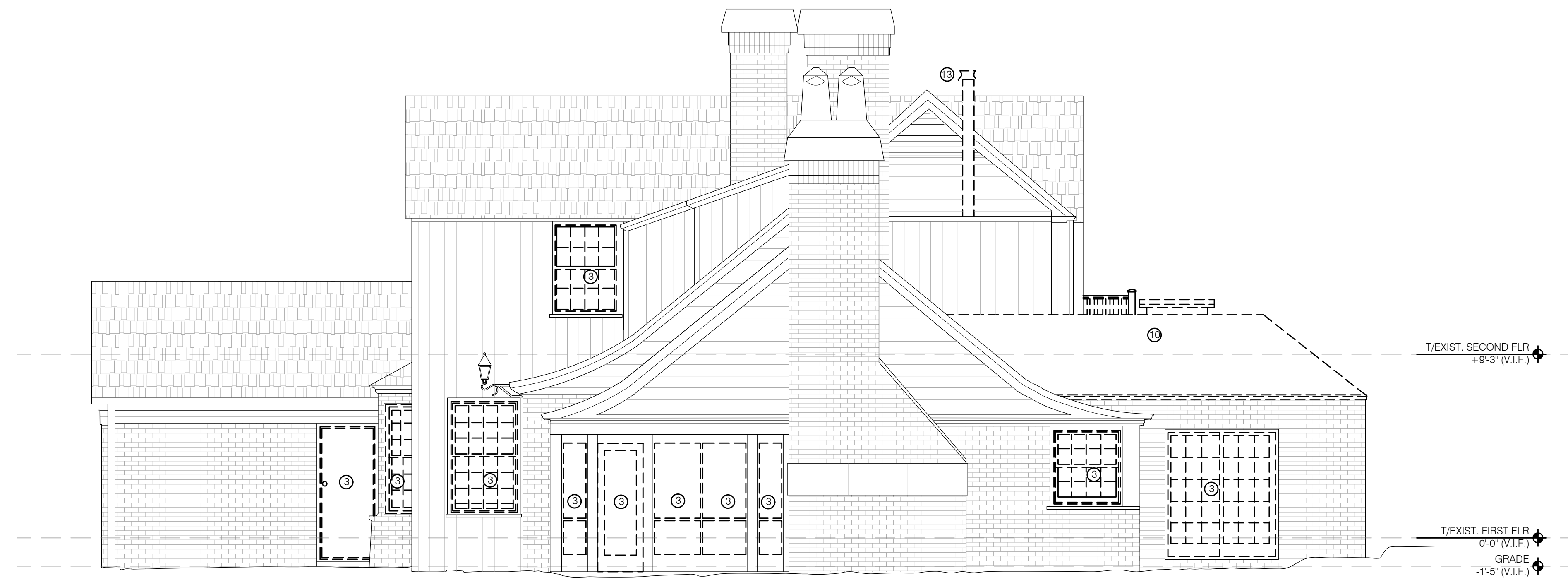
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PRIVATE RESIDENCE
 789 HUMBOLDT AVE
 WINNETKA, IL 60093

DEMOLITION EXTERIOR ELEVATIONS
D3.0



2 WEST DEMOLITION ELEVATION
scale: 1/4" = 1'-0"



1 EAST DEMOLITION ELEVATION
scale: 1/4" = 1'-0"

LEGEND	
---	EXISTING WALL TO REMAIN
- - - - -	EXISTING TO BE REMOVED

- GENERAL DEMO NOTES**
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 - 10 REMOVE EXISTING SKYLIGHT & ROOF
 - 11 REMOVE EXISTING DECK / ROOF
 - 12 REMOVE EXISTING ROOF FOR NEW SKYLIGHT
 - 13 REMOVE VENT AND STACK

ps
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ISSUED FOR: DATE:
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PRIVATE RESIDENCE
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WINNETKA, IL 60093

DEMOLITION EXTERIOR ELEVATIONS
D3.1

- ### GENERAL NOTES
- ALL WORK TO CONFORM TO THE VILLAGE OF WINNETKA BUILDING AND ZONING CODE.
 - CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
 - ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
 - HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
 - HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP; MINIMUM ONE PER FLOOR.

