



Village of Winnetka

Zoning Administrator Meeting

May 13, 2024 at 4:00 PM
Winnetka Village Hall Council Chambers
510 Green Bay Road

AGENDA

1. **Call to Order**
2. **Public Comments**
3. **New Applications**
 - a. **Case No. 24-11-ZA - 151 Meadow Lane:** An application seeking approval of zoning variations to allow construction of an addition to the existing residence. The requested variations would permit the addition to (i) exceed the maximum permitted width for a front-facing attached garage; and (ii) exceed the maximum permitted width of front-facing garage doors. The Zoning Administrator has final jurisdiction on this request.
4. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a public hearing will be held by the Winnetka Zoning Administrator on **MONDAY, MAY 13, 2024, AT 4:00 PM** in the Council Chamber of the Winnetka Village Hall at 510 Green Bay Road, Winnetka, Illinois for the purpose of considering the following:

**CASE NO. 24-11-ZA
151 MEADOW LANE – RESIDENTIAL ADDITION**

An application submitted by Patrick Salvi II and Julianna Salvi (collectively, the “Applicant”), as the owners of the property located at 151 Meadow Lane (the “Subject Property”) **to allow the construction of an addition to the existing residence on the Subject Property.** The Applicant has filed an application seeking the following variations from the Zoning Ordinance:

1. A variation to exceed the maximum permitted width for a front-facing attached garage; and
2. A variation to exceed the maximum permitted width of front-facing garage doors.

The Subject Property (Parcel Index Number 05-20-407-009-0000) is generally located on the east side of Meadow Lane, north of Hill Road, and is zoned R-2 Single Family Residential. The Subject Property contains an existing three-story residence with an attached garage.

PUBLIC COMMENT & APPLICATION INFORMATION

At said public hearing and at any adjournment thereof, all persons interested are invited to attend and be heard. The agenda and materials for the meeting will be posted on the Village’s website - www.villageofwinnetka.org/agendas no later than Thursday, May 9, 2024. Persons seeking additional information concerning this application are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of two ways:

- 1) By sending **an email** to planning@winnetka.org; or
- 2) By sending **a letter** to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093 [Telephone: (847) 716-3543; T.T.Y.: (847) 501-6041.

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 24-11-ZA

Property Information

Site Address: 151 Meadow Lane, Winnetka, IL

Owner Information

Name: Patrick Salvi II and Julianna Salvi

Address: [REDACTED]

City, State, ZIP: Winnetka, IL 60093

Email: [REDACTED]

Primary Contact: Patrick and Julianna Salvi

Phone No. [REDACTED]

Date property acquired by owner: 11/09/2023

Architect Information

Name: Konstant Architecture Planning

Primary Contact: Brenna Decker Smestad

Address: 5300 Golf Road

City, State, ZIP: Skokie, IL 60077

Phone No. 847-967-6115

Email: bdecker@konstantarchitecture.com

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Nature of any restrictions on property: _____

Attached plat of survey indicates easements

Brief explanation of variation(s) requested (attach separate sheet providing additional details): _____

Variation requested to modify footprint of existing nonconforming front-facing garage - see explanation on next page.

Property Owner Signature: [REDACTED]

Date: 04/10/2024

RE: Variation Application for 151 Meadow Lane, Winnetka, IL

The applicant is seeking a variation to modify the footprint of the existing front-facing garage. The existing garage is nonconforming both in total width per 17.30.110-B-1 (22' maximum permitted; 31'-3 1/2" existing width) and in total garage door width per 17.30.110-A (18' maximum total permitted; 24'-0" existing width).

The homeowner plans to renovate the existing home and aims to maintain the existing historic architectural character while modernizing portions of the home for today's living. Two of the existing garage stalls are only 17'-9" in depth, so the homeowner proposes a modest addition to bring the garage depth in line with today's parking standards. This addition also serves to effectively shield the third garage door from the street.

The proposed addition will not change the total garage width (31'-3 1/2" existing width to remain unchanged), and the proposed 8'-6" wide garage doors are narrower than the Village maximum of 9'-0" for front-facing doors. The addition does not project beyond the line of the adjacent portion of the house, and the proposed setback from the street line of 95'-3" far exceeds the minimum required front setback of 50'-0". Architecturally, the massing of the garage addition will be integrated with the existing roof slope to maintain the existing visual hierarchy which de-emphasizes the garage relative to the central massing of the home. By breaking the continuous plane of the existing garage, the massing emphasizes a two-car garage width (<22') and minimizes the impact of the third door.

Given the existing configuration of the front-facing garage and insufficient depth of two existing garage stalls, modifying the existing home to comply with Village standards would necessitate significant demolition/reconfiguration and present clear practical difficulties. Please see the notes below addressing the Village's eight standards for granting of zoning variations:

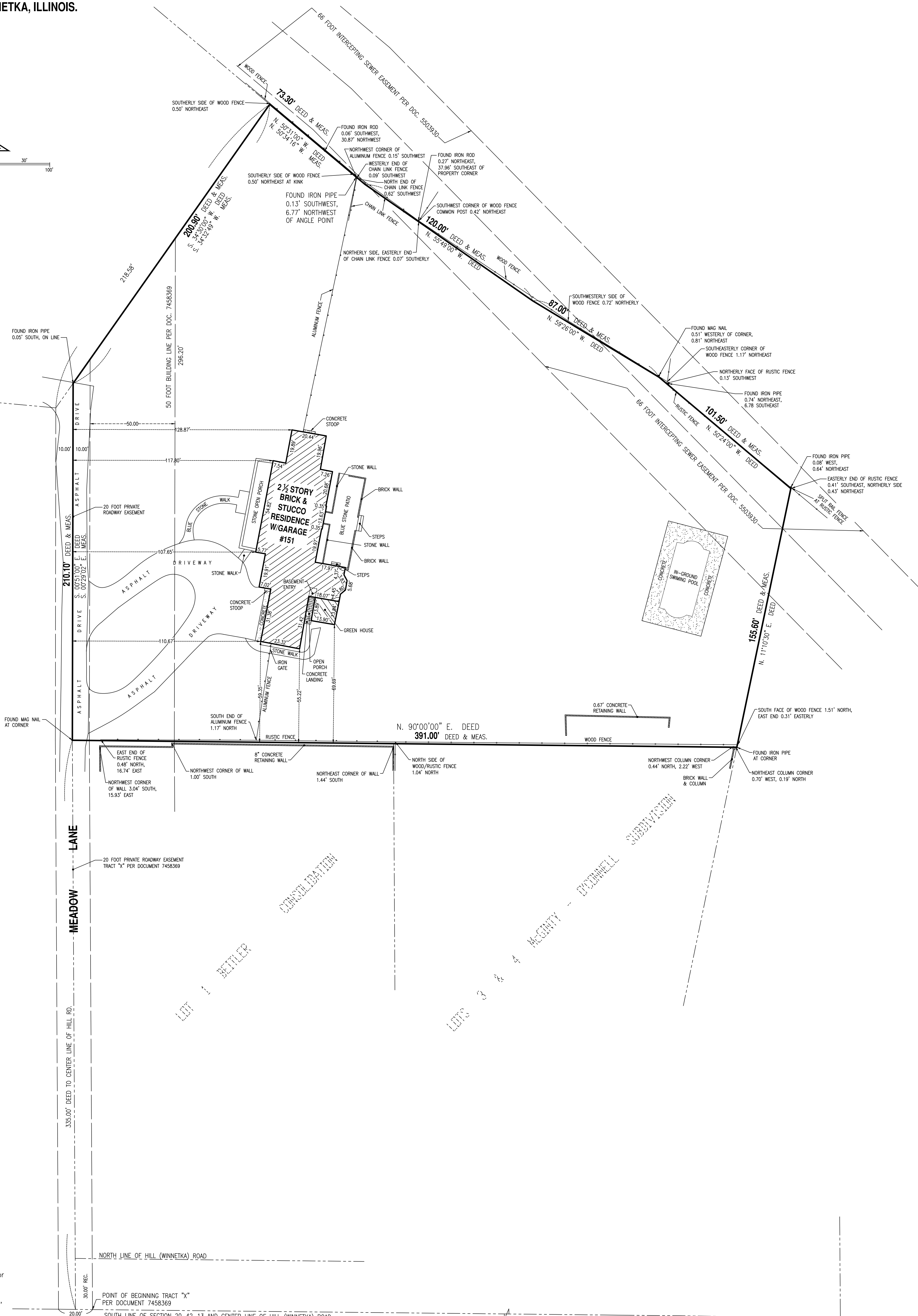
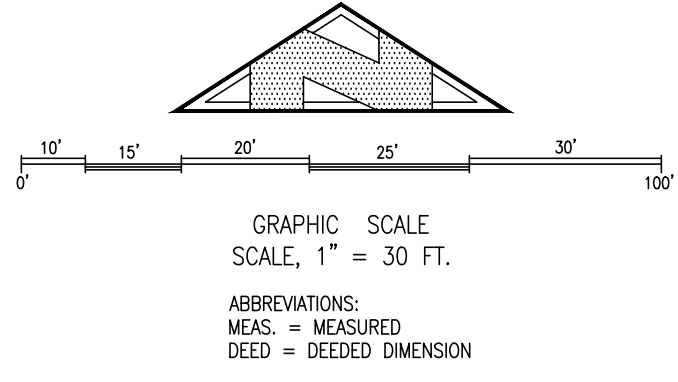
1. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allow by regulations in that district.* The existing front-facing garage is nonconforming in width and of insufficient depth to meet current parking standards, and cannot otherwise be easily modified to remedy that insufficiency. This sizeable house is located on on a sizeable lot and has inadequate garage space, which negatively affects property value and may have contributed to its being on the market for a long time.
2. *The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.* The circumstances are entirely due to the existing nonconforming features of the front-facing garage, and changes over time to parking standards. These issues are not related to the specific occupants.
3. *The variation, if granted, will not alter the essential character of the locality.* As demonstrated in the project renderings and elevations, every effort has been made to minimize the visual impact of the garage addition and maintain the essential character of the existing home.
4. *An adequate supply of light and air to adjacent property will not be impaired.* The proposed addition does not extend closer to the front or side property lines than the existing structure, and is tied into the existing roofline to minimize impact on light and air.
5. *The hazard from fire and other damages to the property will not be increased.* The proposed addition does not extend closer to the front or side property lines than the existing structure, and the setbacks far exceed the minimum requirements of 50' front and 12' side.
6. *The taxable value of the land and buildings throughout the Village will not diminish.* The proposed addition is intended to maintain the existing character of the home and neighborhood, while improving the property value by providing usable garage space.
7. *The congestion in the public street will not increase.* No increase in traffic is indicated, as the total number of garage stalls is not increasing.
8. *The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired.* No change in use or density is being proposed; only a small modification to the footprint of the existing home.

PLAT of SURVEY

LEGAL DESCRIPTION:

THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS; BEGINNING AT A POINT MARKED WITH AN IRON STAKE WHICH IS 335 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER OF SAID SECTION 20 AS MEASURED ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 20, 583.99 FEET WEST OF THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 20 AS MEASURED AT RIGHT ANGLES TO SAID EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 20; THENCE EAST PARALLEL WITH SAID SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 20, 391 FEET TO A POINT MARKED WITH AN IRON STAKE; THENCE NORTH 11 DEGREES, 10 MINUTES AND 30 SECONDS EAST 155.6 FEET TO A POINT MARKED WITH AN IRON STAKE, (SAID LAST MENTIONED LINE 155.6 FEET IN LENGTH CONSTITUTING ALSO THE WESTERLY BOUNDARY LINE OF THE REAL ESTATE CONVEYED BY EMILY HIGGINSON AND GEORGE HIGGINSON, JR., HER HUSBAND TO CARROLL DEAN MURPHY AND HAZEL JEAN MURPHY, HIS WIFE, AS JOINT TENANTS, IN A CERTAIN WARRANTY DEED DATED JUNE 23, 1922, RECORDED IN THE RECORDER'S OFFICE OF COOK COUNTY, ILLINOIS, AS DOCUMENT NO. 8265878 AND SAID POINT LAST MENTIONED BEING LOCATED IN THE SOUTHWESTERLY BOUNDARY LINE OF THE REAL ESTATE CONVEYED BY EMILY HIGGINSON AND GEORGE HIGGINSON JR., HER HUSBAND TO MARGUERITE P. WATSON IN A CERTAIN QUIT CLAIM DEED DATED JULY 23, 1921 AND RECORDED IN THE RECORDER'S OFFICE OF COOK COUNTY, ILLINOIS AS DOCUMENT 7222010, AND IS 210.9 FEET NORTHWEST OF THE POINT OF BEGINNING SPECIFIED IN SAID QUIT CLAIM DEED RECORDED AS DOCUMENT NO. 7222010, AS AFORESAID, AS MEASURED ALONG THE SAID SOUTHWESTERLY BOUNDARY LINE OF THE REAL ESTATE IN SAID DEED LAST MENTIONED CONVEYED); THENCE NORTH 50 DEGREES AND 24 MINUTES WEST 101.5 FEET TO A POINT MARKED WITH A CONCRETE MONUMENT; THENCE NORTH 59 DEGREES AND 26 MINUTES WEST 87 FEET TO A POINT MARKED WITH A CONCRETE MONUMENT; THENCE NORTH 55 DEGREES AND 49 MINUTES WEST 120 FEET TO A POINT MARKED WITH A CONCRETE MONUMENT; THENCE NORTH 50 DEGREES AND 31 MINUTES WEST 73.3 FEET TO A POINT MARKED WITH A CONCRETE MONUMENT (SAID LAST MENTIONED FOUR LINES 101.5 FEET, 87 FEET, 120 FEET AND 73.3 FEET IN LENGTH RESPECTIVELY, CONSTITUTING THE NORTHERLY BOUNDARY LINE OF REAL ESTATE HEREIN CONVEYED AND ALSO CONSTITUTING A PART OF SAID SOUTHWESTERLY BOUNDARY LINE OF THE REAL ESTATE CONVEYED IN SAID QUIT CLAIM DEED RECORDED AS DOCUMENT NO. 7222010, AS AFORESAID); THENCE SOUTH 34 DEGREES AND 30 MINUTES WEST 200.9 FEET ALONG THE EASTERLY BOUNDARY LINE OF THE REAL ESTATE HERETOFORE CONVEYED BY EMILY HIGGINSON AND GEORGE HIGGINSON JR., HER HUSBAND, TO ALFRED W. STERN AND AGNES W. STERN, AS JOINT TENANTS, BY A WARRANTY DEED DATED APRIL 7, 1922 AND RECORDED IN THE RECORDER'S OFFICE OF COOK COUNTY, ILLINOIS, AS DOCUMENT NO. 7458370, TO A POINT MARKED WITH AN IRON STAKE; THENCE SOUTH 0 DEGREES AND 51 MINUTES EAST 210.1 FEET TO THE POINT OF BEGINNING, (SAID LAST MENTIONED LINE 210.1 FEET IN LENGTH CONSTITUTING ALSO THE NORTH 210.1 FEET OF THE NORTH AND SOUTH CENTER LINE OF A CERTAIN TRACT OF REAL ESTATE CONSTITUTED IN A PRIVATE ROADWAY 20 FEET IN WIDTH MEASURED FROM EAST TO WEST, UNDER A CERTAIN INDENTURE DATED APRIL 7, 1922, AND RECORDED IN THE RECORDER'S OFFICE OF COOK COUNTY, ILLINOIS, AS DOCUMENT NO. 7458369, AS SAID CENTER LINE IS DEFINED IN ARTICLE VIII (A) OF SAID INDENTURE), IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 151 MEADOW LANE, WINNETKA, ILLINOIS.



SITE NOTES:
Area of surveyed property = 112,540 sq. ft. more or less
Area of Roadway Easement = 2,173 sq. ft. more or less
Area for Zoning Considerations = 110,367 sq. ft. more or less

GENERAL NOTES:
All information provided to the surveyor is shown or noted hereon.
The legal description on this plat was provided to us by the client or obtained from public records and should be compared to your Deed, Abstract or Certificate of Title.
This plat and the legal description shown hereon does not determine, imply or guarantee ownership.
Prior to excavation call J.U.L.I.E. at 811 or 800-892-0123

All building restrictions, building lines and easements may or may not be shown. Check your Deed, Abstract, Title Report, and local ordinances. No responsibility is assumed by the surveyor.

Compare all points before building by same and report any discrepancy at once.

Dimensions are shown in feet and decimal parts thereof. No dimension is to be assumed by scaling.

B.H. SUHR & COMPANY, INC.	
SURVEYORS ESTABLISHED 1911 450 SKOKIE BLVD. SUITE 105, NORTHBROOK, ILLINOIS, 60062 TEL. (847) 864-6315 / FAX (847) 864-9341 E-MAIL: SURVEYOR@BHSUHR.COM	
Professional Design Firm License No. 184.008027-0008	
LOCATION: 151 MEADOW LANE	SURVEY DATE: APRIL 2, 2024
ORDER No. 22-036-A	ORDERED BY: KONSTANT ARCHITECTURE

FIELD MEASUREMENTS COMPLETED APRIL 2, 2024

STATE OF ILLINOIS
COUNTY OF COOK
This professional service conforms to the current Illinois Minimum Standards for a boundary survey.

By: *Michael E. Farrell* Dated: APRIL 3, 2024
Michael E. Farrell
Illinois Professional Land Surveyor No. 035-002639
License Expiration Date 11/30/24



