



Village of Winnetka

Zoning Board of Appeals Regular Meeting

August 12, 2024 at 7:00 PM
Police Department Classroom
410 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Approval of Minutes**
 - a. June 11, 2024, Special Meeting Minutes
3. **Community Development Report**
4. **New Cases**
 - a. **Case No. 24-17-V2: 473 Sheridan Road:** An application seeking approval of a variation to allow construction of a new single-family residence at 473 Sheridan Road. The requested variation would permit the proposed residence to provide less than the minimum required front yard setback from the west property line. The Village Council has final jurisdiction on this request.
5. **New Business**
 - a. September 9, 2024, Regular Meeting - Qurorum Check
6. **Public Comments**
7. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**WINNETKA ZONING BOARD OF APPEALS SPECIAL MEETING MINUTES
JUNE 11, 2024**

Zoning Board Members Present: Matt Bradley, Chairman
Mark Haller
Lynn Hanley
Kathryn Leister
Kate Casale MacNally

Zoning Board Members Absent: Mike Nielsen
Todd Vender

Village Staff: David Schoon, Director of Community Development
Ann Klaassen, Assistant Director of Community Development

Call to Order & Roll Call:

Chairman Bradley called the meeting to order at 6:00 p.m. Roll call was taken of the Board Members present.

Approval of Meeting Minutes.

Chairman Bradley asked for a motion to approve the May 13, 2024, meeting minutes. A motion to approve the May 13, 2024, meeting minutes was made by Ms. Casale MacNally and seconded by Ms. Hanley. A vote was taken, and the motion unanimously passed, 5 to 0:

AYES: Bradley, Haller, Hanley, Leister, Casale MacNally

NAYS: None

Community Development Report:

Mr. Schoon stated there is no Community Development Report.

New Cases:

a. **Case No. 24-13-SU: 1155 Oak Street - Winnetka Public School Nursery:** An application seeking approval of an amendment to an existing ordinance granting a Special Use Permit and Variations that allowed construction of an addition to Carleton Washburne School on the Subject Property, and zoning variations. The requested amendment would allow improvements to the existing Winnetka Public School Nursery playground located at 1155 Oak Street. The variations would permit the proposed improvements to (i) exceed the maximum permitted roofed lot coverage; (ii) provide less than the minimum required front yard setback from Oak Street; and (iii) exceed the maximum permitted height for sheds. The Village Council has final jurisdiction on this request.

Ms. Klaassen explained the background in connection with the requested ordinance amendment and identified the property's location, site photos along with the play equipment to be replaced with new equipment. She also identified wrought iron fencing which would remain. Ms. Klaassen then identified the existing play equipment and the concrete pad and mulch play surface which would be replaced as well as two existing sheds and a pergola that would be reduced in size and repaired. She also identified the location of the proposed four-foot fence. Ms. Klaassen then identified the 20-inch diameter tree to be removed noting the Village Forester agreed with its removal due to its condition and restricted root zone and that a 3-inch diameter large growing shade tree is required to be planted in replacement of the silver maple.

1 Ms. Klaassen explained the requested zoning relief and the site's existing nonconformities together with
2 the variation percentages being requested. She stated the existing sheds received zoning approval in 2000
3 to be constructed at a height greater than the permitted height of 7 feet. Ms. Klaassen stated the DRB
4 unanimously recommended approval of the design of the improvements and the Plan Commission
5 reviewed the special use permit and also recommended approval. She noted no public comment was
6 received and that a draft motion for the Board's consideration is included in the packet on page 15. Ms.
7 Klaassen then asked if there were any questions.

8
9 Ms. Casale MacNally asked if there were any other bodies that needed to review the proposal other than
10 the Board, the DRB and the Plan Commission. Ms. Klaassen responded there are not. Ms. Casale MacNally
11 then asked if the Board recommended approval, how soon would the item be presented to the Village
12 Council. Ms. Klaassen expected the request to be presented to the Village Council next Tuesday, June 18.

13
14 Mr. Haller referred to the play equipment illustration and asked if any work is being done north of the
15 sand. The applicant responded there would be a nest swing installed and a prefabricated playhouse as
16 well as a boulder to be moved to the north section between the paths and the fence. Mr. Haller
17 commented he preferred the proposed wood play equipment over the other play equipment installed in
18 playgrounds recently.

19
20 Chairman Bradley then swore in those speaking to this matter. Kate Higley, Board President and Phil Cox,
21 Operations Director with GRG Playscapes, introduced themselves to the Board. Mr. Cox offered to answer
22 the Board's questions. Mr. Haller asked what was the rationale for removing the tree. Mr. Cox stated
23 following discussions with the Village Forester, it was determined that the silver maple has exceeded the
24 growth space with the root system extending through the surface. Ms. Higley indicated the roots may
25 have presented a trip hazard but cannot speak to it for sure. Chairman Bradley stated at the Plan
26 Commission meeting, it was explained that the stump would remain. Mr. Haller explained the reasons
27 why the tree is beneficial for the playground. Chairman Bradley asked where the new tree would be
28 placed, and Mr. Cox identified its possible location to the north of the playground with the potential to
29 grow over time. In response to a statement by another board member, Ms. Hanley stated 1":1" tree
30 replacement is not always required by the Village. Ms. Casale MacNally referred to the Village Forester's
31 comments which stated that a 3-inch caliper tree is the largest caliper tree that is commonly available in
32 the area. Mr. Schoon explained the Village Forester's reasoning in terms of tree replacement. Mr. Haller
33 commented otherwise, the play area looked great.

34
35 Ms. Casale MacNally stated if the request is approved by the Village Council, she questioned the timing of
36 the project. Mr. Cox informed the Board they expect a completion date of August 16, 2024. He explained
37 that they are working with Bulley & Andrews, who is working at the Skokie School, in terms of equipment,
38 staging materials, deliveries, etc. with a possible earlier start date if the Village Council approved the
39 request in June.

40
41 Ms. Hanley referred to the log tunnel and questioned the reasoning for its location. Mr. Cox stated it
42 would be replacing an existing piece of equipment in that location and serve to pull children into other
43 areas on the site to play in decentralized play areas. Ms. Hanley asked if the hedges and landscaping
44 outside of the fencing would remain in terms of privacy. Mr. Cox responded no vegetation on the outside
45 of the fence would be disturbed. Ms. Hanley then asked Ms. Klaassen why the stage did not impact the
46 front yard setback and referred to page 38. Mr. Klaassen and other Board Members confirmed the stage
47 is being replaced with a new piece of equipment setback farther from the front yard line, thus requiring a

front yard setback variation not as significant as for the stage being removed. Chairman Bradley asked if there were any other questions.

Chairman Bradley referred to the sheds and questioned their existing use and height. Ms. Higley responded they are used for storage and supplies and could not speak to their increased height above 7 feet. Mr. Cox indicated it may have been the types of sheds offered in the design process. Chairman Bradley asked if the site would be ADA compliant. Mr. Cox stated ADA accessibility was discussed at prior meetings and he could not speak to the priorities over the initial concepts. He noted mulch is considered an ADA accessible play surface. Mr. Cox also noted there will be water play features at a similar height to the existing, which is lower. Ms. Higley noted the playhouse was open on one side and opens to the sidewalk so it would not have a step up in terms of access. Chairman Bradley asked if the playground is used during the summer. Ms. Higley confirmed camp is offered during the summer, but this year due to the project they only offered a 2-week camp, which ends this week. No additional questions were raised at this time. Chairman Bradley then called the matter in for discussion.

Ms. Hanley stated she had no problem with the special use request since it is an existing use or the front yard setback variation which would be a reduction from what is there. She also stated she had no problem with the shed height or RLC. Ms. Casale MacNally agreed with Ms. Hanley's comments and commended the applicant on the amelioration of the front yard setback and shed height issues. She also stated the RLC is a de minimus nonconformity and would be in favor of the request. Ms. Leister commented that it is a good plan and agreed with the comments made. She also commented she liked the design features which would be good for the children. Mr. Haller agreed with the comments made. Chairman Bradley also agreed the special use standards have been met as well as the RLC standard but could not, as an individual board member, recommend approval for the higher shed height since no justification was made for the increased height.

Chairman Bradley asked for a motion to recommend approval of the request as indicated on page nos. 15 and 16. A motion to recommend approval was made by Ms. Hanley and seconded by Ms. Casale MacNally. A vote was taken, and the motion unanimously passed, 5 to 0:

AYES: Bradley, Haller, Hanley, Leister, Casale MacNally

NAYS: None

New Business:

a. July 8, 2024 Meeting - Quorum Check.

The Board Members discussed their availability and alternative meeting dates.

Public Comment:

No comments were made at this time.

Adjournment:

Chairman Bradley asked for a motion to adjourn. A motion to adjourn was made by Ms. Hanley and seconded by Ms. Casale MacNally. A vote was taken, and the motion unanimously passed, 5 to 0:

AYES: Bradley, Haller, Hanley, Leister, Casale MacNally

NAYS: None

The meeting adjourned at 6:40 p.m.

Respectfully submitted,

- 1 Antionette Johnson
- 2 Recording Secretary

DRAFT



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: AUGUST 7, 2024
SUBJECT: 473 SHERIDAN ROAD – VARIATION (CASE NO. 24-17-V2)

INTRODUCTION

On August 12, 2024, the Zoning Board of Appeals is scheduled to hold a public hearing on an application submitted by Layercake LLC (the “Applicant”), as the owner of the property located at 473 Sheridan Road (the “Subject Property”). The Applicant requests approval of the following zoning variation to allow construction of a new single-family residence on the Subject Property:

1. **Front Yard Setback** of 29.87 feet from the west property line, whereas a minimum of 50 feet is required, a variation of 20.13 feet (40.26%) [Section 17.30.050 – Front and Corner Yard Setbacks]
[Note: The existing residence currently provides a front yard setback of 29.87 feet].

The Applicant has also submitted a demolition application for the existing residence on the Subject Property, which was considered by the Landmark Preservation Commission on May 6, 2024. By a vote of 4-0, the Commission approved the demolition without delay.

A mail notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Chicago Tribune* on July 25, 2024. As of the date of this memo, staff has not received any written comment from the public regarding this application.

The Village Council has final jurisdiction on this request as only the Council has the authority to grant any variation for any new principal building.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.44 acres in size, is located on the east side of Sheridan Road on a private extension of Sheridan Road, between Cherry and Oak Streets, and it contains an existing two-story residence with an attached garage (see Figure 1). The Subject Property is a flag lot, which is an irregularly shaped lot consisting of two sections: the primary mass of the lot (the “flag” portion), which is set back from the street frontage access and is behind one or more other lots; and a narrow access corridor (the “flagpole” portion). Additionally, the Subject Property is a through lot with opposite lot lines along Sheridan Road and the ordinary high-water mark of Lake Michigan. For lots abutting Lake Michigan, the ordinary high-water mark of the lake is a front lot line. Also, because the front street line along Sheridan Road is less than 50 feet, the front lot line from which the front yard setback is measured from is determined by the Zoning Administrator.

The property is zoned R-2 Single Family Residential, and it is surrounded by the same (see Figure 2). The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The zoning of the property is consistent with the Comprehensive Plan.

The existing lot is a legally nonconforming interior lot that is 19,148.2 square feet in net lot area, while the minimum required lot area for an interior lot in the R-2 District is 24,000 square feet. The area of the “flagpole” portion of the lot (1,903.8 square feet) as well as the area of the private road easement (190 square feet) are excluded from the lot area for zoning purposes. Also, the lot has an average lot width of 85.48 feet, while the minimum required average lot width for an interior lot in the R-2 District is 100 feet.

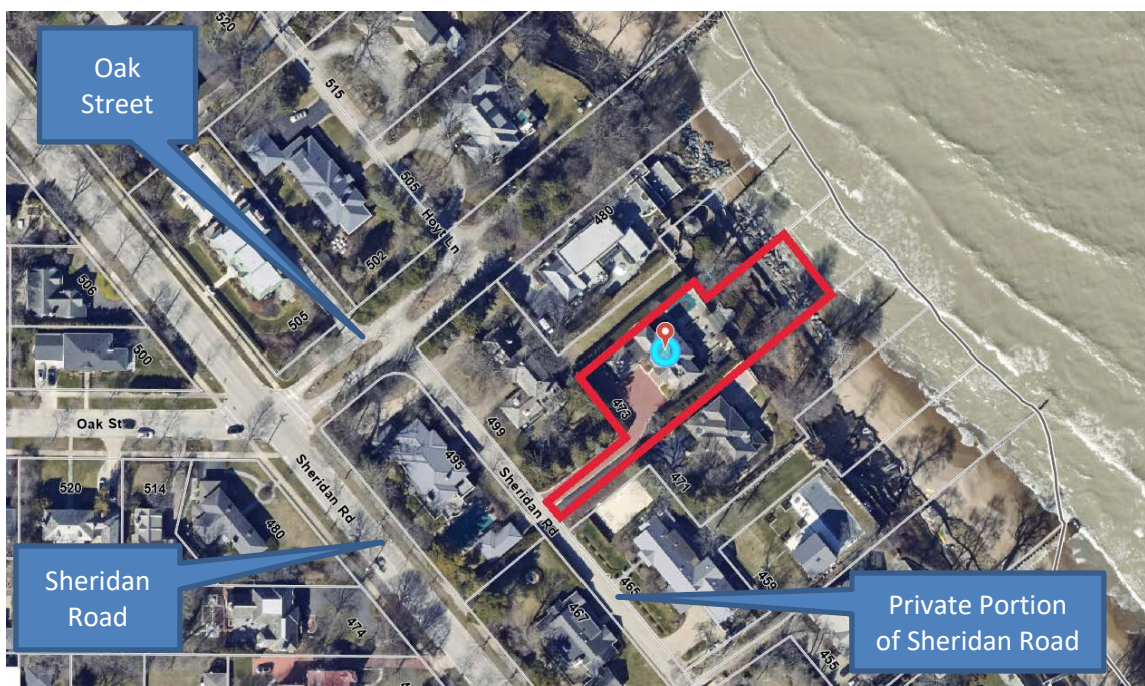


Figure 1 – Aerial Map



Figure 2 – Zoning Map

Given the Subject Property is along Lake Michigan, it is subject to the recently adopted Steep Slope Regulations chapter of the Zoning Ordinance. Figure 3 is a 2023 aerial with the 2017 Cook County topography. The red lines reflect the elevation levels of the land. The closer the elevation lines, the steeper the grade of the land. Figure 5 later in the report illustrates the steep slope zone and the slope transition area as defined by the Steep Slope Regulations. The Steep Slope Regulations limit what can be constructed within the steep slope zone and identify how those improvements must be constructed. The regulations also permit any structure allowed by zoning regulations to be constructed in the slope transition area as long as the construction of those items meets certain standards.



Figure 3 - 2023 Aerial with 2017 Cook County Topography

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The existing residence was built in 1960. Subsequent building permits were issued in:

1. 1967 to construct a bathroom and bedroom addition on the second floor; and
2. 2002 to remodel the kitchen.

Other minor permits have been issued over the last several years. The Applicant acquired the property in January 2023. There is one previous zoning case on file for the Subject Property. In 1967, ZBA Case No. 976 was approved by the ZBA to allow construction of a second-floor addition to the existing residence that did not comply with the side yard setback requirements at the time.

Figure 4 on the following page is a current photo of the site.



