



Village of Winnetka

Zoning Administrator Meeting

August 15, 2024 at 4:00 PM
Winnetka Police Department
410 Green Bay Road
Police Department Classroom

AGENDA

1. **Call to Order & Roll Call**
2. **Public Comments**
3. **New Applications**
 - a. **Case No. 24-18-ZA - 635 Rosewood Avenue**: An application seeking approval of a zoning variation to exceed the maximum permitted width of a front-facing attached garage of 22 feet by building a garage addition that is 27.27 feet in width along the street frontage of Rosewood Avenue. The Zoning Administrator has final jurisdiction on this request.
4. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a public hearing will be held by the Winnetka Zoning Administrator on **THURSDAY, AUGUST 15, 2024, AT 4:00 PM** in the **Police Department Classroom** of the **Winnetka Police Department Building at 410 Green Bay Road**, Winnetka, Illinois for the purpose of considering the following:

CASE NO. 24-18-ZA 635 ROSEWOOD – GARAGE

An application submitted by William Murphy (the “Applicant”), on behalf of Sarah Murphy (the “Property Owner”) for the property located at 635 Rosewood Avenue (the “Subject Property”) **to allow a building addition on the Subject Property**. The Applicant has filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to exceed the maximum permitted width of a front-facing attached garage of 22 feet by building a garage addition that is 27.27 feet in width along the street frontage of Rosewood Avenue.

The Subject Property (Parcel Index Number 05-17-316-007-0000) is generally located on the northeast corner of the intersection of Rosewood Avenue and Pine Street and is zoned R-4 Single Family Residential. The Subject Property contains an existing two-story residence with an attached garage.

PUBLIC COMMENT & APPLICATION INFORMATION

At said public hearing and at any adjournment thereof, all persons interested are invited to attend and be heard. The agenda and materials for the meeting will be posted on the Village’s website - www.villageofwinnetka.org/agendas no later than Friday, August 9, 2024. Persons seeking additional information concerning this application are directed to email inquiries to planning@winnetka.org or by calling 847-716-3587.

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of two ways:

- 1) By sending **an email** to planning@winnetka.org; or
- 2) By sending **a letter** to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093.

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VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. _____

Property Information

Site Address: 635 Rosewood Ave.

Owner Information

Name: Sarah R. Murphy

Primary Contact: _____

Address: _____

Phone No. _____

City, State, ZIP: Winnetka, IL, 60093

Email: _____

Date property acquired by owner: 06/05/2017

Architect Information

Attorney Information

Name: William Murphy

Name: _____

Primary Contact: _____

Primary Contact: _____

Address: _____

Address: _____

City, State, ZIP: Kenilworth, IL, 60043

City, State, Zip: _____

Phone No. _____

Phone No. _____

Email: _____

Email: _____

Nature of any restrictions on property: _____

Brief explanation of variation(s) requested (attach separate sheet providing additional details): _____

We are seeking relief for a front-facing garage to be more than 22' wide.

The proposed garage measures approximately 27'-6" wide, so we are requesting a variance of 5'-6".

Property Owner Signature: _____

Date: 7/22/2024

July 15, 2024

Village of Winnetka
510 Green Bay Road
Winnetka, IL 60093

RE: 635 Rosewood Ave – Variation Application

Standards for Granting Zoning Variation

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulation in that zone.

635 Rosewood is a single-family residence that was built back in 1921, and the current owners purchased it in 2017. It has been remodeled and added to over the years, but the garage still occupies its original footprint. The garage is too small to adequately fit two cars as well as family equipment such as bikes, gardening tools, sports equipment, etc. The owners have had to park one of their cars out on the driveway for the past 7 years in order to make the space work.

For a house of this scale on a half acre lot, the size of the garage is a real detriment to the house. The owners are proposing a very sympathetic remodel/addition that works with the house's existing massing, but actually improves the amount of garage space. It will allow them to park both cars inside the garage at the same time, and provide space for additional storage. In doing this, they are also reducing the scale of the garage doors facing Rosewood Ave. and going from a single 17'-0" door to (2) 9'-0" wide doors.

2. The plight of the Owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question rather than being related to the occupants.

The Owners are working with the footprint and layout of the existing house, garage and driveway to try and improve the house and make it more suited for day to day family life. The only way in which they could adjust the garage layout and stay within the restrictions of the zoning code would be to move the garage doors to the north elevation, facing the rear lot line. However, this simply isn't a feasible solution due to the existing grade change across the site. The ground level rises significantly as you reach the northern edge of the property. In order to redirect vehicles to garage doors on the north elevation, it would require building large retaining walls and significantly altering existing grade. This would create significant changes to the drainage patterns across this side of the site, and as such is not a viable option.

3. The variation, if granted, will not alter the essential character of the locality.

To the contrary, the proposal goes to great lengths to work with the existing character and massing of the house. It also improves the streetscape by eliminating the existing double garage door and replacing it with (2) single garage doors. All of this either reinforces or improves the house's existing charm and character.

The proposed improvements will also allow the owners to store both of their cars inside their garage, eliminating the need to park one of their cars out in front of the house day to day.