A VARIATION APPLICATION FOR
151 MEADOW LANE, WINNETKA, IL



APRIL 26, 2024



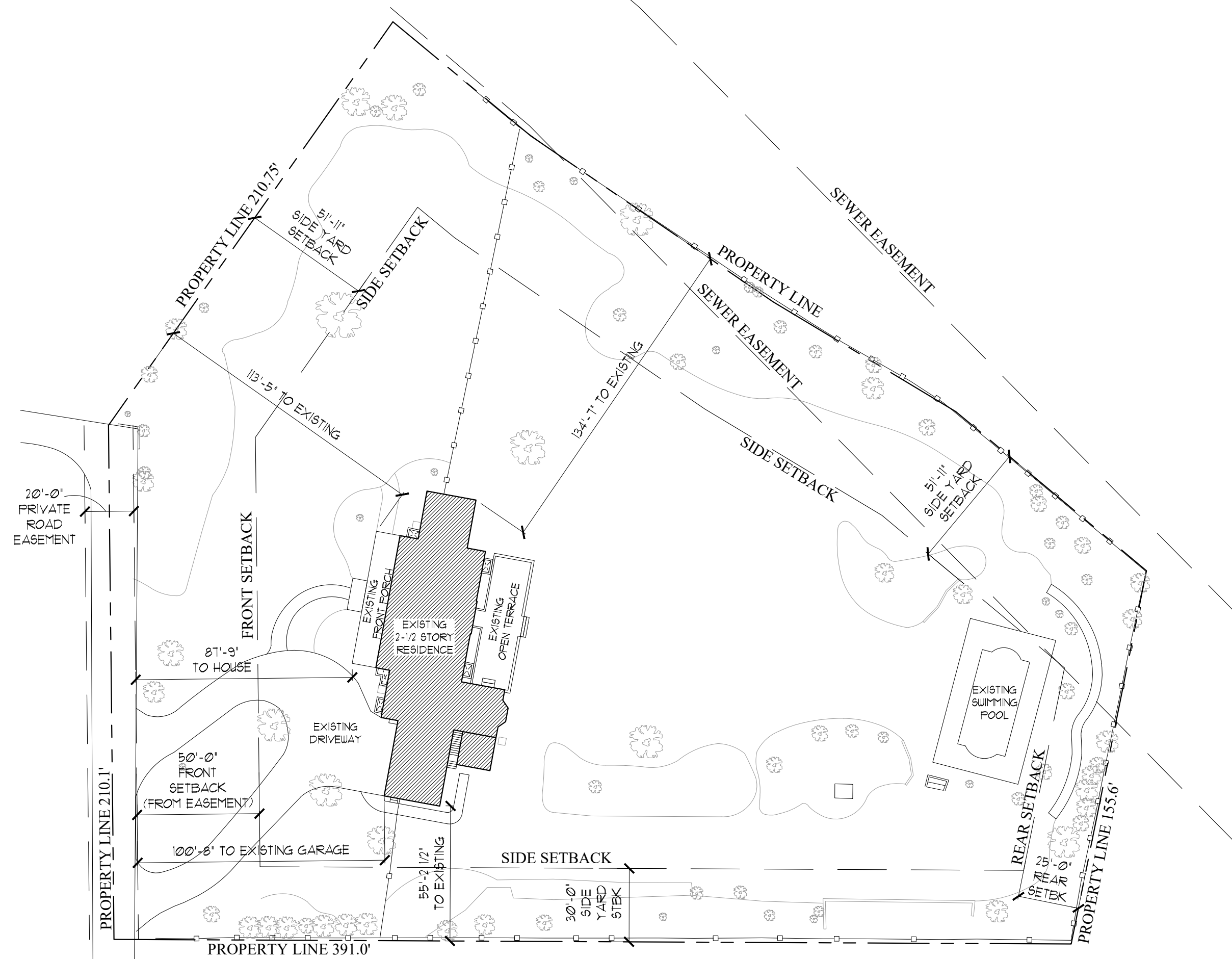
Existing Conditions



Proposed Addition

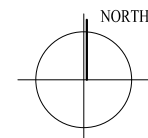
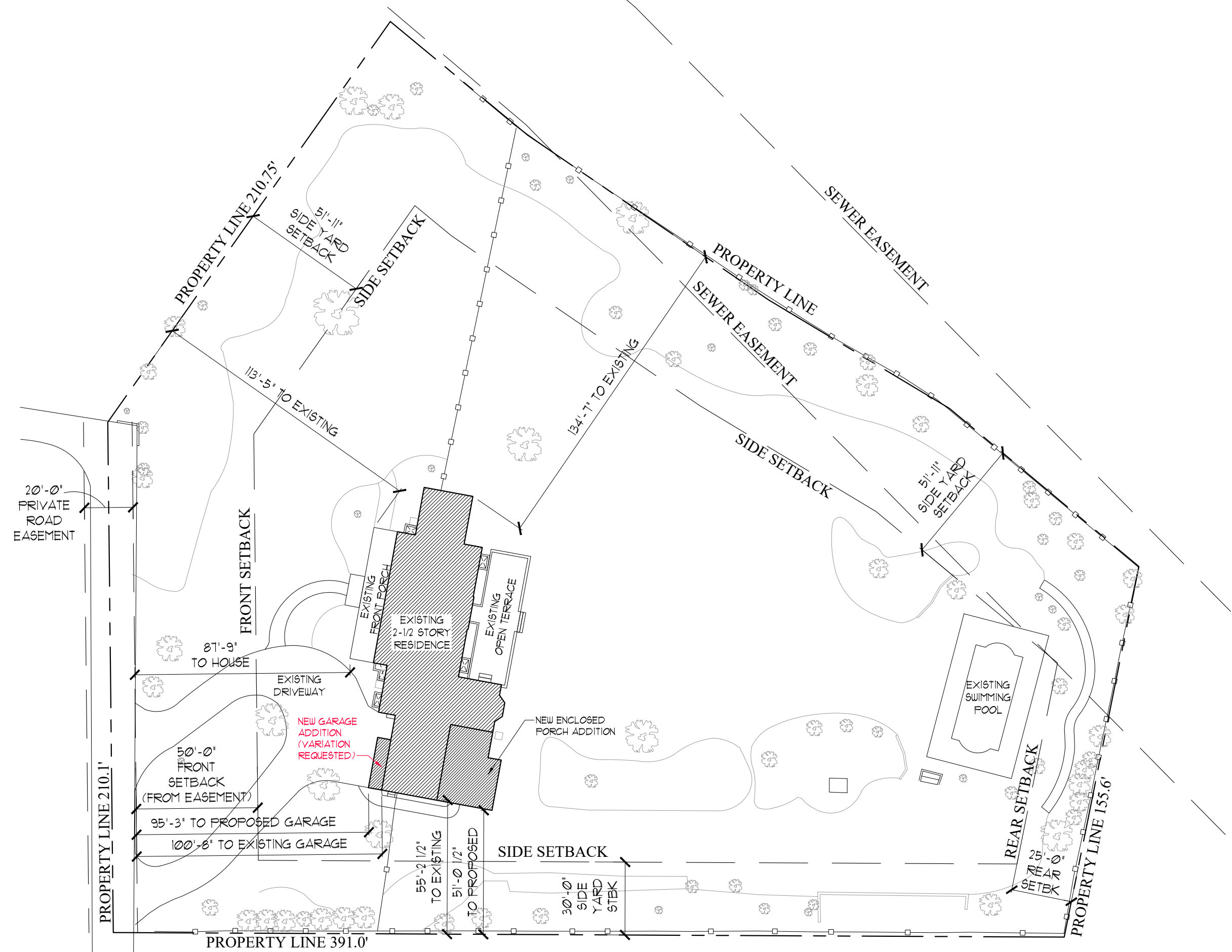
Konstant Architecture & Planning
5300 Golf Road Skokie Illinois 60077 847-967-6115-INC.