Figure 4 – Subject Property - Front Elevation (West)

PROPOSED PLAN

The variation is being requested in order to construct a new single-family residence on the Subject Property. The Applicant intends to maintain the existing attached garage and demolish the main two-story portion of the existing residence to accommodate construction of a new single-family residence that would be attached to the existing garage. It is worth noting that the existing residence currently provides a front yard setback of 29.87 feet from the west property line to the existing attached garage, which is the same setback the Applicant is proposing by maintaining the existing garage for the new residence. Also, the existing residence is nonconforming with respect to the minimum required side yard setback from the north property line as it currently provides a setback of 4.21 feet. The proposed improvements would comply with minimum side yard and total side yard setback requirements. Figure 5 on the following page represents the existing improvements on the Subject Property.

The proposed plan also includes construction of a pool and a 333-square foot boat house that do not require zoning relief. With the exception of the front yard setback, the proposed 2½-story residence would comply with all other zoning regulations.

Excerpts of the proposed site plan and the front and north side building elevations are provided on the following pages as Figures 6 through 8. The complete set of plans is provided in the application materials (**Attachment C**).

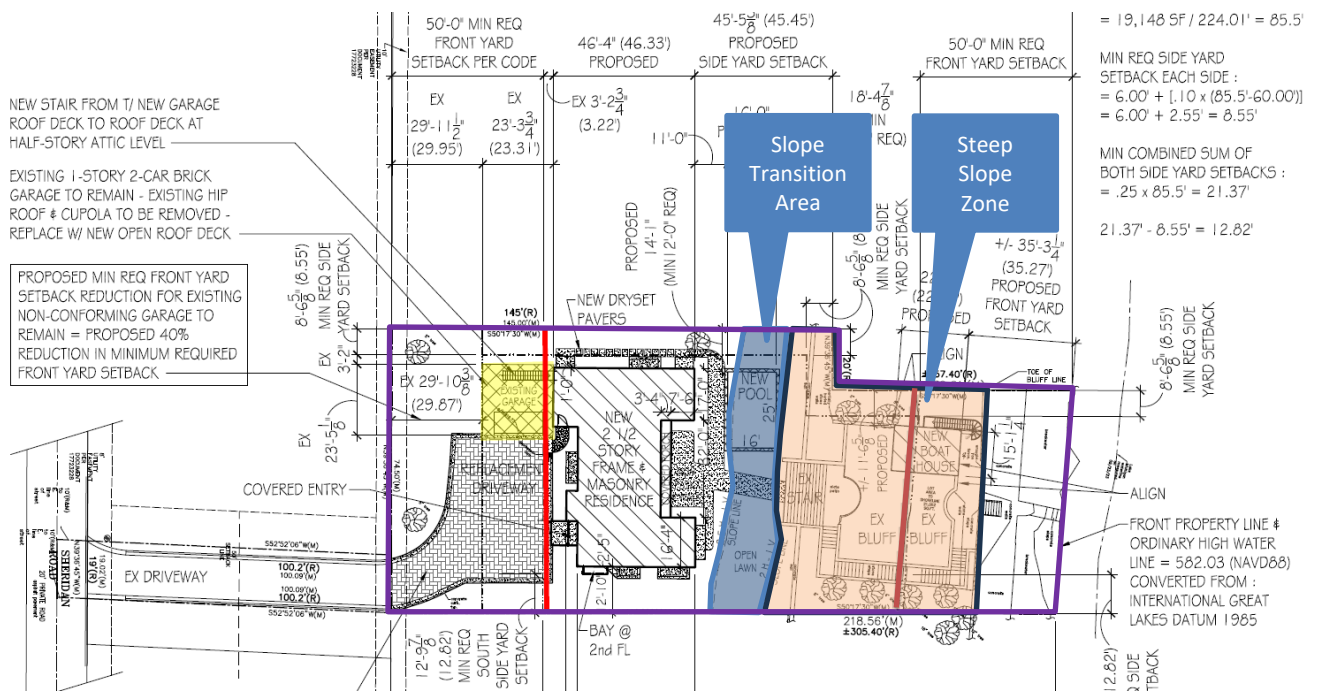
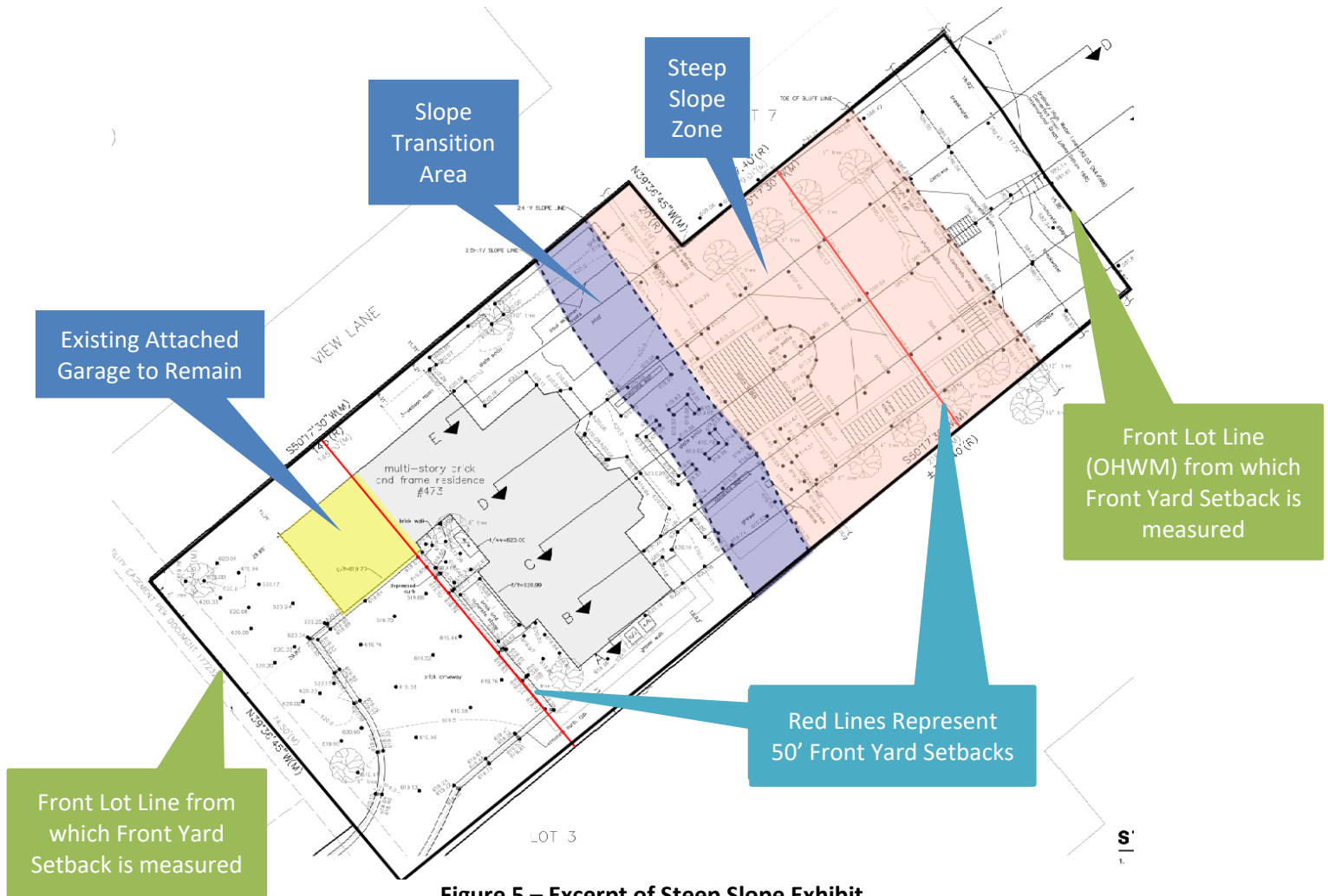




Figure 7 – Proposed Front (West) Elevation

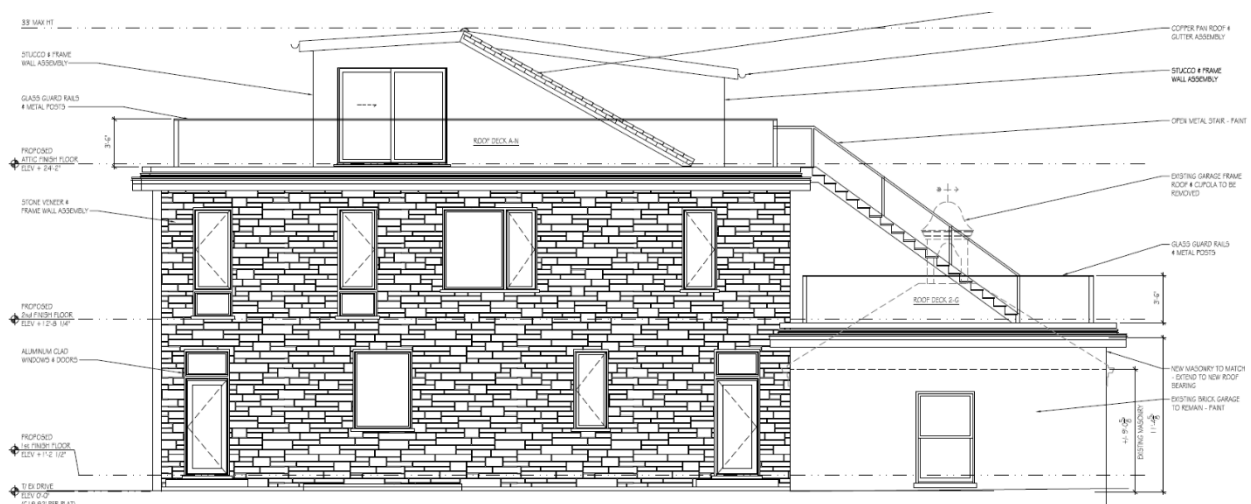


Figure 8 – Proposed North Side Elevation

Stormwater. Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, attached is a Stormwater Matrix (**Attachment B**). Because the Subject Property is a lakefront property, stormwater detention is not required if stormwater is directly discharged into Lake Michigan. Stormwater from the site must still be collected by a drain system and must be discharged at the base of the bluff along the lake. Alternatively, the Applicant is allowed to connect to the Village storm sewer and provide the necessary detention, however, discharging directly to the lake is recommended by the Village Engineering Department. Discharging to the lake will require the Applicant to submit a joint permit application to the United States Army Corp of Engineers, the Illinois Department of Natural Resources, and the Illinois Environmental Protection Agency to allow the agencies to determine if they will require a permit. Upon submittal of the building permit for the proposed improvements, Village Engineering staff will review the permit for compliance with Village stormwater regulations to verify the stormwater is being managed on-site.

Figure 9 on the following page represents the Subject Property's proximity to the floodplain; the cyan represents the 100-year floodplain.



Figure 9 - GIS Floodplain Map

Steep Slope Regulations. As previously stated, the Subject Property is located on the lakefront and is subject to the recently adopted Steep Slope Ordinance. The Applicant has provided a Steep Slope Exhibit to demonstrate the location of the slope impact area (steep slope zone and slope transition area) on the Subject Property. The Village Engineering Department and Coastal Engineer assisting the Village on the review of lakefront development projects have confirmed that the steep slope zone and slope transition area are correctly depicted in the Steep Slope Exhibit provided by the Applicant, and during the building permit review process the Applicant should be able to demonstrate that the proposed improvements can comply with the steep slope development standards.

The proposed boat house is allowed within the required front yard setback of 50 feet from the ordinary high-water mark of Lake Michigan. Additionally, the proposed boat house, which measures approximately 333 square feet and 14 feet in height (15.5 feet to the top of the guardrail), complies with the size limitations for a boat house within the steep slope zone (i.e., no larger than 860 square feet and no taller than 15 feet, however guardrails around a boat house rooftop deck may extend an additional 3 feet). The boathouse is the only proposed improvement within the steep slope zone. Regardless, upon submittal of the building permit for the proposed improvements, the Village Engineer will review the proposed plans for the boat house, and all other site improvements, and will require additional engineering to verify that the boat house will not jeopardize slope stability, and that it will not adversely impact the stability of the property or adjacent property.

REQUESTED ZONING RELIEF

The attached Zoning Matrix highlights the existing lot and the proposed improvement's compliance with the R-2 zoning district (**Attachment A**). One variation is being requested to allow the proposed residence to provide a front yard setback of 29.87 feet from the west property line, whereas a minimum setback of 50 feet is required. As noted earlier in this report, the existing residence is currently legally nonconforming with respect to the minimum required front yard setback from the west property line as it currently provides a front yard setback of 29.87 feet.

Given a portion of the Subject Property is governed by the regulations of the Steep Slope Regulations, the Zoning Board may also take into consideration the impacts of those regulations when considering a variation request of otherwise applicable zoning regulations, in this instance, the front yard variation request. Specially, Section 17.82.100 of the Steep Slope Regulations states:

Nothing in this Chapter is intended to limit the ability of an applicant from seeking a variation from the otherwise applicable zoning regulations affecting the owner's property. To the extent that the regulations of this Chapter materially restrict the ability of a property to be developed or materially increase the cost of such development, the Zoning Board of Appeals may, as part of its recommendation, conclude that the effects of this Chapter can, in appropriate circumstances, constitute a practical difficulty or unreasonable hardship.

FINDINGS

Section 17.60.040 of the Zoning Ordinance lists eight variation standards that the Board must find a variation application meets. The Applicant has supplied as part of their application materials a narrative addressing how this proposal meets these standards.

Does the ZBA find that the requested variation meets the standards for granting such variation; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variation granting:

1. Front Yard Setback of 29.87 feet from the west property line, whereas a minimum of 50 feet is required, a variation of 20.13 feet (40.26%) [Section 17.30.050 – Front and Corner Yard Setbacks].

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variation requested is **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **have been met [have not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
3. The variation, if granted, will not alter the essential character of the locality.
4. An adequate supply of light and air to the adjacent property will not be impaired.
5. The hazard from fire and other damages to the property will not be increased.
6. The taxable value of the land and buildings throughout the Village will not diminish.
7. The congestion in the public street will not increase.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

And given a portion of the Subject Property is governed by the Steep Slope Regulations, the Zoning Board of Appeals **concludes [does not conclude]** that the effects of the Steep Slope Regulations constitute a practical difficulty or unreasonable hardship.

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Stormwater Matrix

Attachment C: Application Materials

ATTACHMENT A

ZONING MATRIX

ADDRESS: 473 Sheridan Road

CASE NO: 24-17-V2

ZONING: R-2

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	24,000 SF	19,148.2 SF	N/A	N/A	EXISTING NONCONFORMING
Min. Average Lot Width	100 FT	85.48 FT	N/A	N/A	EXISTING NONCONFORMING
Min. Lot Depth	200 FT	224.01 FT	N/A	N/A	OK
Max. Roofed Lot Coverage	4,787.05 SF (1)	N/A	3,381.39 SF	N/A	OK
Max. Gross Floor Area	5,946.05 SF (1)	N/A	5,870.93 SF	N/A	OK
Max. Impermeable Lot Coverage	9,574.1 SF (1)	N/A	9,474.41 SF	N/A	OK
Min. Front Yard (West)	50 FT	N/A	29.87 FT	N/A	20.13 FT (40.26%) VARIATION
Min. Front Yard (East/Lake)	50 FT	N/A	118.49 FT (3)	N/A	OK
Min. Side Yard (North)	8.55 FT	N/A	8.55 FT (4)	N/A	OK
Min. Total Side Yards	21.37 FT	N/A	21.38 FT	N/A	OK

NOTES:

(1) Based on net lot area of 19,148.2 s.f. Gross lot area is 21,242 s.f. Area of private road easement (190 s.f.) and "flagpole" portion of a flag lot (1,903.8 s.f.) are excluded from the lot area for zoning purposes.