- ### WINDOW & DOOR NOTES
- SAFETY GLAZING SHALL BE PROVIDED FOR ALL SWINGING/SLIDING DOORS, WINDOWS ADJACENT TO DOORS, EXPOSED PANES GREATER THAN 9 SF, BOTTOM EDGE LESS THAN 18" A.F.F. AND WITHIN 36" OF A WALKING SURFACE.
 - ALL NEW INTERIOR DOORS TO BE SOLID CORE, 1 3/4" THICK. ALL BEDROOMS TO HAVE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" RABBETED DOOR JAMBS.
 - EMERGENCY ESCAPE OPENINGS SHALL HAVE MAX. SILL HT. 44" A.F.F., CLEAR WIDTH 20" MIN., CLEAR HT. 24" MIN. AND CLEAR OPENING 5.7sf MIN.
 - EXIT DOORS SHALL BE NOT LESS THAN 32" IN WIDTH. ALL DOORS AND WINDOWS DIMENSIONED FROM THE FACE OF THE WALL TO THE CENTERLINE OF THE DOOR OR WINDOW, UNLESS NOTED OTHERWISE.

- ### STAIR NOTES
- Stairways: 48" Clear Height at Landings
- STAIRWAYS SHALL BE 48" CLEAR HEIGHT FROM 36" INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4-0" INCHES ON EITHER SIDE OF THE STAIRWAY AND THE CLEAR WIDTH OF THE STAIRWAY, AS NOTED, SHALL BE THE PERMITTED HANDRAIL HEIGHT, INCLUDING HANDS AND BARRIERS, SHALL BE NOT LESS THAN 31-0" INCHES WHERE A HANDRAIL IS REQUIRED. THE HANDRAILS SHALL BE 36" INCHES ABOVE THE FINISH FLOOR AND SHALL BE 36" INCHES ABOVE THE FINISH FLOOR AT THE TOP OF THE STAIRWAY. THE HANDRAILS SHALL BE 36" INCHES ABOVE THE FINISH FLOOR AT THE TOP OF THE STAIRWAY. THE HANDRAILS SHALL BE 36" INCHES ABOVE THE FINISH FLOOR AT THE TOP OF THE STAIRWAY.
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- ### ROOFING NOTES
- CONTRACTOR TO PROVIDE FOR SEPARATION OF DISSIMILAR METALS (SUCH AS BETWEEN ZINC AND ALUMINUM) WHEN REQUIRED TO PREVENT GALVANIC ACTION.
 - ANY VENT OR STACK FROM AN APPLIANCE, MECHANICAL OR PLUMBING COMPONENT TO BE VENTED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL VENTS AND CAPS TO RISE ABOVE THE ROOF WITH THE REQUIRED CLEARANCES AND TO BE FLASHED.
 - VERIFY LOCATION OF ANY AND ALL ROOF OR WALL PENETRATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
 - PROVIDE PRE-FINISHED METAL GUTTER AND DOWNSPOUT SYSTEM (MATCH WINDOW CLAD COLOR) PER DRAWINGS U.N.O. CONTRACTOR RESPONSIBLE FOR VERIFYING SIZE, QUANTITIES AND LOCATIONS OF GUTTERS, SCUPPERS, DOWNSPOUTS, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE WITH LOCATIONS INDICATED IN DRAWINGS AND REVIEW ANY CHANGES/ADDITIONS WITH ARCHITECT PRIOR TO INSTALLATION. ALL DOWNSPOUTS TO DRAIN TO UNDERGROUND STORM WATER COLLECTION SYSTEM PER CIVIL DRAWINGS, UNLESS NOTED OTHERWISE. COORDINATE DETAILS WITH CIVIL AND LANDSCAPE DESIGN TO ENSURE ALIGNMENT OF DOWNSPOUTS WITH BELL CONNECTION LOCATIONS TO UNDERGROUND SYSTEM - NO OFFSETS WILL BE ACCEPTED.
 - PROVIDE CONTINUOUS WATERPROOF UNDERLAYMENT (ICE & WATER SHIELD BY W.R. GRACE OR APPROVED EQUAL) AT ALL ROOF VALLEYS, HIPS, EAVES, RAKES, LOW SLOPE AND FLAT ROOFS AND CHANGES IN ROOF PITCH.
 - AT EAVES, WATERPROOF UNDERLAYMENT TO EXTEND 24" (MIN.) HORIZONTALLY INTO HEATED SPACE WHEN ROOF PITCH IS 4:12 OR GREATER. EXTEND WATERPROOF UNDERLAYMENT 36" (MIN.) HORIZONTALLY INTO HEATED SPACE WHEN ROOF PITCH IS LESS THAN 4:12.
 - INSTALL WATERPROOF UNDERLAYMENT AT EAVES PER MANUFACTURER'S STANDARD INSTALLATION DETAILS FOR "HIGH SNOW AREAS".