Private Residence
151 Meadow Lane, Winnetka



Existing Site Plan

1" = 40'-0"

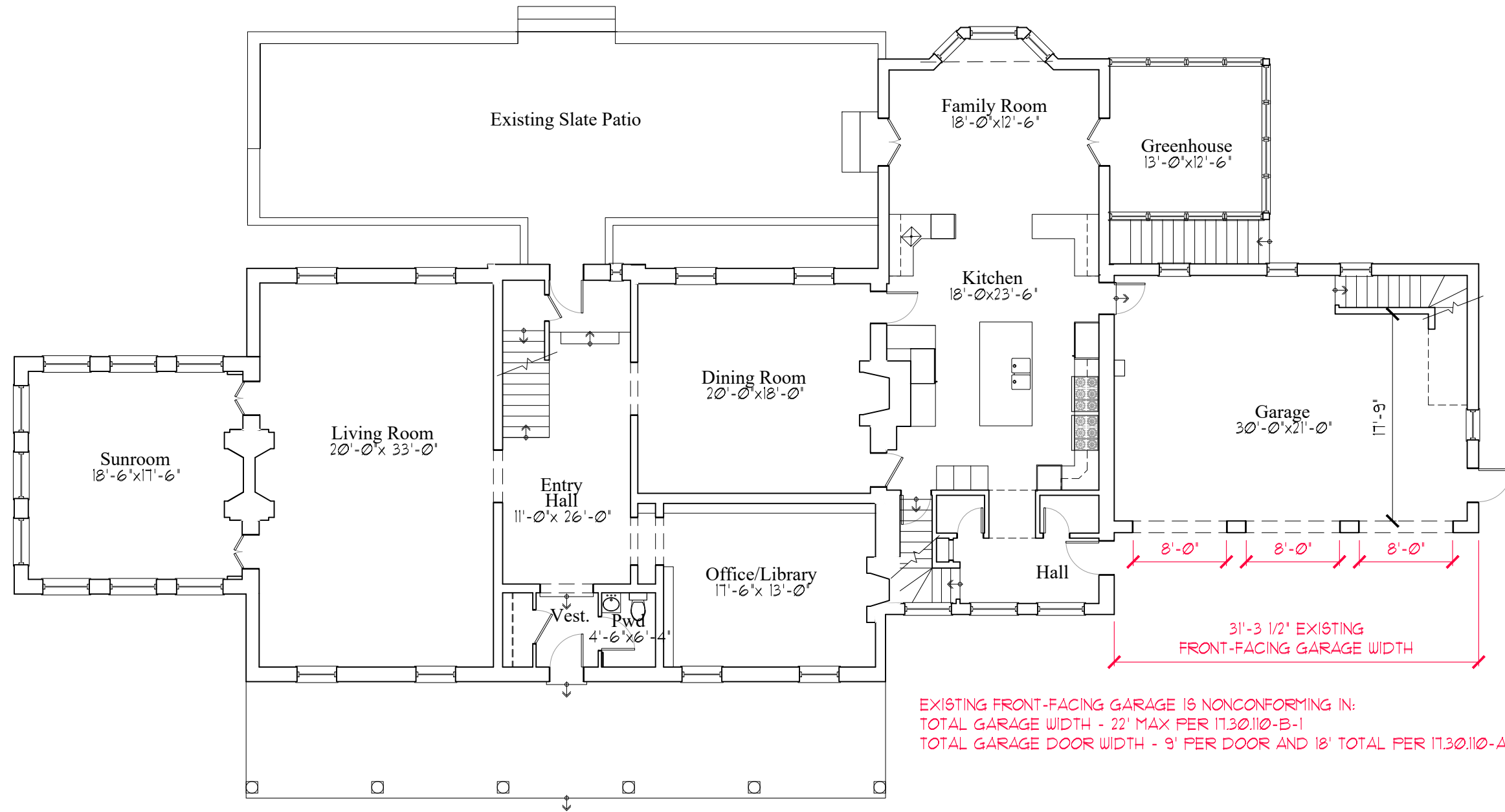


Proposed Site Plan

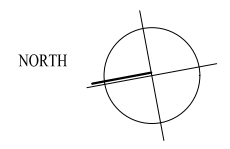
1"=40'-0"

Konstant Architecture Planning
 5300 Golf Road Skokie Illinois 60077 847-967-6115-inc

Private Residence
 151 Meadow Lane, Winnetka



EXISTING FRONT-FACING GARAGE IS NONCONFORMING IN:
 TOTAL GARAGE WIDTH - 22' MAX PER 17.30.110-B-1
 TOTAL GARAGE DOOR WIDTH - 9' PER DOOR AND 18' TOTAL PER 17.30.110-A.