(2) Variation amount is the difference between proposed and requirement.

(3) Setback to proposed residence. Boat house is permitted to encroach the required front yard setback.

(4) Setback to proposed boat house. Setback to proposed residence is 11.71 feet.

ATTACHMENT B

Stormwater Volume Requirements for Development Sites

In addition to meeting the following storm water volume detention requirements, development sites must meet all other Village storm water management requirements such as drainage and grading, storm water release rates, storage system design requirements, etc. An exception is for lots along the lakefront that directly discharge into Lake Michigan; those lots are not required to provide stormwater volume detention on-site. They are required to meet all other Village stormwater system design requirements.

	Storm Water Detention Volume Requirements	Applicable Requirement
A. New Home Construction - Previously Developed Lot	The amount of additional required storm water detention volume is based upon the difference between maximum impermeable lot coverage, per Zoning Code, and existing lot coverage, using the run-off coefficient for a 100-year storm event for both.	<i>Applies to 473 Sheridan Road.</i> <i>Site is currently developed; though, stormwater detention is not required if stormwater is directly discharged into Lake Michigan. However, a final determination will not occur until engineering plans are submitted with a building permit application.</i>
B. New Home Construction - Previously <u>Undeveloped</u> Site	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
C. Redevelopment of Site for Different Use (e.g. single family to multi-family, or commercial)	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
D. Improvements to Existing Home and/or Lot, causing an increase in impermeable lot coverage <u>greater or equal to 25%</u>.	The amount of additional required storm water detention volume is based upon the difference between the proposed and existing impermeable lot coverage, using the run-off coefficient for 100 year storm event. (Note: If the increase in impermeable lot coverage is less than 25%, additional storm water detention volume is <u>not</u> required.)	
E. Improvements to existing lots, who currently exceed maximum impermeable lot coverage (e.g., School sites, single family and multi-family sites)	The amount of additional required storm water detention volume is based upon: a) The amount of the impermeable lot coverage (ILC) currently in excess of the maximum permitted amount of ILC allowed by zoning that will be removed and replaced, and/or b) The amount of ILC in addition to what currently exists on the lot.	

Stormwater Volume Requirements for Development Sites

	The amount of required detention volume is then determined using the run-off coefficient for 100-year storm event.	
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VILLAGE OF WINNETKA, ILLINOIS

DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 24-17-V2

Property Information

Site Address: 473 SHERIDAN ROAD, WINNETKA, IL, 60093

Owner Information

Name: LAYERCAKE LLC

Address: [REDACTED]

City, State, ZIP: KENILWORTH, IL, 60043

Email: [REDACTED]

ROBERT T. DELANEY
Primary Contact: (MANAGER OF LAYERCAKE LLC)

Phone No. [REDACTED]

Date property acquired by owner: January 3, 2023

Architect Information

Name: WILLIAM MURPHY ARCHITECT, LTD.

Primary Contact: WILLIAM MURPHY

Address: 410 SOUTH MICHIGAN AVE., SUITE 813

City, State, ZIP: CHICAGO, IL, 60605

Phone No. 312-461-9442

Email: WMURPHYARCH@MSN.COM

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Nature of any restrictions on property: None

Brief explanation of variation(s) requested (attach separate sheet providing additional details):

The location of the Existing 2-Car Garage is an Existing Legal Nonconformity, with an existing Front Yard Setback of 29.87' where 50' is required. The variation requested is to preserve the existing Garage foundation & walls in the existing location, with the existing roof & structure to be replaced by a new open Roof Deck with open Stair to Attic level Roof Deck, The Proposed New House is compliant with all setbacks.

Property Owner Signature: [REDACTED]

Date: July 10, 2024

WILLIAM MURPHY
ARCHITECT, LTD.

Ann Klaassen
Village of Winnetka Community Development
510 Green Bay Road
Winnetka, IL 60093

July 10, 2024

Re: Zoning Variation Application
473 Sheridan Road, Winnetka, Illinois

ADDRESS STANDARDS FOR GRANTING OF ZONING VARIATIONS

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that district.

The location of the existing 2-Car Garage in an existing legal nonconformity, with an existing Front Yard Setback of 29.87' where 50' is required. The Variation requested is to preserve the existing garage location and allow for the Proposed new Home to be constructed. The property cannot yield a reasonable return without a 2-Car Garage if it were removed.

2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.

The plight of the owner is unique to this property. The existing Garage was constructed approx 60 years ago in the current location. Due to the Flag Lot property configuration, the Garage location is in a natural position to allow the house to be positioned on the lakeside. The buildable window of space on the Lot is tight, and further limited with the Steep Slope zone on the East. If the Garage were to be demolished and reconstructed in compliance, the house would not fit clear of the Steep Slope limits. This would also increase Impervious Coverage with extended driveway.

3. The variation, if granted, will not alter the essential character of the locality.

The character of the locality will not be altered if the existing Garage were to remain. It is positioned out of view of the public way and neighboring properties.

4. An adequate supply of light and air to adjacent property will not be impaired.

The existing Garage has no impact on adjacent properties, and there would be no change if it were to remain.

5. The hazard from fire and other damages to the property will not be increased.

The existing Garage is constructed of brick and block, and the Roof Deck will be supported by the same, with no change in hazard.

WILLIAM MURPHY
ARCHITECT, LTD.

Re: Zoning Variation Application
473 Sheridan Road, Winnetka, Illinois

6. Taxable value of the land and buildings throughout the village will not diminish.

There would be no change to taxable value in the village were the existing Garage to remain.
7. The congestion in the public street will not increase.

There would be no change in street traffic were the existing Garage to remain.
8. The public health, safety, comfort, morals and welfare of the inhabitants of the village will not be otherwise impaired.

There would be no change in public health, safety, comfort, morals and welfare of the inhabitants of the village if the existing Garage were to remain.

Sincerely,

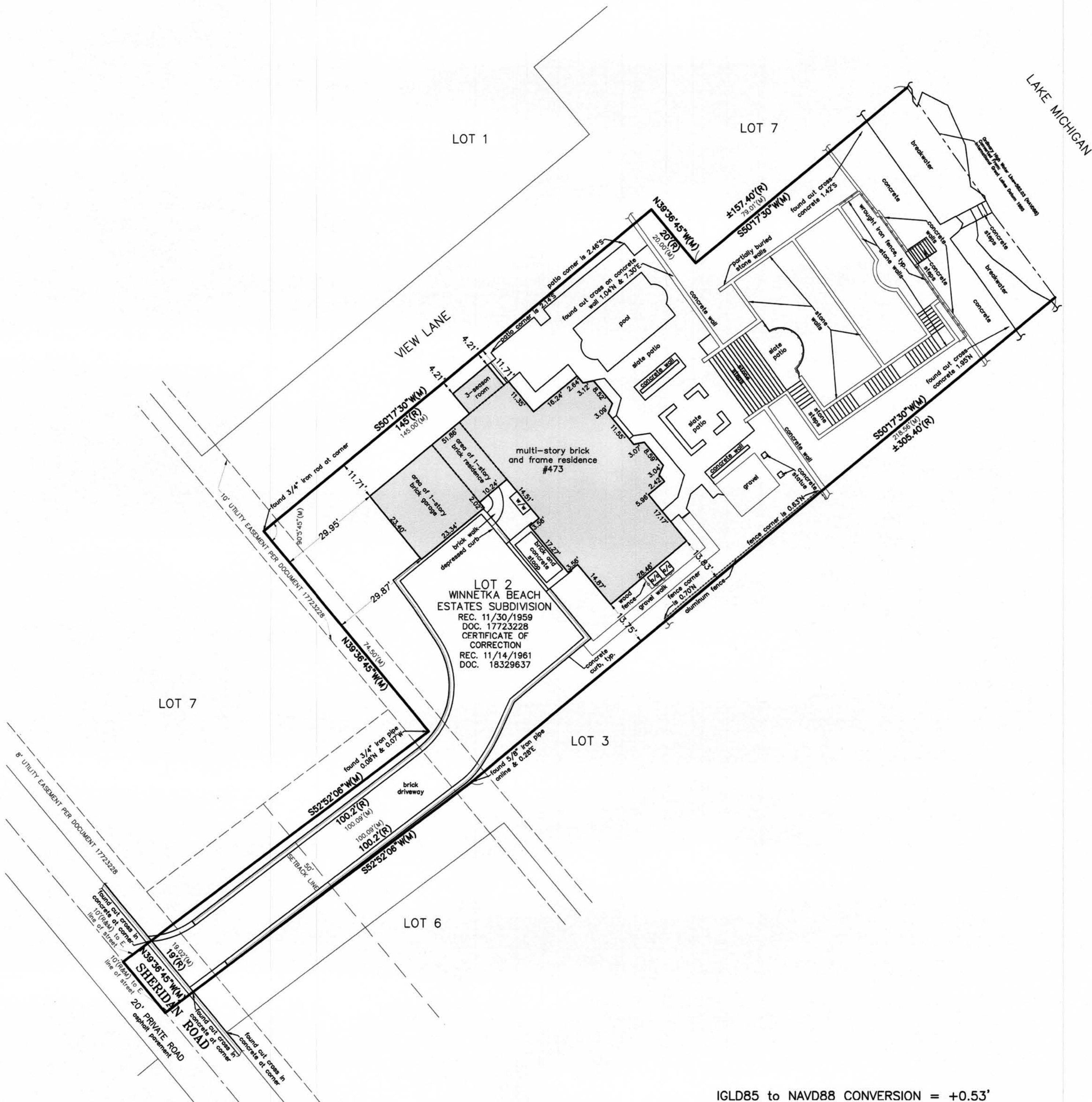


William C. Murphy, Jr.
William Murphy Architect, Ltd.

PLAT OF SURVEY

OF

LOT 2 IN WINNETKA BEACH ESTATES, A SUBDIVISION OF THAT PART OF BLOCK 42 IN CHARLES E. PECK'S SUBDIVISION OF THE NORTHEAST 1/4 OF SECTION 20 AND THE NORTH 1/2 OF FRACTIONAL SECTION 21, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHERLY LINE OF THAT PART OF NON-VACATED CHERRY STREET AND SOUTH OF THE NORTHERLY OF THE SOUTH 10 FEET OF OAK STREET AND EASTERLY OF THE EAST LINE OF SHERIDAN ROAD, ALL IN COOK COUNTY, ILLINOIS



IGLD85 to NAVD88 CONVERSION = +0.53'

IGLD85 ORDINARY LAKE LEVEL = 581.5'

NAVD88 CONVERTED LAKE LEVEL = 582.03'

LOT AREA TO ORDINARY HIGH WATER MARK (OHWM): 21,242 SQ.FT.

BASIS OF BEARINGS:
STATE PLANE COORDINATE SYSTEM ILLINOIS EAST

ALL DISTANCES IN FEET AND DECIMAL PARTS THEREOF.
NO DIMENSIONS TO BE ASSUMED FROM SCALING.

COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT
AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

REFER TO TITLE REPORT FOR ANY EASEMENTS, COVENANTS OR
RESTRICTIONS THAT MAY EXIST BUT ARE NOT SHOWN HEREON.



LEGEND
(R) RECORD
(M) MEASURED

REVISED: 07/18/24
REVISED: 07/11/24
REVISED: 04/02/24

STATE OF ILLINOIS
COUNTY OF COOK
S.S.
THIS PROFESSIONAL SERVICE CONFORMS TO THE
CURRENT ILLINOIS MINIMUM STANDARDS OF
PRACTICE APPLICABLE FOR A BOUNDARY SURVEY.

WHEELING, IL. JULY 18th A.D. 2024.

BY *Kevin C. Lewis*
ILLINOIS PROFESSIONAL LAND SURVEYOR #3681
LICENSE EXPIRES NOVEMBER 30, 2024



PROJECT NUMBER
23925

**PLAT OF SURVEY
RESIDENCE
473 SHERIDAN ROAD
WINNETKA, ILLINOIS**

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G:\IG\23\23925\Survey\23925101.dwg

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CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 | FAX (847) 215-1177
1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 | ig@igconsulting.net

PREPARED FOR: WILLIAM MURPHY ARCHITECT, LTD. SCALE: 1"=20'
FIELD CREW: C.L. & D.J. FIELD WORK: 09/21/23 DRAFTED BY: A.W. CHECKED BY: J.H.

FIRM NO. 184-001330

Page 21 of 34

EXISTING 1-STORY 2-CAR BRICK
GARAGE TO REMAIN - EXISTING HIP
ROOF & CUPOLA TO BE REMOVED -
REPLACE W/ NEW OPEN ROOF DECK

REPLACE EXISTING DRIVEWAY IN
EXISTING LOCATION - EXISTING
SURFACE DRAINAGE FLOW PATTERN TO
REMAIN AS IS - TYP - RESTORE EXISTING
SITE SURFACE DRAINAGE FLOW PATTERN
AS REQ BY NEW WORK - TYP _____

UPDATED 2024.08.05

473 SHERIDAN ROAD
DEMOLITION SITE PLAN
2024.07.10
SCALE: 1" = 40'-0"
WILLIAM MURPHY ARCHITECT, LTD.

AVERAGE LOT DEPTH :
= LOT AREA / LOT DEPTH
= 19,148 SF / 224.01' = 85.5'

MIN COMBINED SUM OF
BOTH SIDE YARD SETBACKS :
= .25 x 85.5' = 21.37'

FRONT PROPERTY LINE &
ORDINARY HIGH WATER
LINE = 582.03 (NAVD88)
CONVERTED FROM :
INTERNATIONAL GREAT
LAKES DATUM 1985

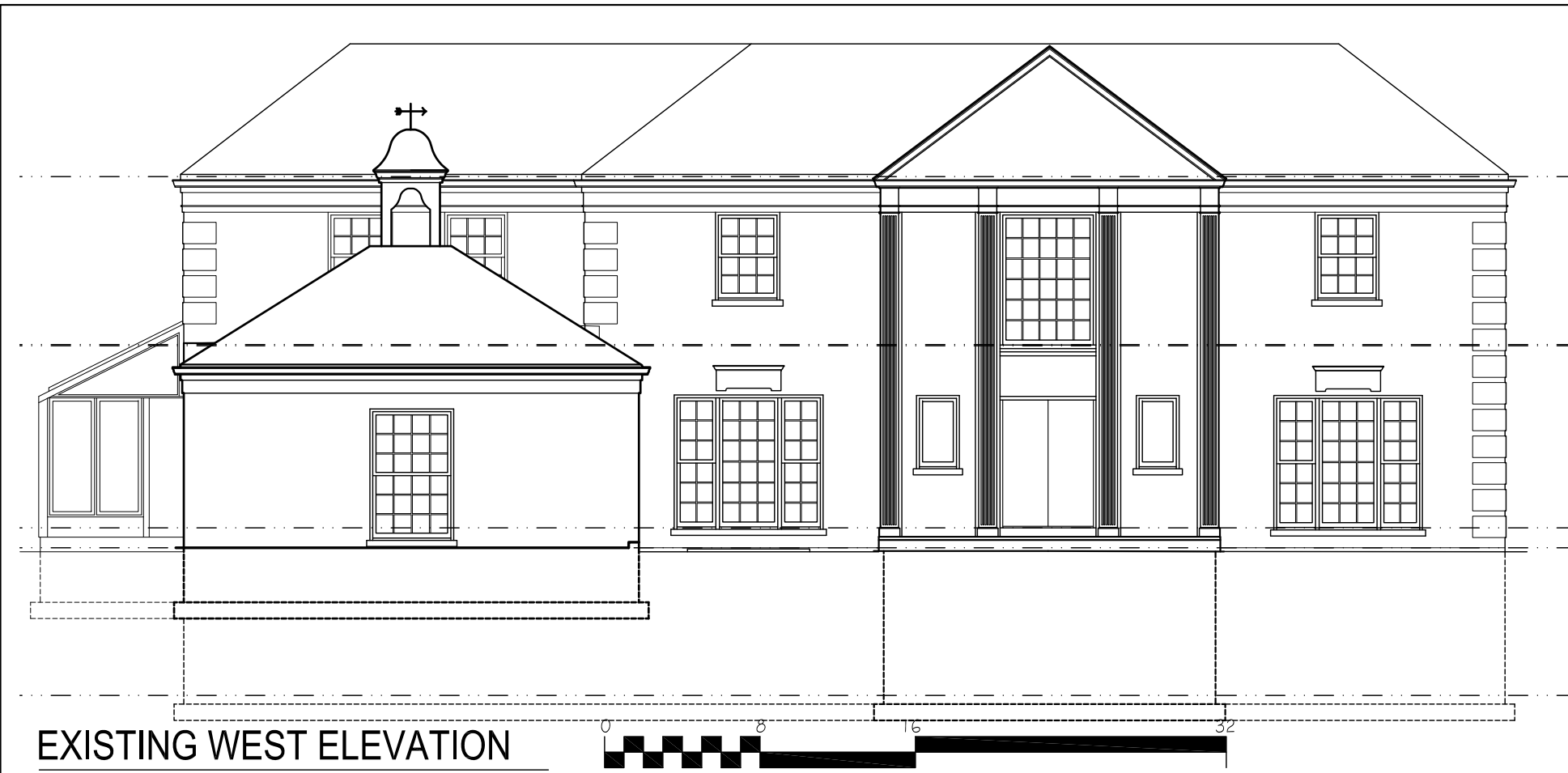
473 SHERIDAN ROAD
PROPOSED SITE PLAN
2024.07.10
SCALE: 1" = 40'-0"
WILLIAM MURPHY ARCHITECT, LTD.