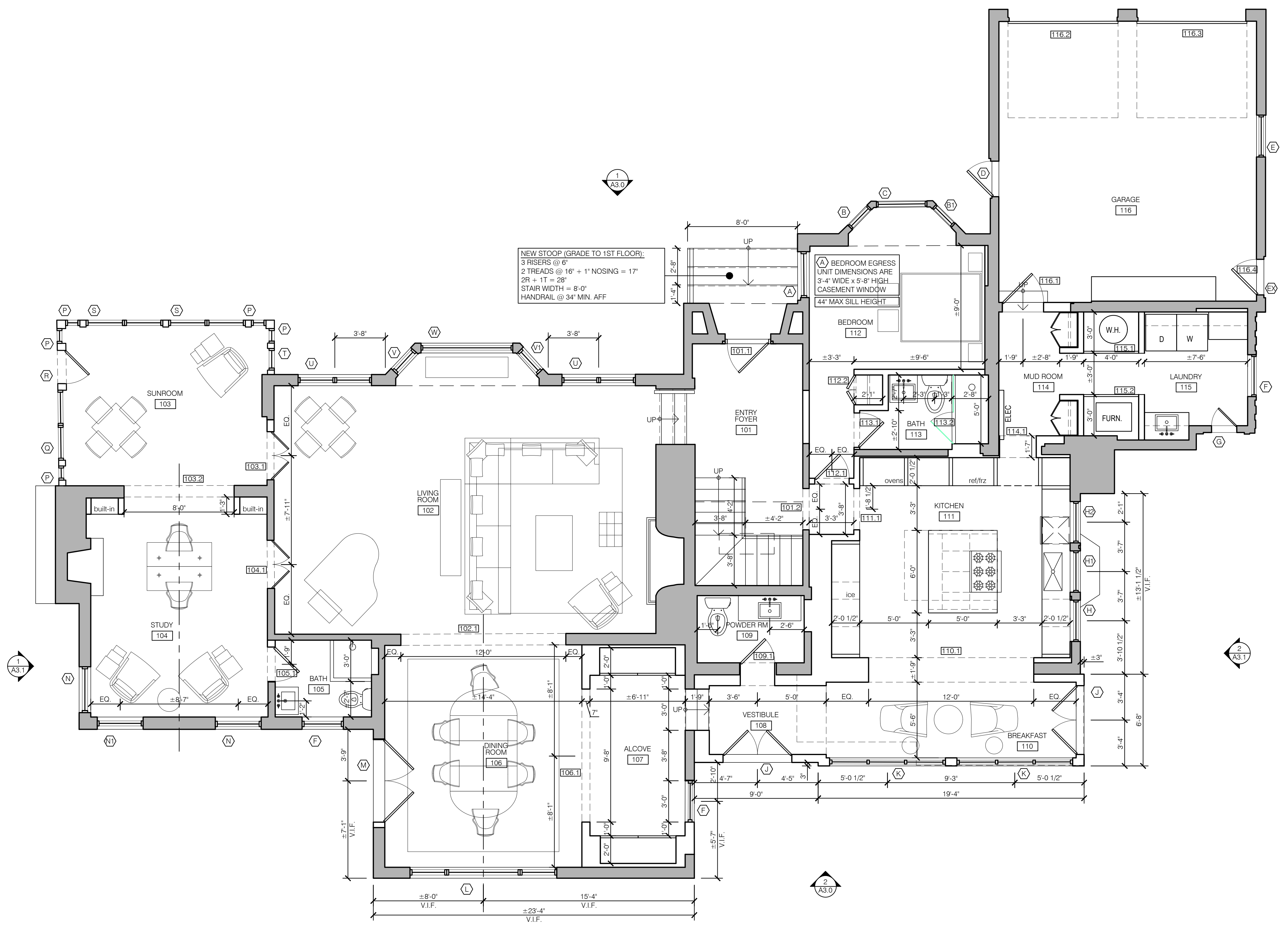
LEGEND

(X)	WINDOW TAG (SEE SCHEDULE)
(XXX-1)	DOOR TAG (SEE SCHEDULE)
(P)	PLUMBING FIXTURE (SEE SCHEDULE)
(A6.0) 3	INTERIOR ELEVATION TAG
(CD)	CARBON DIOXIDE/ SMOKE DETECTOR
(H)	EXTERIOR FROST FREE HOSE BIB