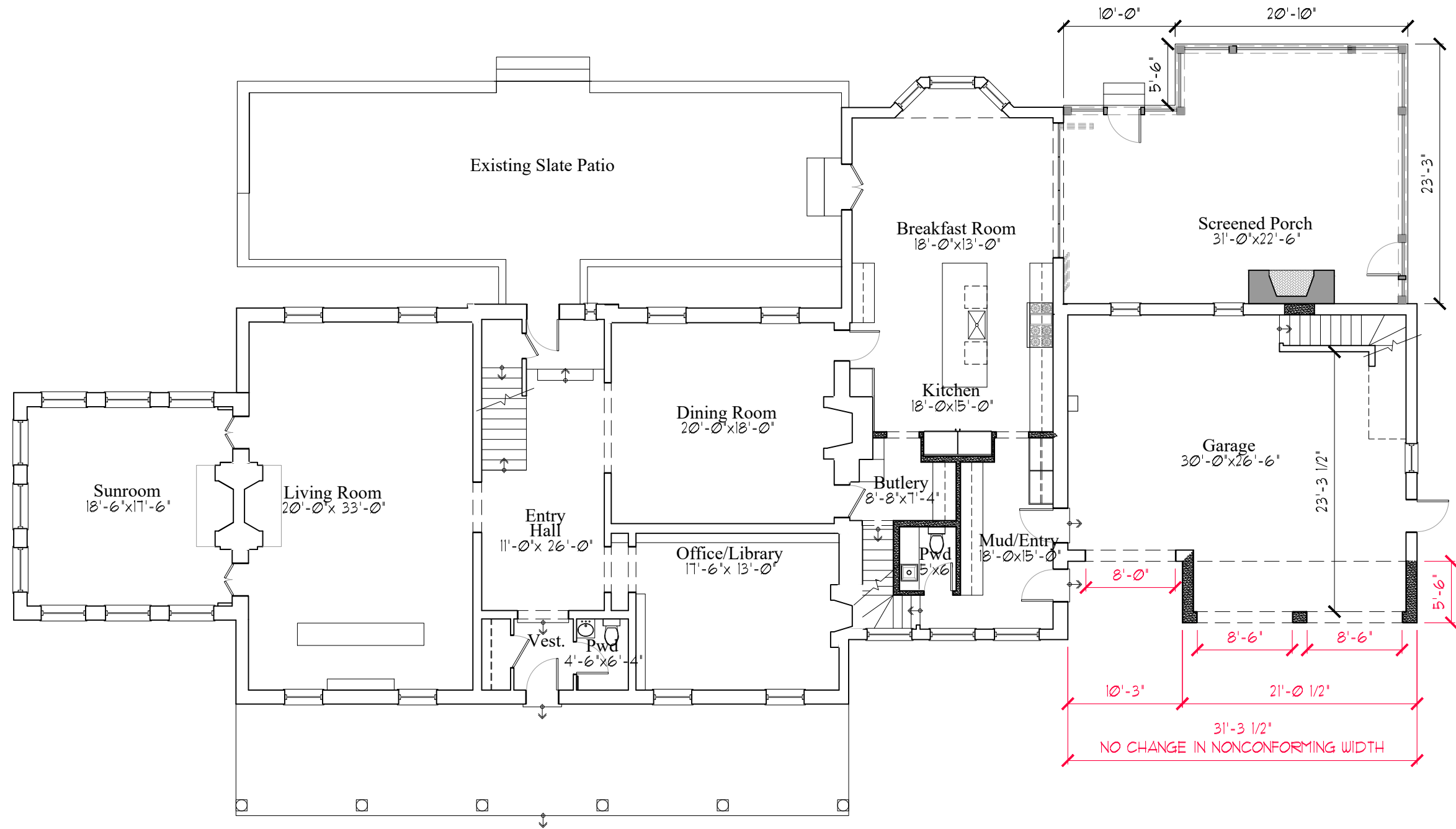


Existing First Floor Plan

3/32" = 1'-0"

Konstant Architecture Planning
 5300 Golf Road Skokie Illinois 60077 847-967-6115-inc.