50'-0" MIN REQ FRONT YARD SETBACK PER CODE	46'-4" (46.33') PROPOSED	45'-5 ³ / ₈ " (45.45') PROPOSED	50'-0" MIN REQ FRONT YARD SETBACK
--	-----------------------------	--	--------------------------------------

PROPOSED MIN REQ FRONT YARD
SETBACK REDUCTION FOR EXISTING
NON-CONFORMING GARAGE TO
REMAIN = PROPOSED 40%
REDUCTION IN MINIMUM REQUIRED
FRONT YARD SETBACK _____

NEW STAIR FROM T/ NEW GARAGE
ROOF DECK TO ROOF DECK AT
HALF-STORY ATTIC LEVEL _____

$$218'-6\frac{7}{8}" (218.56') = \text{EXISTING OVERALL LOT DEPTH @ SOUTH}$$



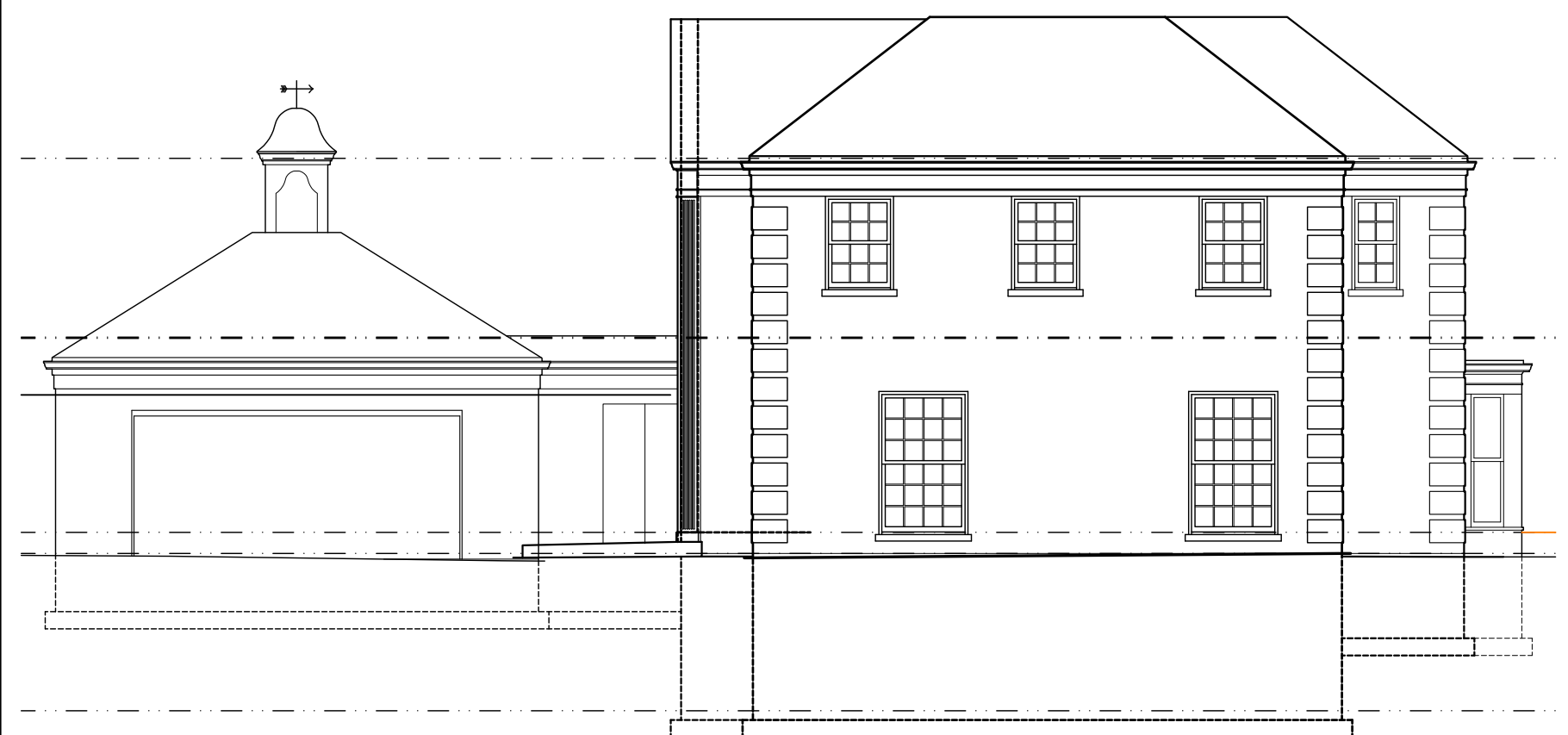
EXISTING WEST ELEVATION

SCALE : 1/8"=1'-0"



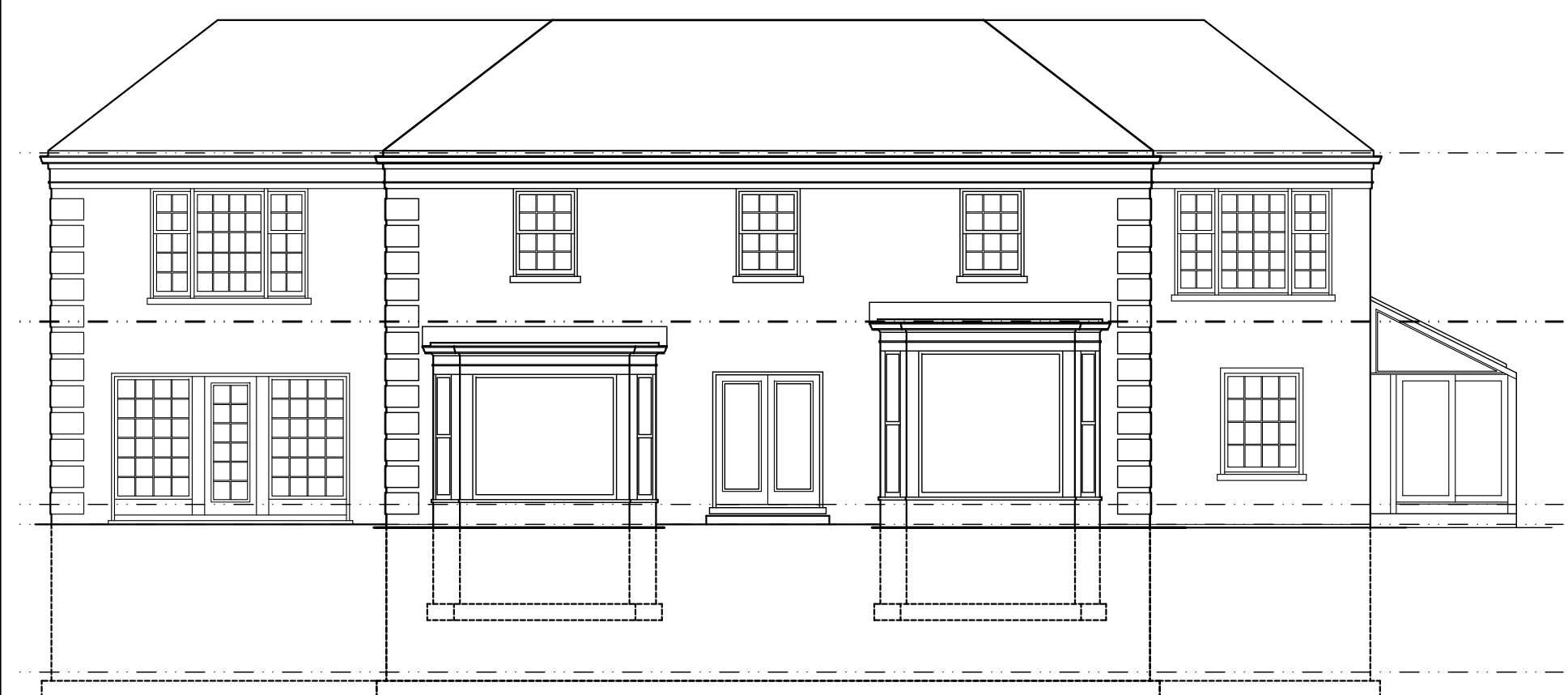
EXISTING NORTH ELEVATION

SCALE : 1/8"=1'-0"



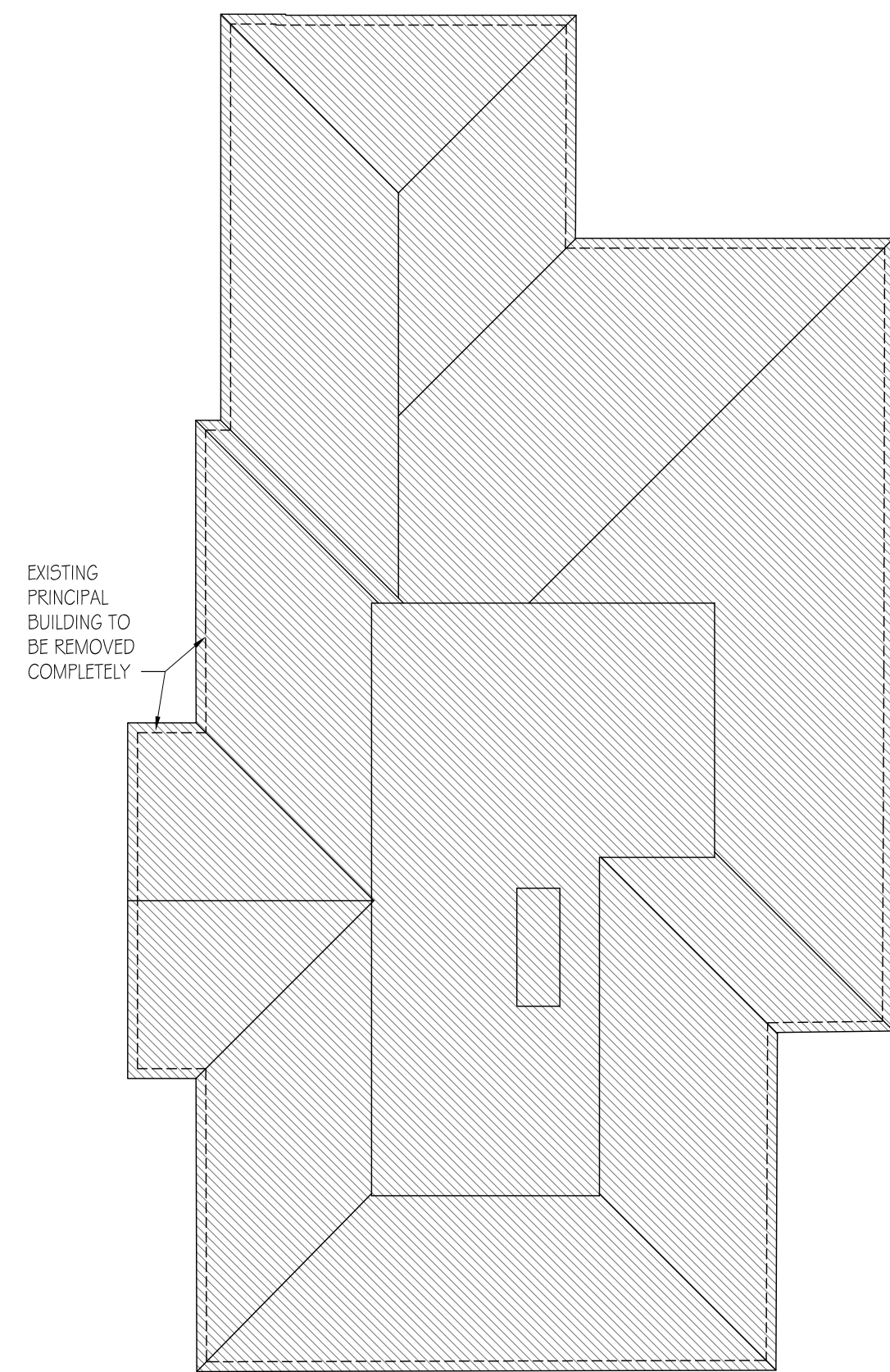
EXISTING SOUTH ELEVATION

SCALE : 1/8"=1'-0"