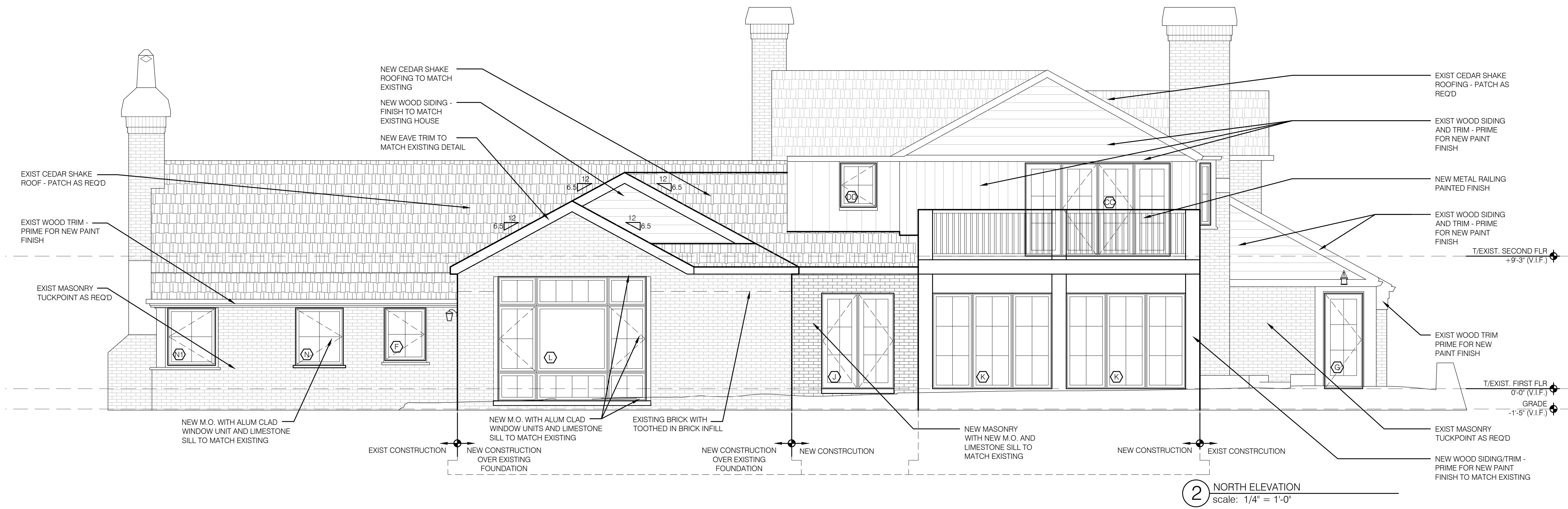
ISSUED FOR: DD REVIEW DATE: 06.23.23

PRIVATE RESIDENCE
789 HUMBOLDT AVE
WINNETKA, IL 60093

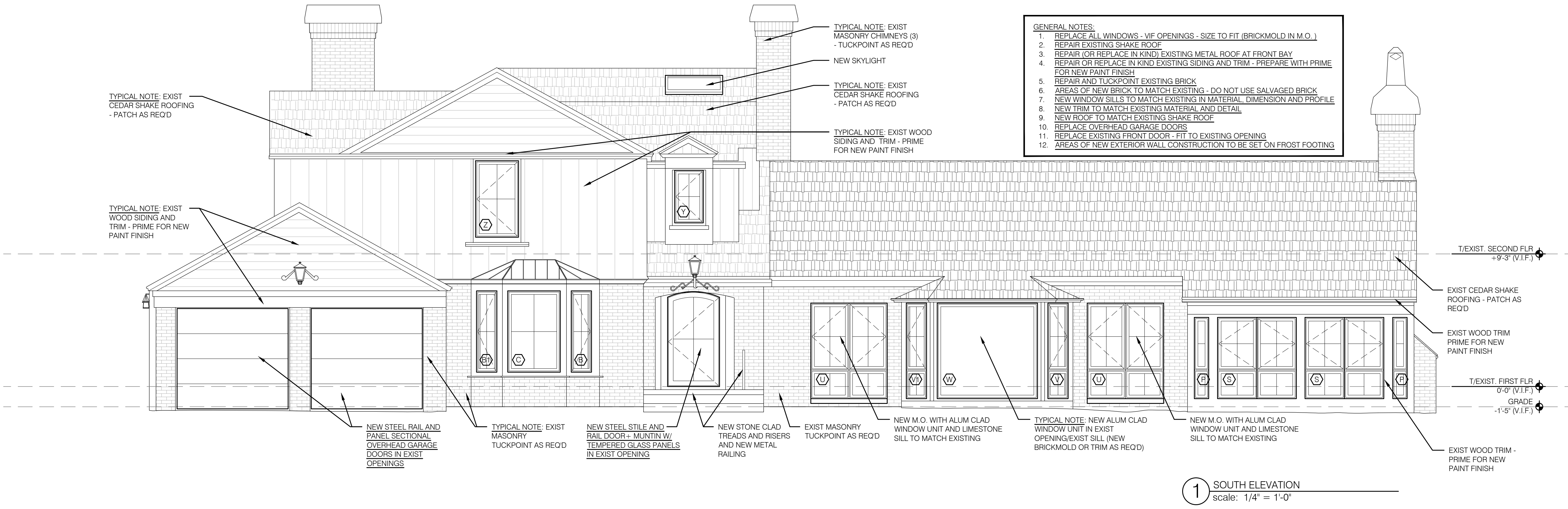
PROPOSED FIRST FLOOR PLAN
A2.1



1 PROPOSED FIRST FLOOR PLAN
scale: 1/4" = 1'-0"



2 NORTH ELEVATION
scale: 1/4" = 1'-0"



1 SOUTH ELEVATION
scale: 1/4" = 1'-0"

- GENERAL NOTES:**
1. REPLACE ALL WINDOWS - VIF OPENINGS - SIZE TO FIT (BRICKMOLD IN M.O.)
 2. REPAIR EXISTING SHAKE ROOF
 3. REPAIR (OR REPLACE IN KIND) EXISTING METAL ROOF AT FRONT BAY
 4. REPAIR OR REPLACE IN KIND EXISTING SIDING AND TRIM - PREPARE WITH PRIME FOR NEW PAINT FINISH
 5. REPAIR AND TUCKPOINT EXISTING BRICK
 6. AREAS OF NEW BRICK TO MATCH EXISTING - DO NOT USE SALVAGED BRICK
 7. NEW WINDOW SILLS TO MATCH EXISTING IN MATERIAL, DIMENSION AND PROFILE
 8. NEW TRIM TO MATCH EXISTING MATERIAL AND DETAIL
 9. NEW ROOF TO MATCH EXISTING SHAKE ROOF
 10. REPLACE OVERHEAD GARAGE DOORS
 11. REPLACE EXISTING FRONT DOOR - FIT TO EXISTING OPENING
 12. AREAS OF NEW EXTERIOR WALL CONSTRUCTION TO BE SET ON FROST FOOTING