Private Residence
 151 Meadow Lane, Winnetka

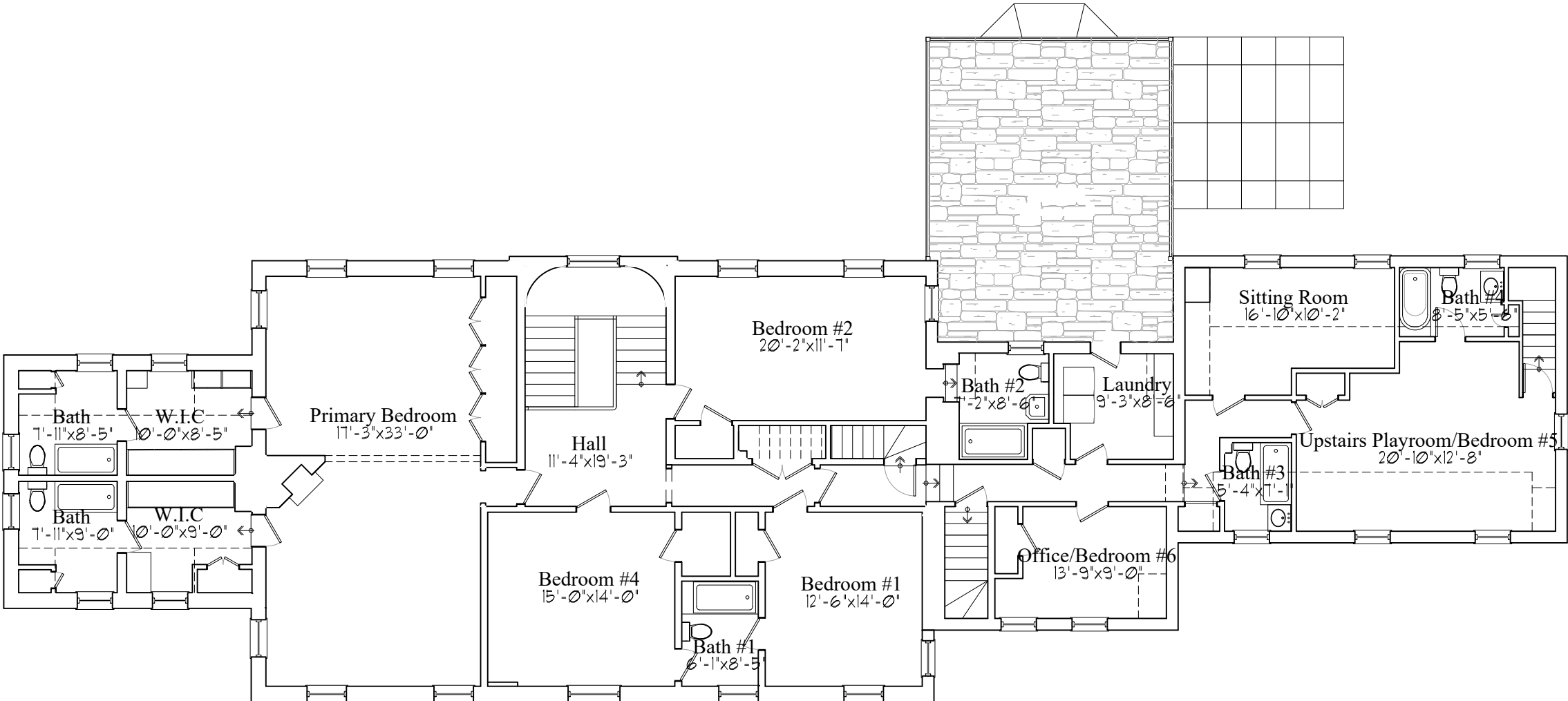


Proposed First Floor Plan

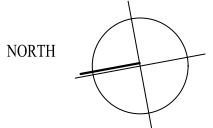
3/32" = 1'-0"

Konstant Architecture Planning
5300 Golf Road Skokie Illinois 60077 847-967-6115-inc.

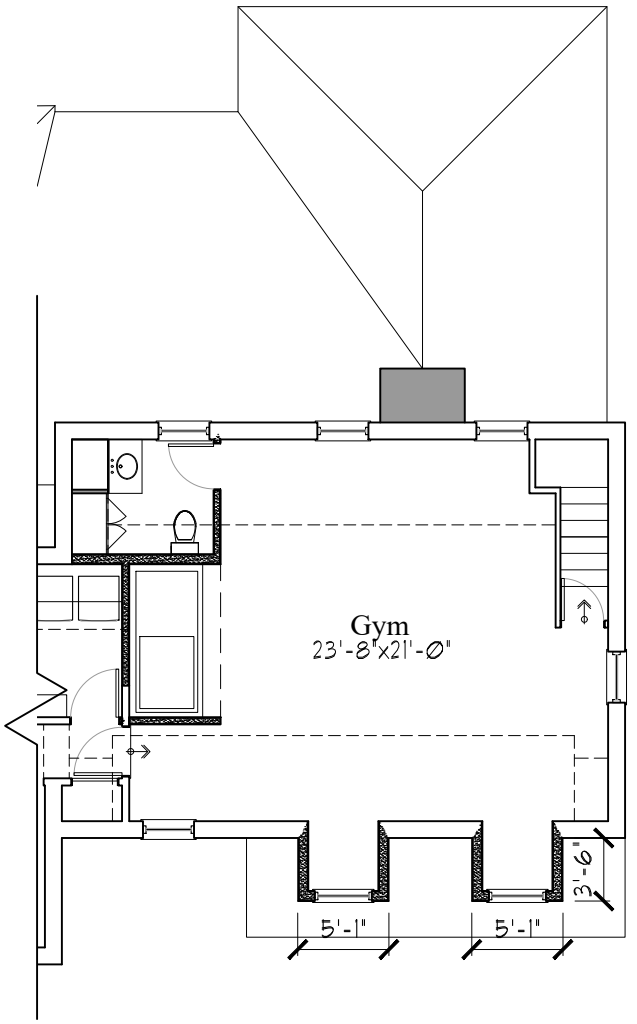
Private Residence
151 Meadow Lane, Winnetka



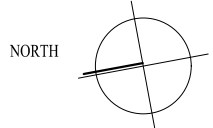
Existing Second Floor Plan



3/32" = 1'-0"