EXISTING EAST ELEVATION

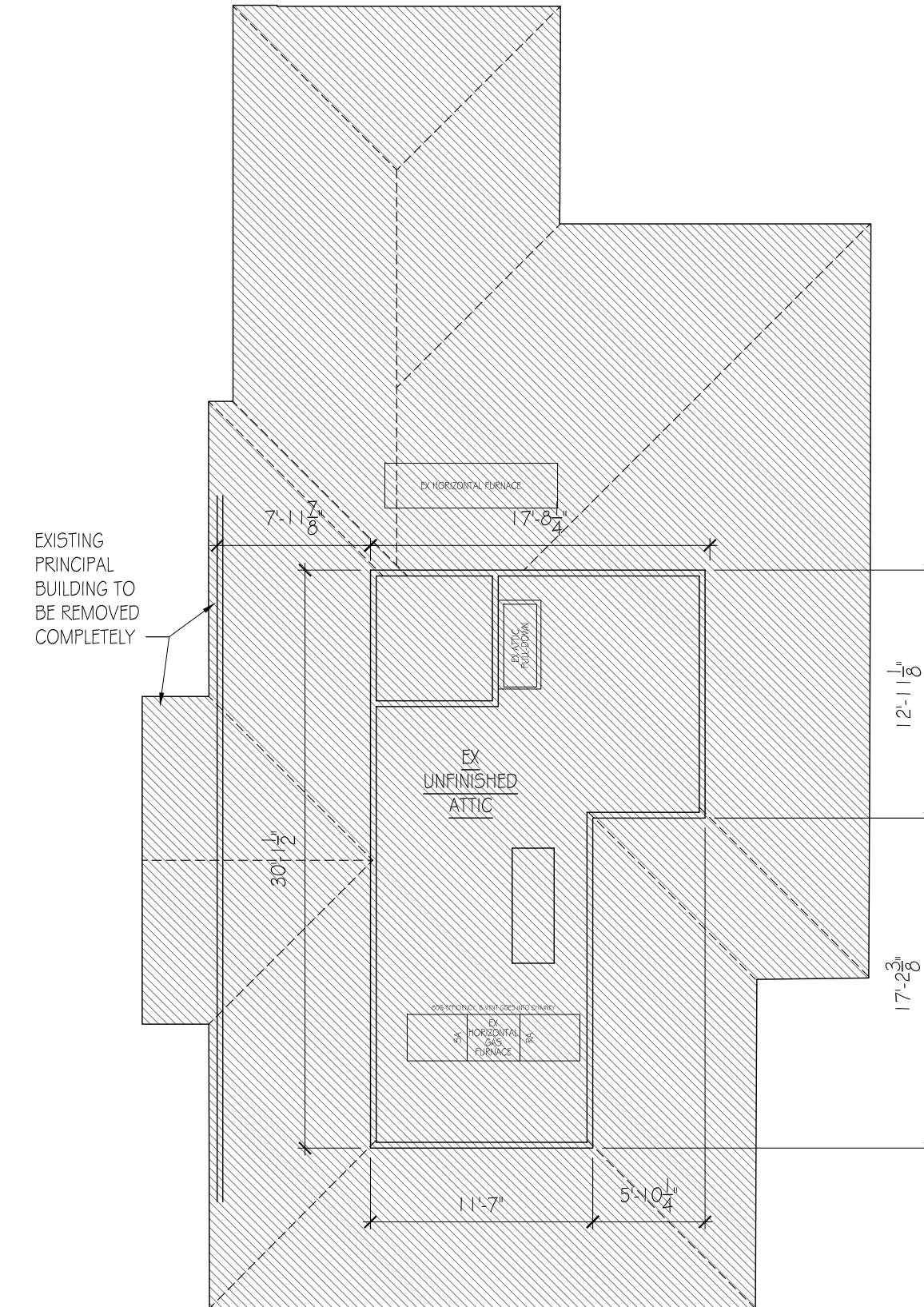
SCALE : 1/8"=1'-0"



EXISTING PRINCIPAL BUILDING TO BE REMOVED COMPLETELY

EXISTING ROOF PLAN

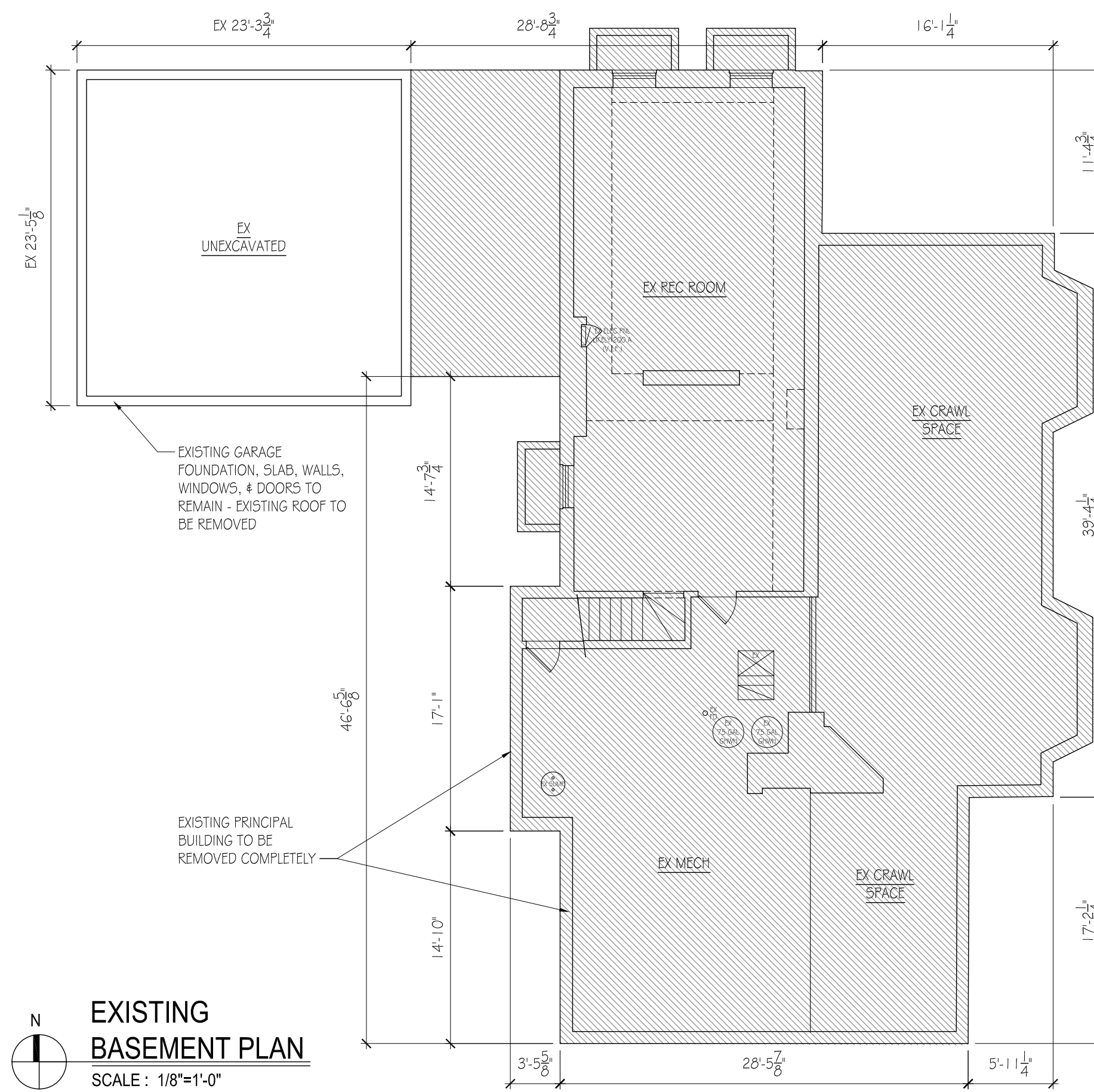
SCALE : 1/8"=1'-0"



EXISTING PRINCIPAL BUILDING TO BE REMOVED COMPLETELY

EXISTING ATTIC FLOOR PLAN

SCALE : 1/8"=1'-0"

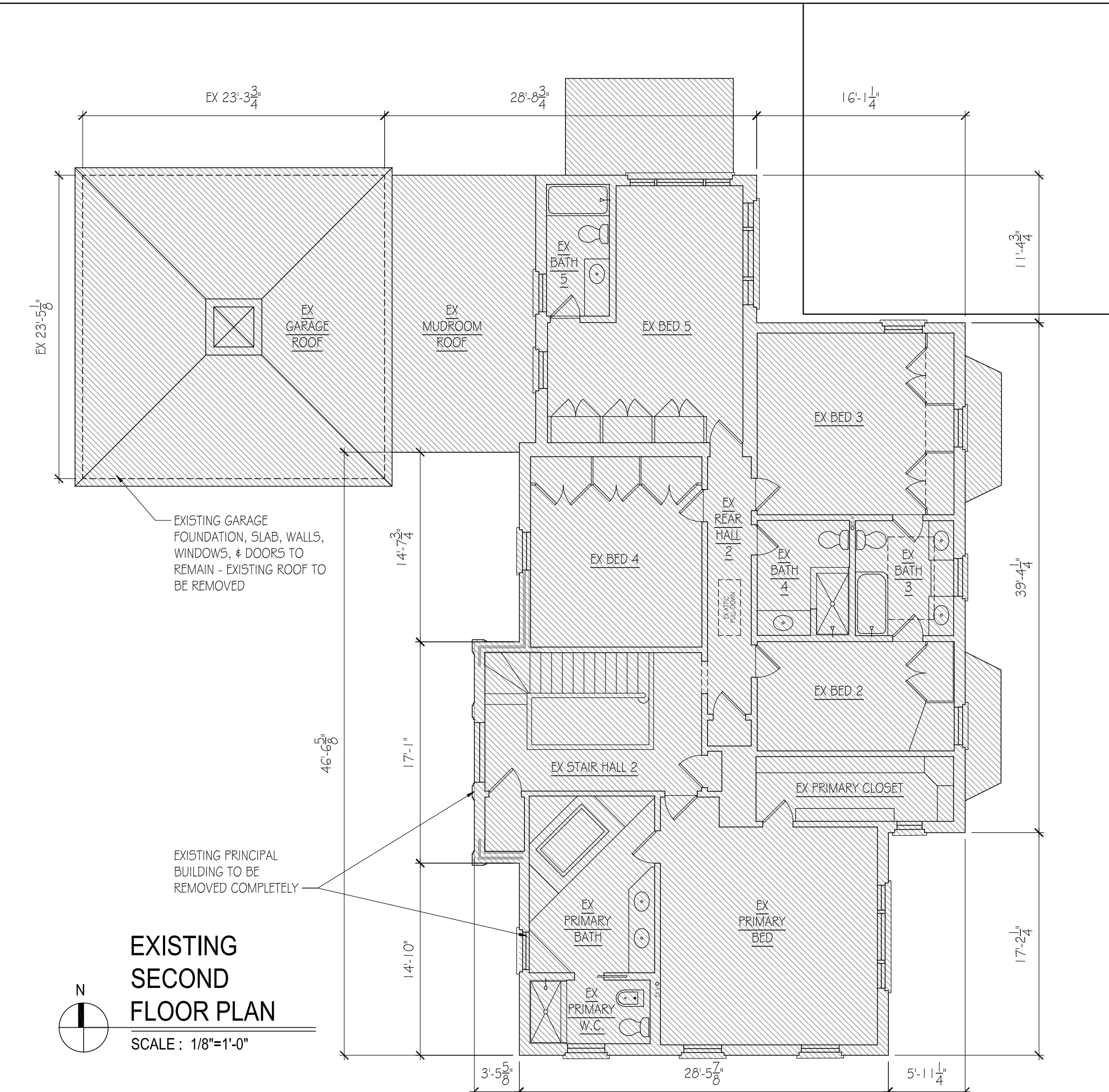


EXISTING GARAGE FOUNDATION, SLAB, WALLS, WINDOWS, & DOORS TO REMAIN - EXISTING ROOF TO BE REMOVED

EXISTING PRINCIPAL BUILDING TO BE REMOVED COMPLETELY

EXISTING BASEMENT PLAN

SCALE : 1/8"=1'-0"

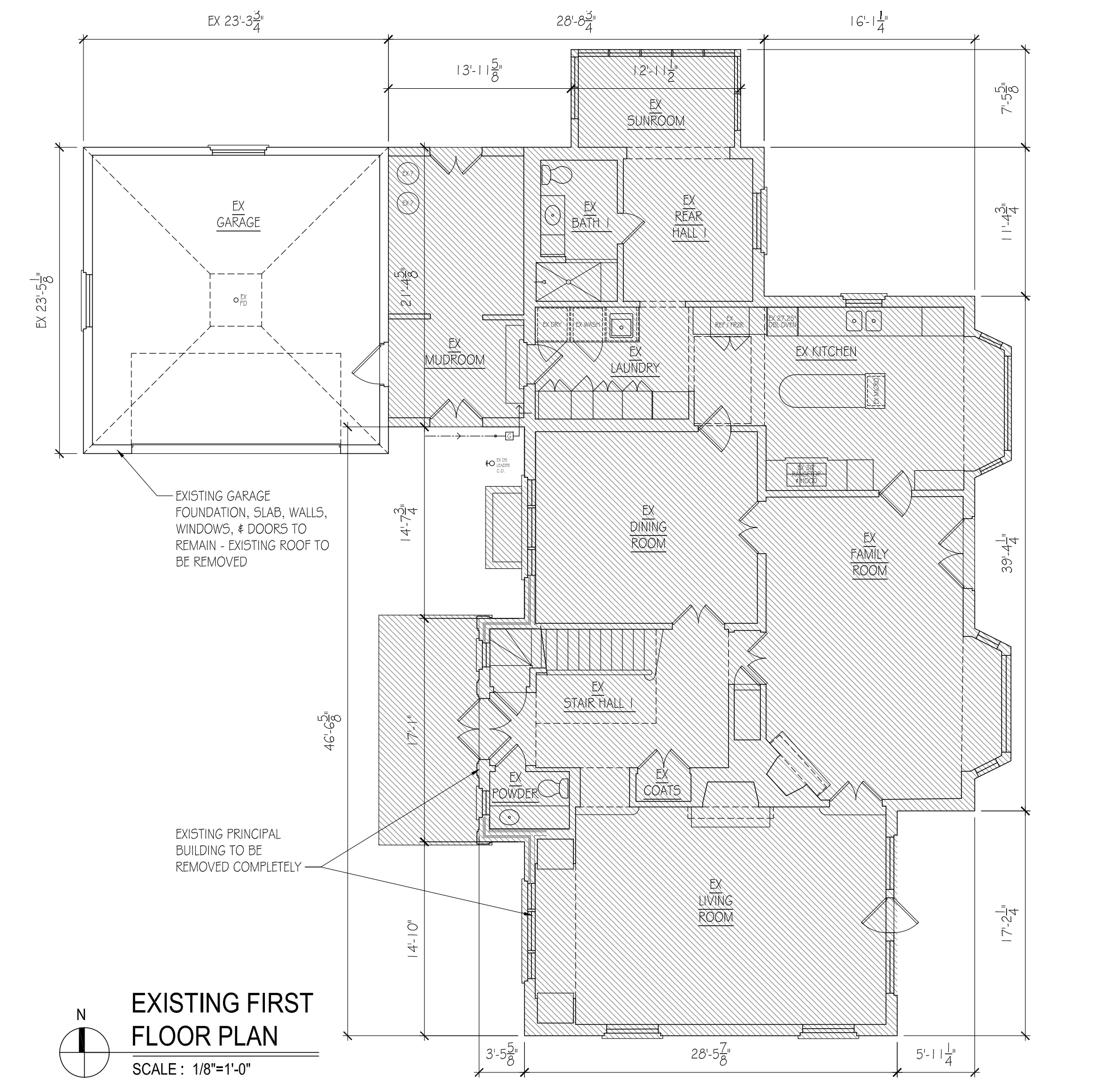


EXISTING GARAGE FOUNDATION, SLAB, WALLS, WINDOWS, & DOORS TO REMAIN - EXISTING ROOF TO BE REMOVED

EXISTING PRINCIPAL BUILDING TO BE REMOVED COMPLETELY

EXISTING SECOND FLOOR PLAN

SCALE : 1/8"=1'-0"



EXISTING GARAGE FOUNDATION, SLAB, WALLS, WINDOWS, & DOORS TO REMAIN - EXISTING ROOF TO BE REMOVED

EXISTING PRINCIPAL BUILDING TO BE REMOVED COMPLETELY

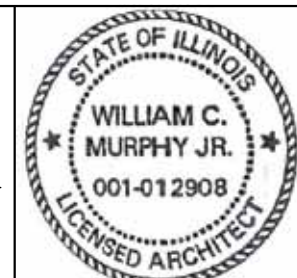
EXISTING FIRST FLOOR PLAN

SCALE : 1/8"=1'-0"