ps
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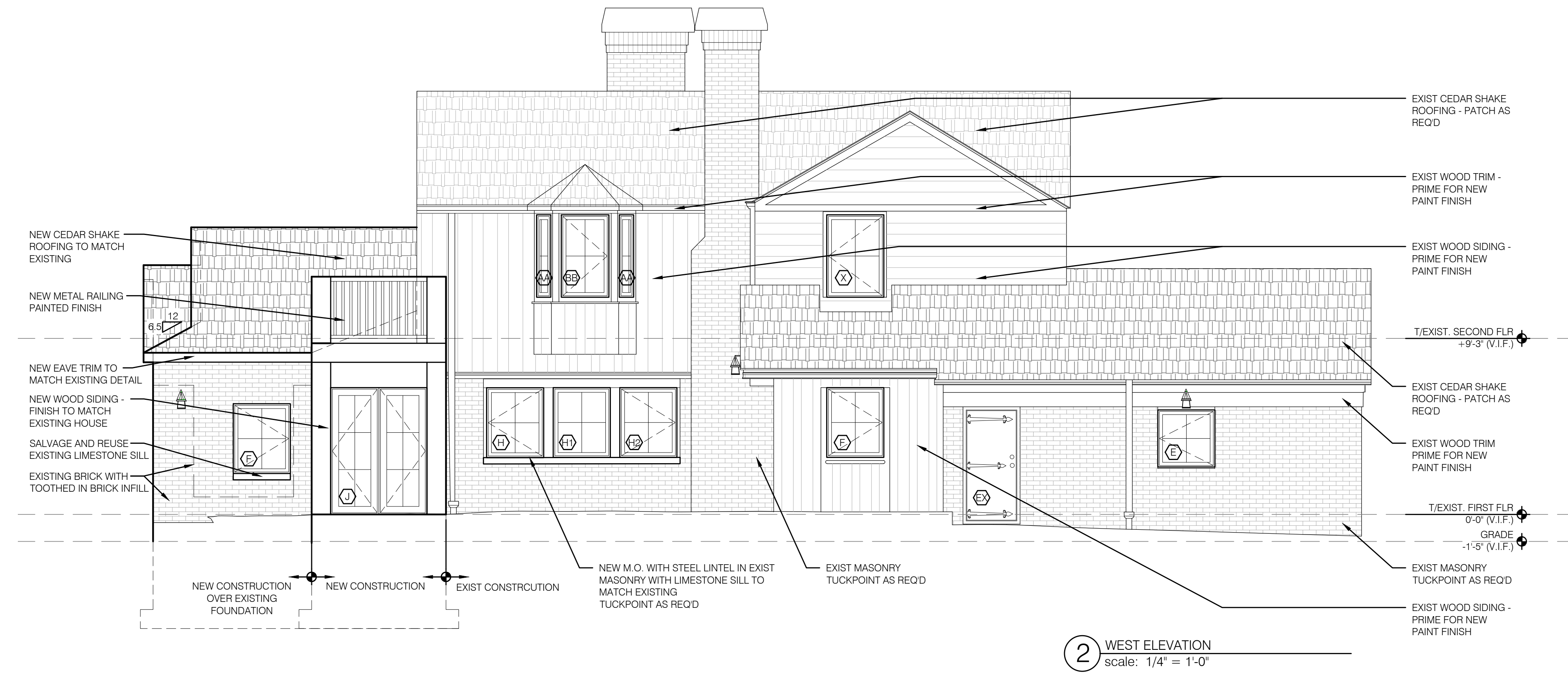
ISSUED FOR: DATE:
SD REVIEW 05.26.23
ZONING REVIEW 06.19.23

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PROPOSED
EXTERIOR
ELEVATIONS
A3.0