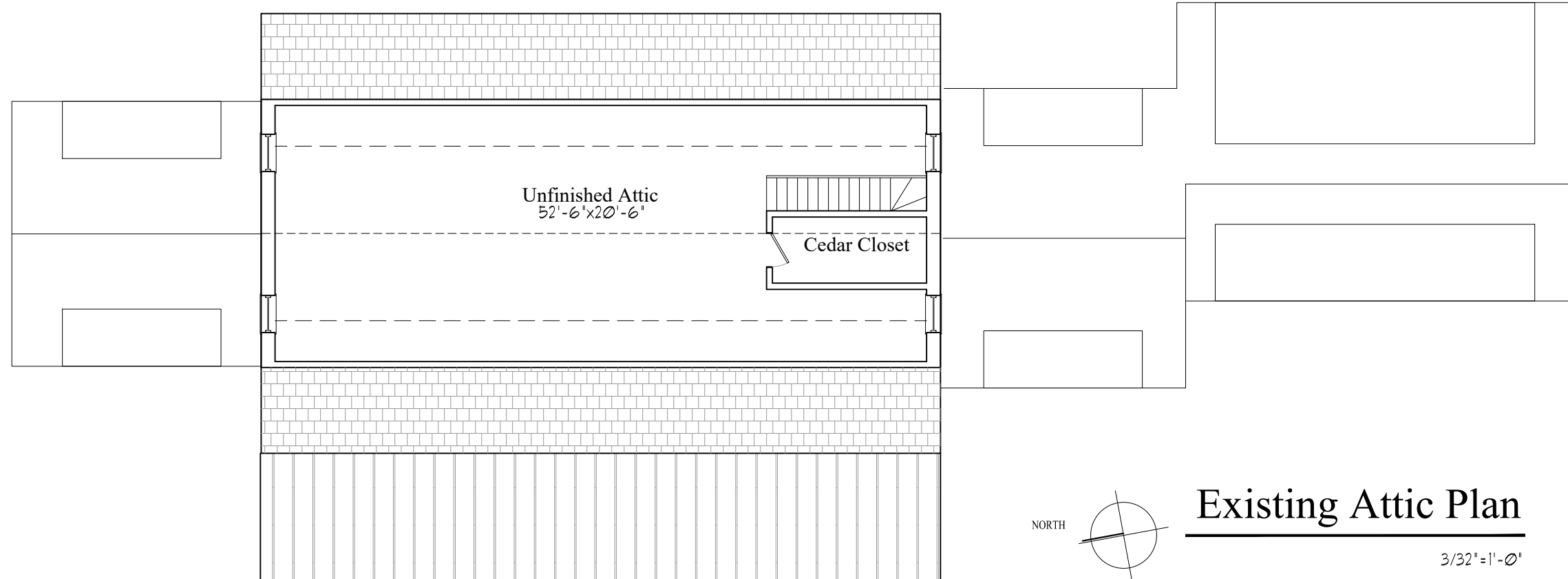
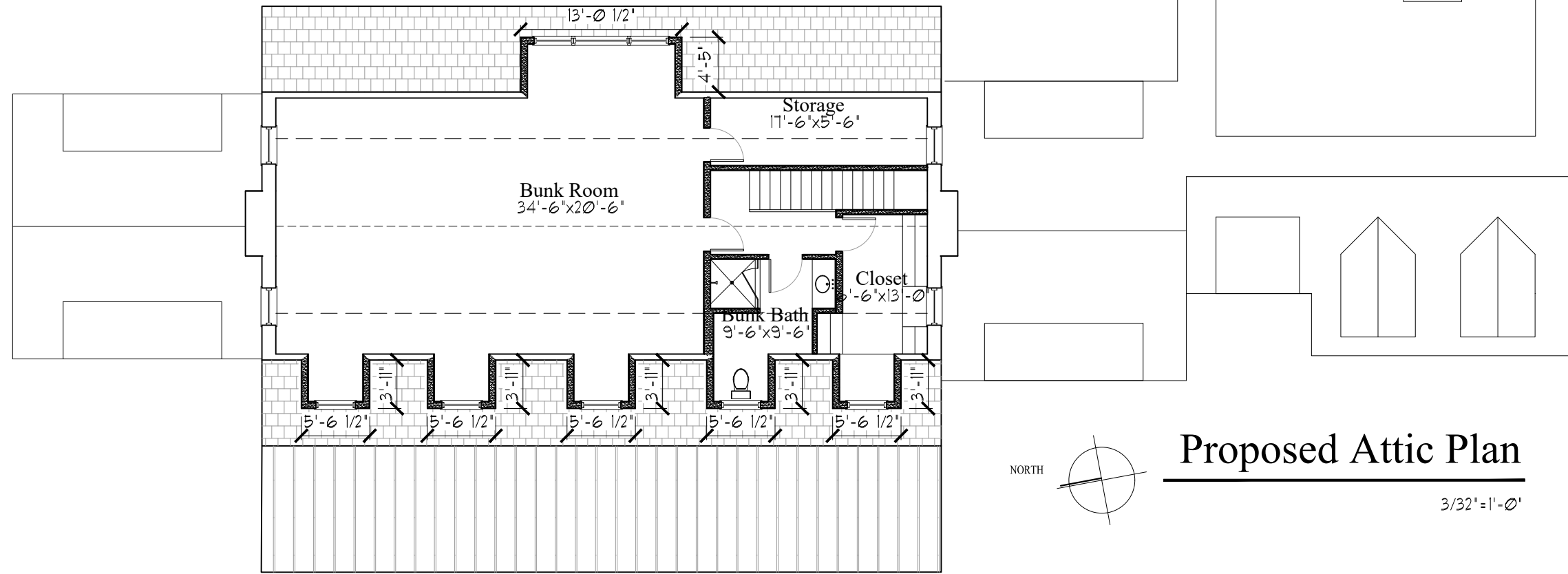
Proposed Second Floor Dormer Addition



3/32" = 1'-0"

Konstant Architecture Planning
 5300 Golf Road Skokie Illinois 60077 847-967-6115-inc.

Private Residence
 151 Meadow Lane, Winnetka



ROOF RIDGE
EXISTING TO REMAIN

FIN. ATTIC FLOOR
EL: 21'-3 1/4"

FIN. SECOND FLOOR
EL: 11'-4"

FIN. FIRST FLOOR
EL: 0'-0" (626.21')



Existing Front (West) Elevation

3/32" = 1'-0"

8'-0" 8'-0" 8'-0"

31'-3 1/2" EXISTING NONCONFORMING WIDTH

ROOF RIDGE
EXISTING TO REMAIN

FIN. ATTIC FLOOR
EL: 21'-3 1/4"

FIN. SECOND FLOOR
EL: 11'-4"

FIN. FIRST FLOOR
EL: 0'-0" (626.21')



Proposed Front (West) Elevation

3/32" = 1'-0"

8'-0" 8'-6" 8'-6"

31'-3 1/2" TOTAL GARAGE WIDTH TO REMAIN

Konstant Architecture Planning

5300 Golf Road Skokie Illinois 60077 847-967-6115-inc

Private Residence

151 Meadow Lane, Winnetka

ROOF RIDGE
EXISTING TO REMAIN

FIN. ATTIC FLOOR
EL: 21'-3 1/4"

FIN. SECOND FLOOR
EL: 11'-4"

FIN. FIRST FLOOR
EL: 0'-0" (626.21')



Existing Side (North) Elevation

3/32"=1'-0"

Date: 4/26/2024



Existing Side (South) Elevation

3/32"=1'-0"

ROOF RIDGE
EXISTING TO REMAIN

FIN. ATTIC FLOOR
EL: 21'-3 1/4"

FIN. SECOND FLOOR
EL: 11'-4"

FIN. FIRST FLOOR
EL: 0'-0" (626.21')



Proposed Side (North) Elevation

3/32"=1'-0"



Proposed Side (South) Elevation

3/32"=1'-0"

Konstant Architecture Planning
5300 Goll Road Skokie Illinois 60077 847-967-6115-INC

Private Residence
151 Meadow Lane, Winnetka

Job No: 2321

ROOF RIDGE
EXISTING TO REMAIN

FIN. ATTIC FLOOR
EL: 21'-3 1/4"

FIN. SECOND FLOOR
EL: 11'-4"

FIN. FIRST FLOOR
EL: 0'-0" (626.21')



Existing Rear (East) Elevation

3/32"=1'-0"

ROOF RIDGE
EXISTING TO REMAIN

FIN. ATTIC FLOOR
EL: 21'-3 1/4"

FIN. SECOND FLOOR
EL: 11'-4"

FIN. FIRST FLOOR
EL: 0'-0" (626.21')



Proposed Rear (East) Elevation

3/32"=1'-0"

Date: 4/26/2024

Konstant Architecture Planning
5300 Golf Road Skokie Illinois 60077 847-967-6115-INC

Private Residence
151 Meadow Lane, Winnetka

Job No: 2321