WILLIAM MURPHY
ARCHITECT, LTD.
c. 2024
410 South Michigan Avenue Suite 813
Chicago, Illinois 60605 T: 312.461.9442
WMURPHYARCH@MSN.COM

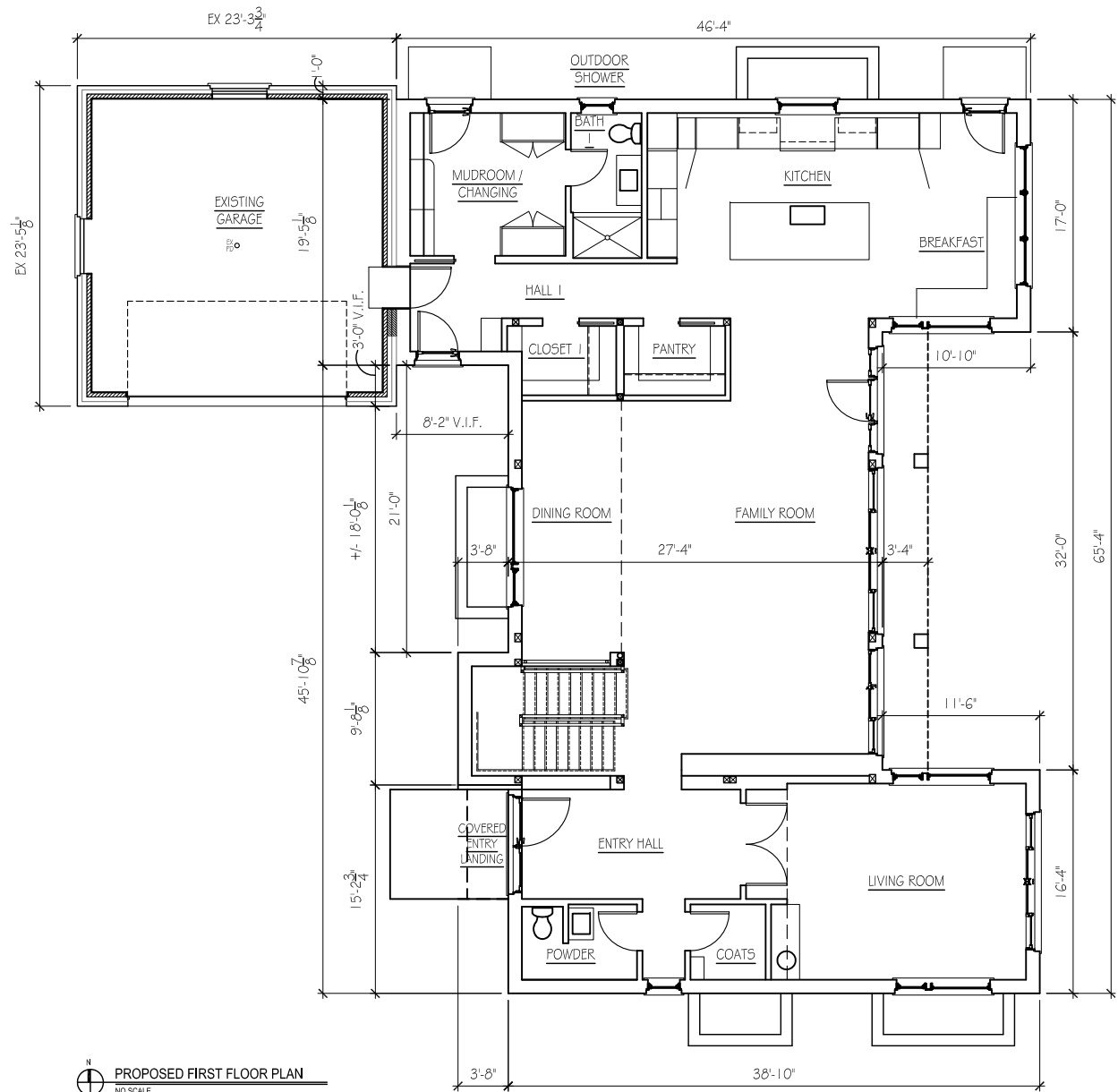
State of Illinois Professional
Design Firm Registration No.
184.006242-001
Expiration Date: 04.30.2025

William C. Murphy, Jr.
Illinois License No. 001-012908 Expiration Date: 11.30.2024
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY OR UNDER MY DIRECT
SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM
TO THE VILLAGE OF WINNETKA BUILDING AND ZONING CODE.



PRIVATE RESIDENCE REMODEL
473 Sheridan Road
Winnetka, Illinois 60093

PROJECT NUMBER	2023.11
EXISTING PLANS & EXTERIOR ELEVATIONS	A.4.0
SHEET NUMBER	
07.10.2024	ISSUE FOR ZONING VARIATION REVIEW



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WMURPHYARCH@MSN.COM

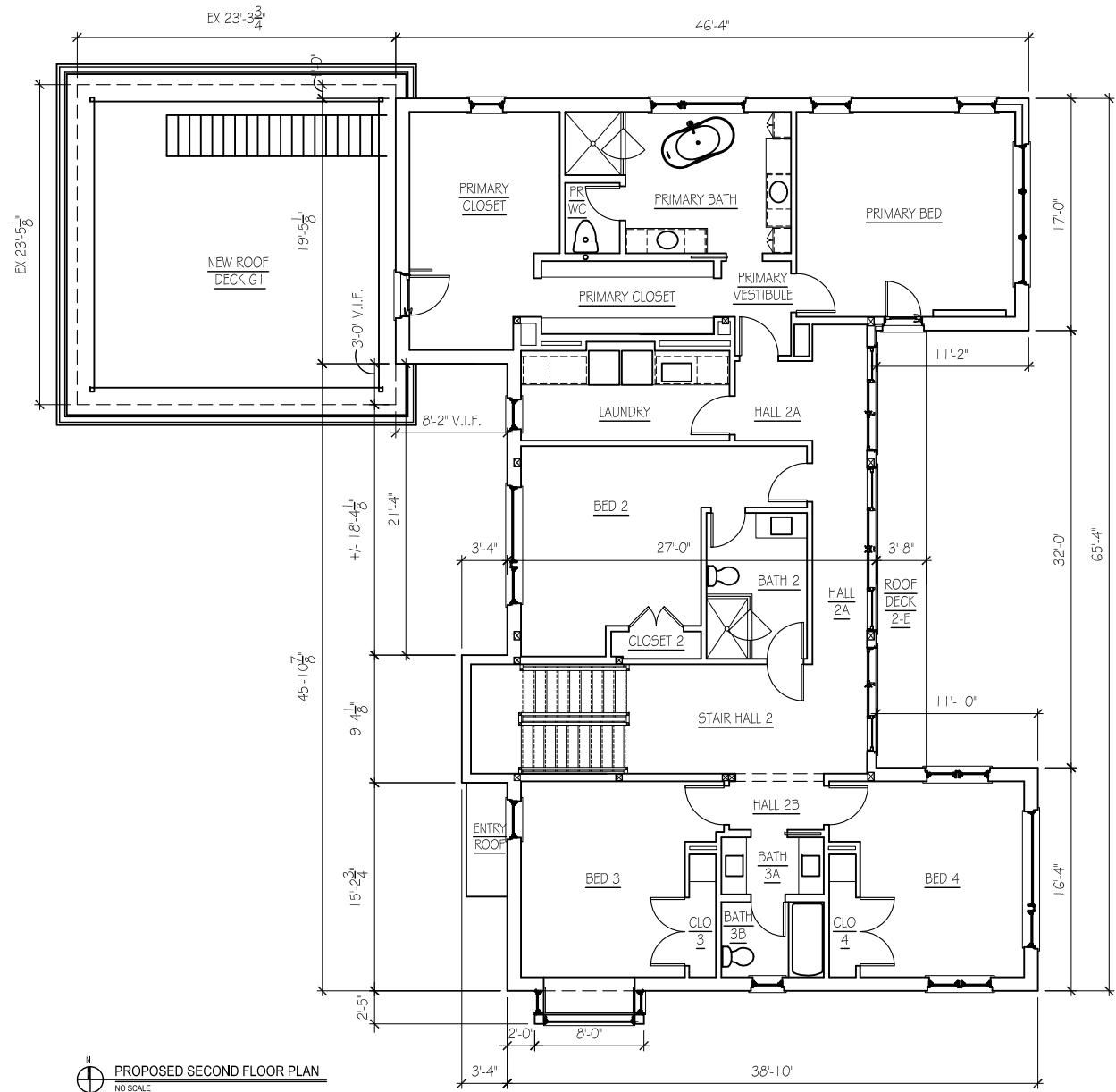
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TO THE REQUIREMENTS OF THE ILLINOIS BUILDING AND ZONING CODE.



PRIVATE RESIDENCE REMODEL
473 Sheridan Road
Winnetka, Illinois 60093

PROJECT NUMBER	2023.11
CONSTRUCTION PLANS	
SHEET NUMBER	A.4.2
07.10.2024	ISSUE FOR ZONING VARIATION REVIEW



N
PROPOSED SECOND FLOOR PLAN
NO SCALE

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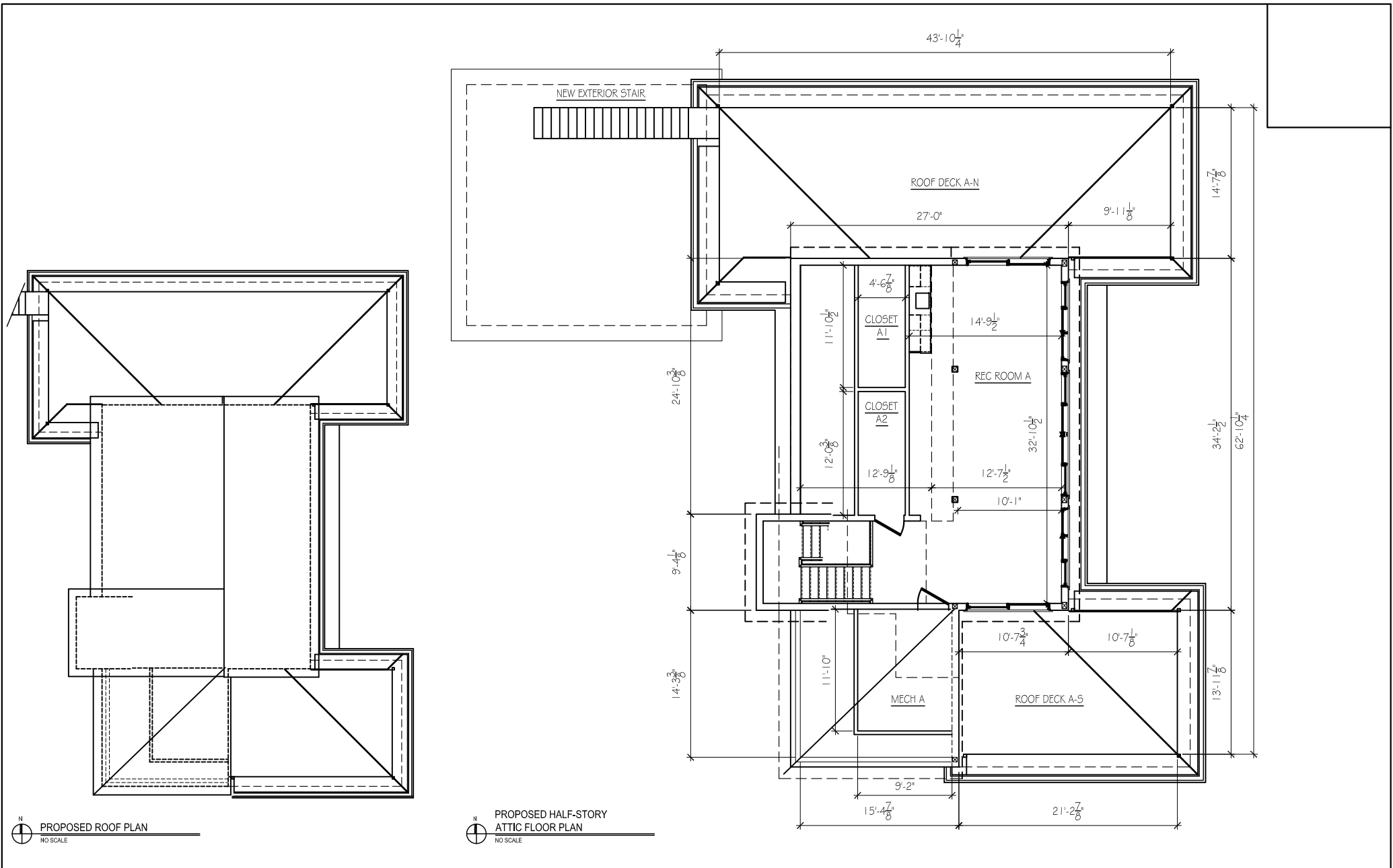
State of Illinois Professional
Design Firm Registration No.
184.006242-001
Expiration Date: 04.30.2025

WILLIAM C. MURPHY, JR.
Date: 07.10.2024
Illinois License No. 001-012908 Expiration Date: 11.30.2024
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PRIVATE RESIDENCE REMODEL
473 Sheridan Road
Winnetka, Illinois 60093

PROJECT NUMBER	2023.11
CONSTRUCTION PLANS	
A.4.3	
SHEET NUMBER	
07.10.2024	ISSUE FOR ZONING VARIATION REVIEW



WILLIAM MURPHY ARCHITECT, LTD. c. 2024 410 South Michigan Avenue Suite 913 Chicago, Illinois 60605 T: 312.461.9442 WMURPHYARCH@MSN.COM	State of Illinois Professional Design Firm Registration No. 184.006242-001 Expiration Date: 04.30.2025	 _____ William C. Murphy, Jr. Illinois License No. 001-012908 Expiration Date: 11.30.2024 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY CONFORM TO THE REQUIREMENTS OF THE ILLINOIS BUILDING AND ZONING CODE.		PRIVATE RESIDENCE REMODEL 473 Sheridan Road Winnetka, Illinois 60093	<table><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td>07.10.2024</td><td>ISSUE FOR ZONING VARIATION REVIEW</td></tr></table>											07.10.2024	ISSUE FOR ZONING VARIATION REVIEW	PROJECT NUMBER 2023.11 CONSTRUCTION PLANS A.4.4 SHEET NUMBER
07.10.2024	ISSUE FOR ZONING VARIATION REVIEW																	



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WILLIAM MURPHY
ARCHITECT, LTD.
c. 2024
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Chicago, Illinois 60605 T: 312.461.9442
WMURPHYARCH@MSN.COM

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Design Firm Registration No.
184.006242-001
Expiration Date: 04.30.2025


William C. Murphy, Jr.
Date 07.10.2024
Illinois License No. 001-012908 Expiration Date: 11.30.2024
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY OR UNDER MY DIRECT
SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM
TO THE VILLAGE OF WINNETKA BUILDING AND ZONING CODE.