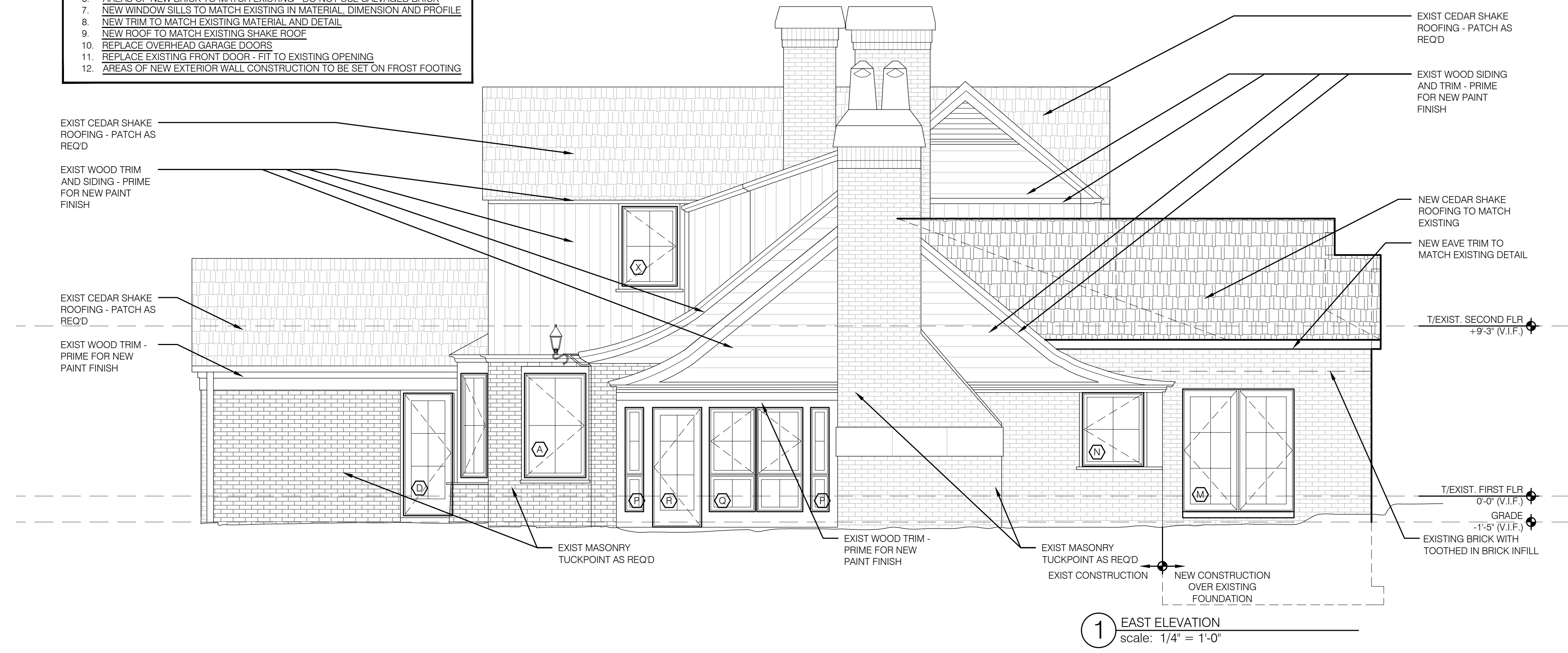


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2 WEST ELEVATION
scale: 1/4" = 1'-0"

- GENERAL NOTES:
1. REPLACE ALL WINDOWS - VIF OPENINGS - SIZE TO FIT (BRICKMOLD IN M.O.)
 2. REPAIR EXISTING SHAKE ROOF
 3. REPAIR (OR REPLACE IN KIND) EXISTING METAL ROOF AT FRONT BAY
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 10. REPLACE OVERHEAD GARAGE DOORS
 11. REPLACE EXISTING FRONT DOOR - FIT TO EXISTING OPENING
 12. AREAS OF NEW EXTERIOR WALL CONSTRUCTION TO BE SET ON FROST FOOTING



1 EAST ELEVATION
scale: 1/4" = 1'-0"

ISSUED FOR: DATE:
SD REVIEW 05.26.23
ZONING REVIEW 06.19.23

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PROPOSED EXTERIOR ELEVATIONS

A3.1