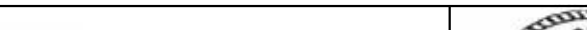
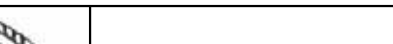


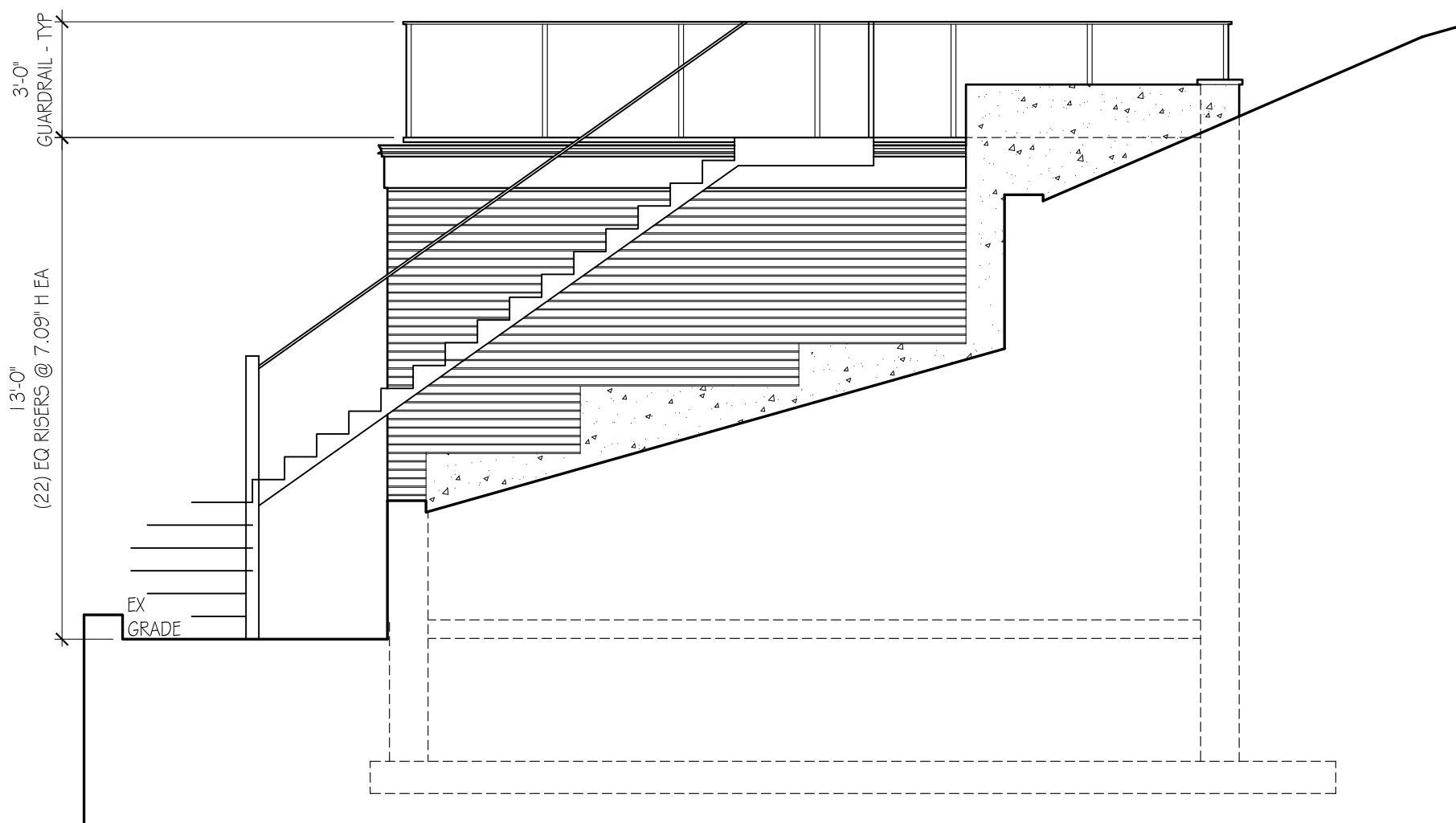
PRIVATE RESIDENCE REMODEL
473 Sheridan Road
Winnetka, Illinois 60093

07.10.2024	ISSUE FOR ZONING VARIATION REVIEW

PROJECT NUMBER 2023.11
EXTERIOR ELEVATIONS
A.5.1
SHEET NUMBER



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									EXTERIOR ELEVATIONS
									A.5.2
						07.10.2024	ISSUE FOR ZONING VARIATION REVIEW	SHEET NUMBER	



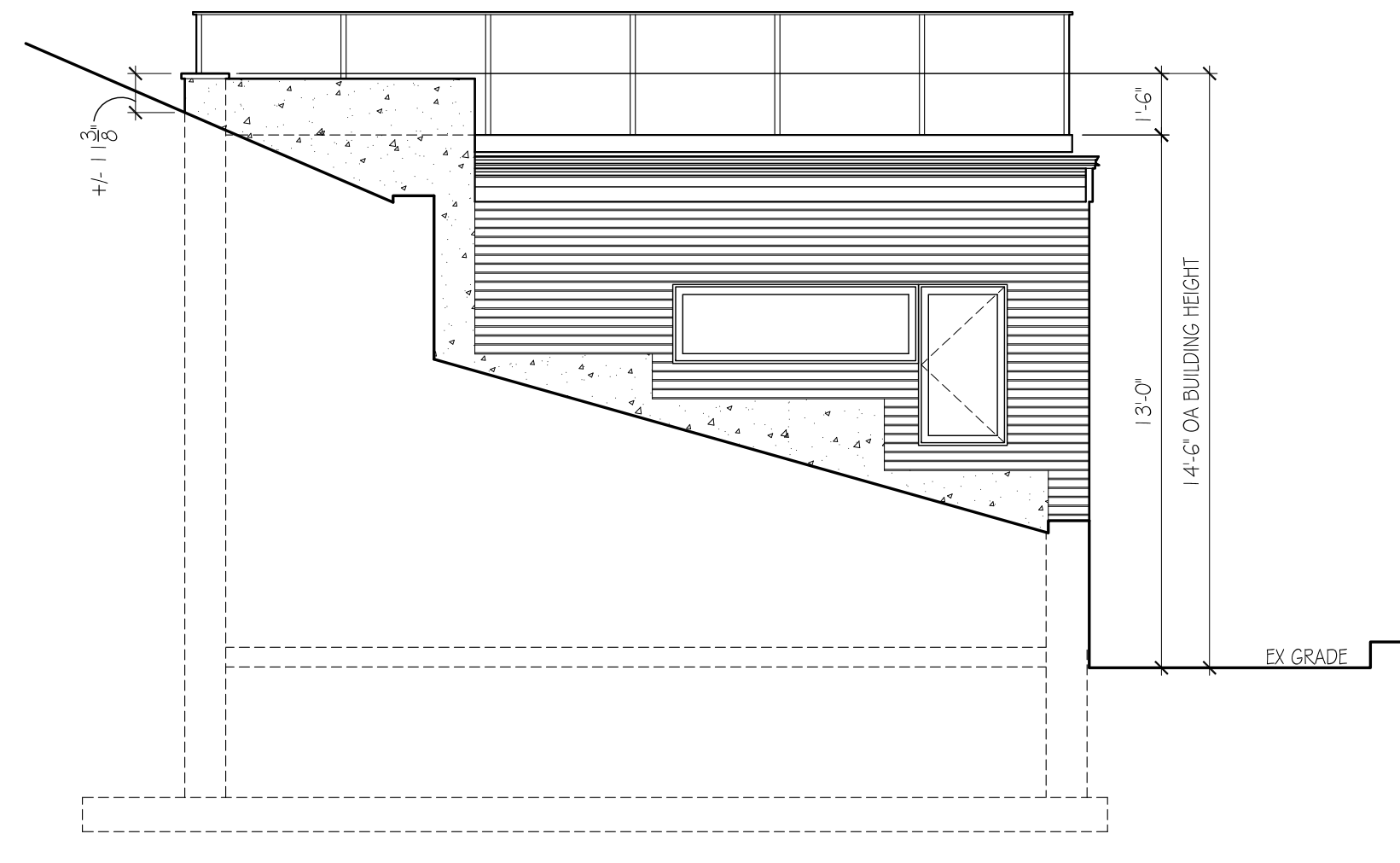
PROPOSED NORTH ELEVATION

SCALE : 1/4" = 1'-0"



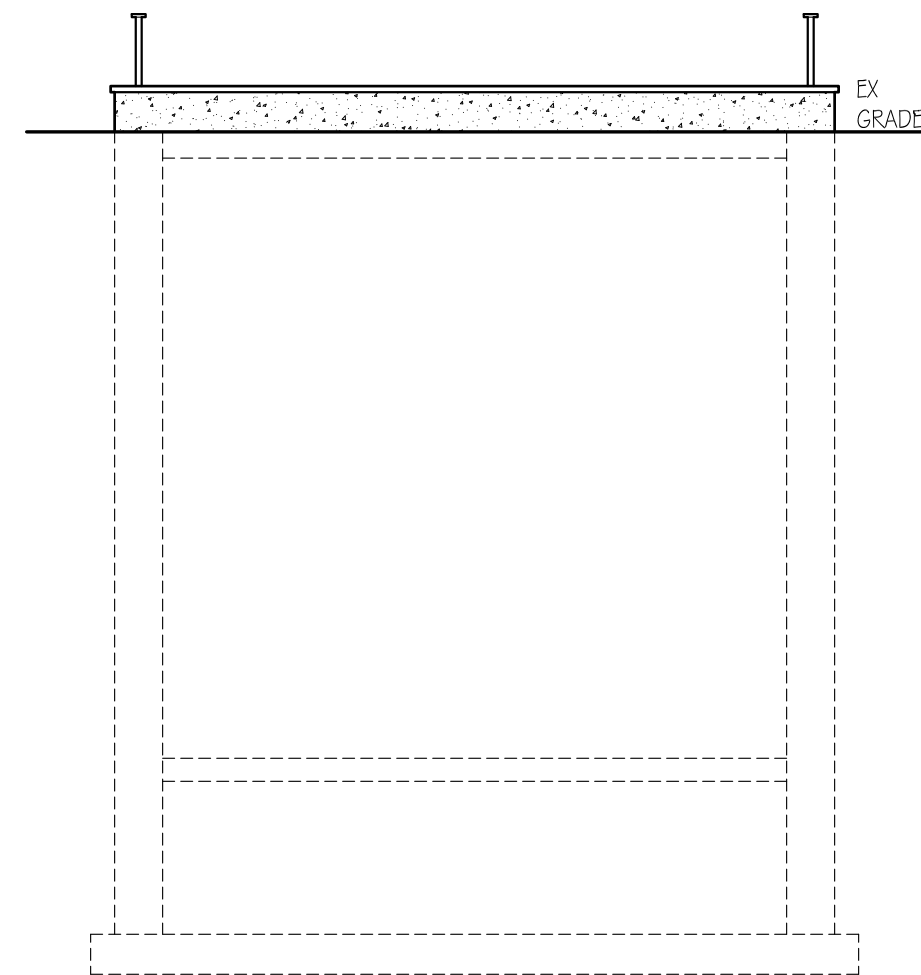
PROPOSED EAST ELEVATION

SCALE : 1/4" = 1'-0"



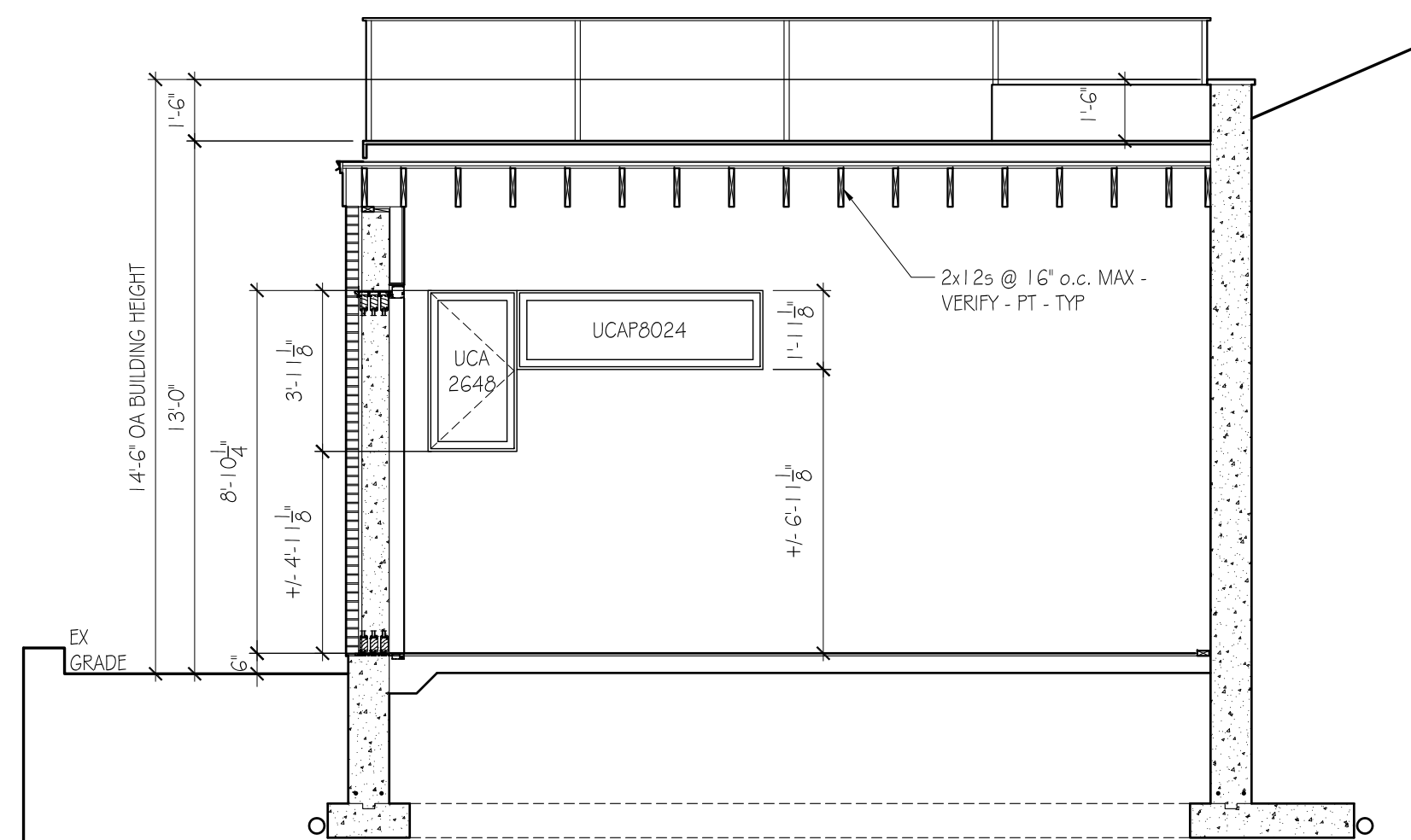
PROPOSED SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



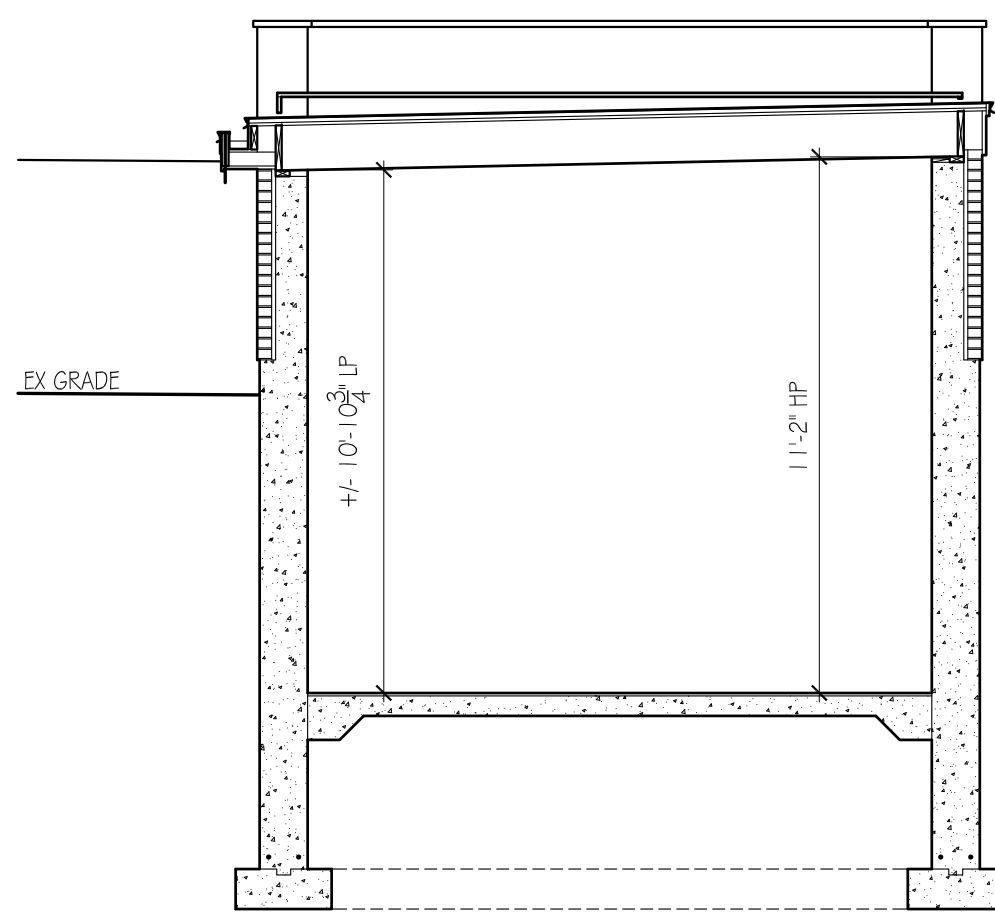
PROPOSED WEST ELEVATION

SCALE : 1/4" = 1'-0"



1 BUILDING SECTION LOOKING SOUTH

SCALE : 1/4" = 1'-0"



2 BUILDING SECTION LOOKING WEST

SCALE : 1/4" = 1'-0"

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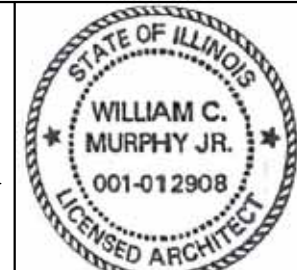
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184.006242-001

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William C. Murphy, Jr.

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TO THE VILLAGE OF WINNETKA BUILDING AND ZONING CODE.



PRIVATE RESIDENCE REMODEL
473 Sheridan Road
Winnetka, Illinois 60093

07.19.2024 REVISED FOR
ZONING VARIATION
APPLICATION

PROJECT NUMBER	2023.11
BOAT HOUSE - EXTERIOR ELEVATIONS & SECTIONS	A.5.3
SHEET NUMBER	
07.10.2024	ISSUE FOR ZONING VARIATION REVIEW



IGLD85 to NAVD88 CONVERSION = +0.53'
IGLD85 ORDINARY LAKE LEVEL = 581.5'
NAVD88 CONVERTED LAKE LEVEL = 582.03'

LOT AREA TO ORDINARY HIGH WATER MARK (OHWM): 21,242 SQ.FT.

STEEP SLOPE EXHIBIT

1. TOPOGRAPHY PREPARED BY IG CONSULTING INC.,
300 MARQUARDT DRIVE, WHEELING, ILLINOIS, (847) 215-1133 JOB#23925

REVISIONS	
DATE	DESCRIPTION

IG CONSULTING, INC.
CONSULTING CIVIL ENGINEERS, PLANNERS & LAND SURVEYORS
300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 FAX (847) 215-1177
1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 L. ig@igconsulting.net

DESIGN: K.C.L.
DRAFTING: A.W.
DATE: 07/18/24

SCALE: 1"=10'

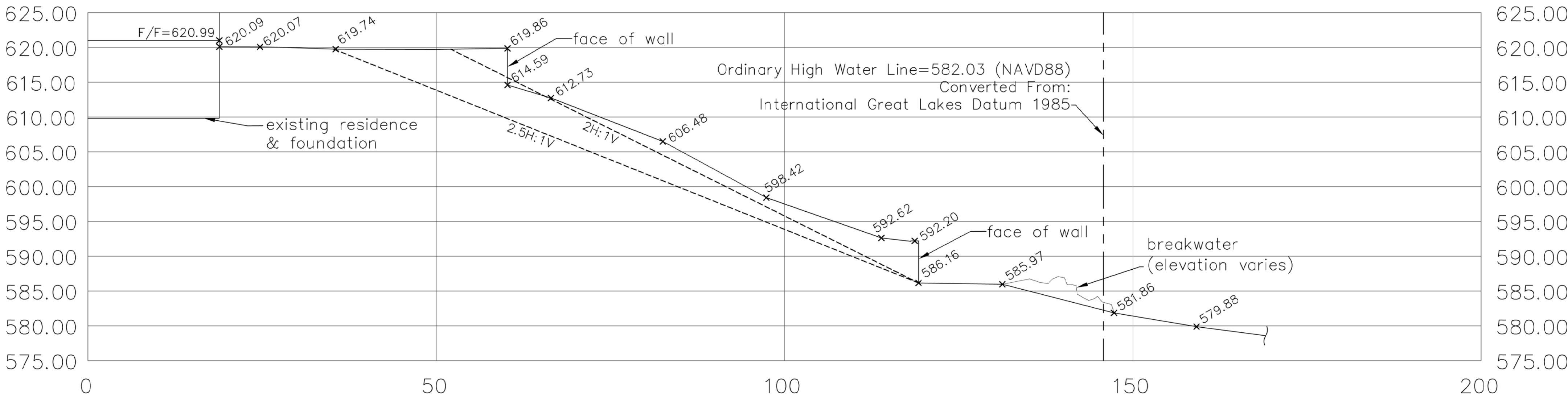
STEEP SLOPE EXHIBIT

RESIDENCE
473 SHERIDAN ROAD
WINNETKA, ILLINOIS

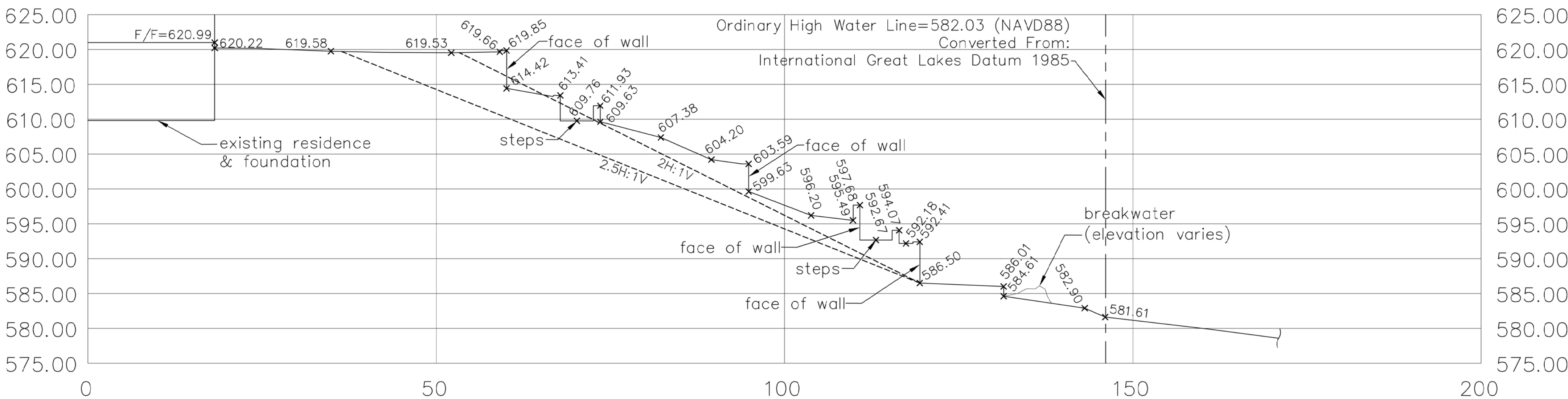
PROJECT No.
23925

1 of 3

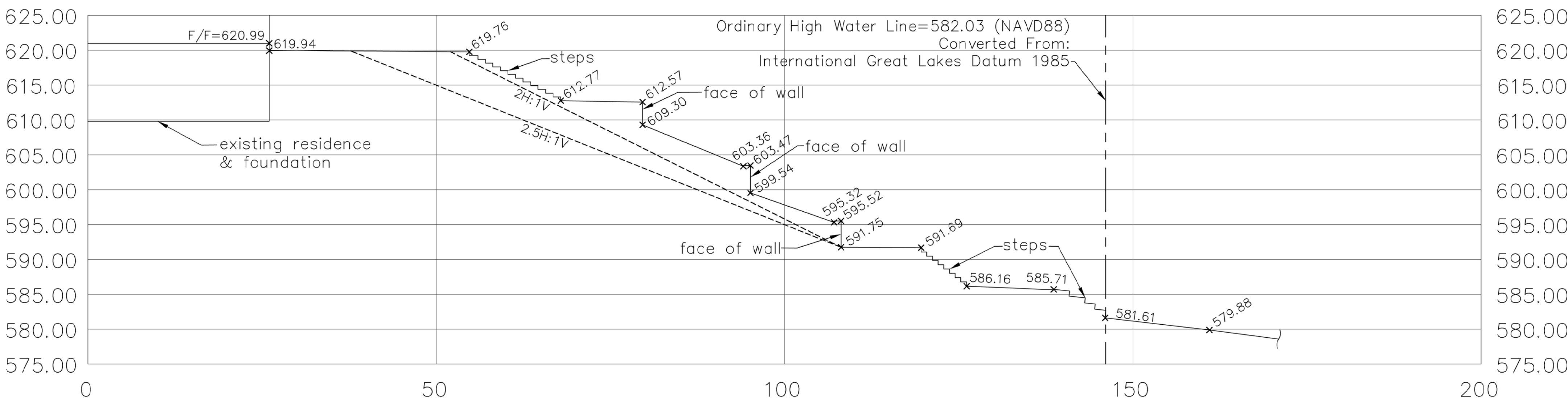
CROSS SECTION A-A SCALE: 1"=10'



CROSS SECTION B-B SCALE: 1"=10'



CROSS SECTION C-C SCALE: 1"=10'



REVISIONS	
DATE	DESCRIPTION

IG CONSULTING, INC.
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1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 L.ig@igconsulting.net

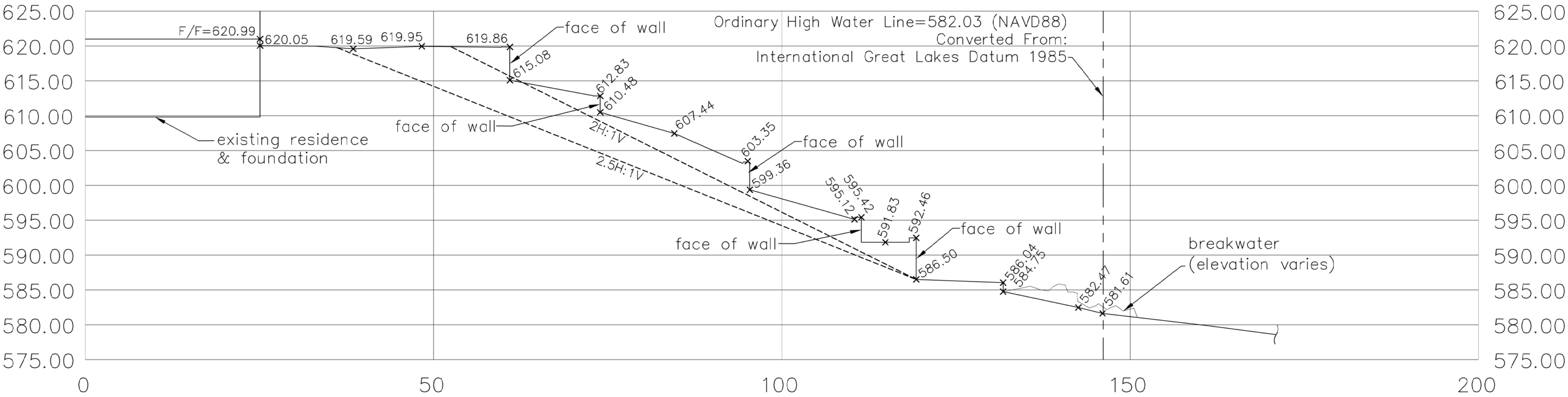
CROSS SECTIONS
DESIGN: K.C.L.
SCALE: 1"=10'
DATE: 07/18/24

RESIDENCE
473 SHERIDAN ROAD
WINNETKA, ILLINOIS

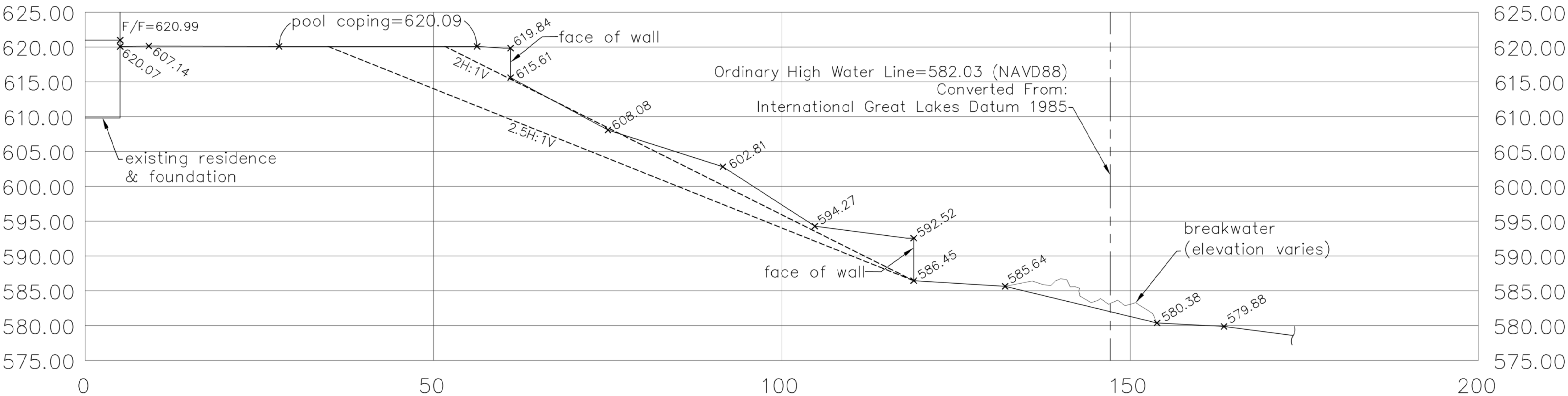
PROJECT No.
23925

2 of 3

CROSS SECTION D-D SCALE: 1"=10'



CROSS SECTION E-E SCALE: 1"=10'



REVISIONS	
DATE	DESCRIPTION

ig CONSULTING, INC.
CONSULTING CIVIL ENGINEERS, PLANNERS & LAND SURVEYORS
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1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 L.ig@igconsulting.net

CROSS SECTIONS
DESIGN: K.C.L.
SCALE: 1"=10'
DATE: 07/18/24

RESIDENCE
473 SHERIDAN ROAD
WINNETKA, ILLINOIS

PROJECT No.
23925

3 of 3