4. An adequate supply of light and air to the adjacent property will not be impaired.

Konstant □ Architecture □ Planning

5300 Golf Road, Skokie, IL 60077 847-967-6115

This will have no impact on the adjacent properties to the north or east. The addition projects just 7'-7" further to the north, which is still more than double the required 25'-0" rear yard setback.

5. *The hazard from fire and other damages to the property will not be increased.*

The hazard from fire and other damages to the property will not be increased because of the proposed improvements. The proposed new construction and materials meet and exceed local building codes.

6. *The taxable value of the land and building throughout the Village will not diminish.*

The variation will not affect the taxable value of the land and buildings throughout the Village.

7. *The congestion to the public street will not increase.*

The congestion to the public street will not increase in any way, because the use is not changing. It is remaining a single-family residence.

8. *The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.*

None of these factors will be affected by the proposed variation.

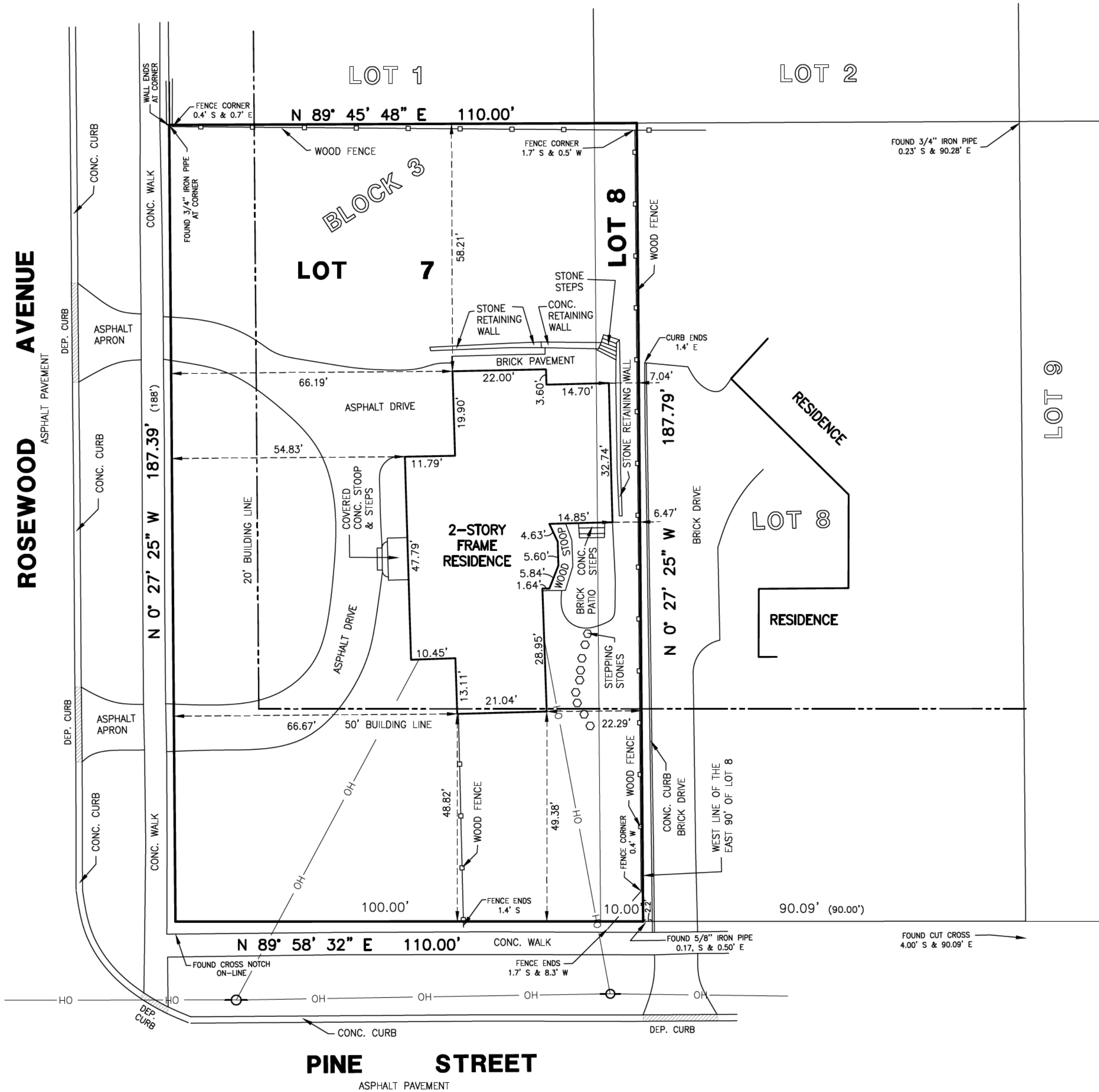
Please feel free to reach out if you have any questions or require any additional information to review the requested variation.

Best,

William Murphy
Architect

PLAT OF SURVEY

LOT 7 AND LOT 8 (EXCEPT THE EAST 90 FEET) IN BLOCK 3 IN WINNETKA HEIGHTS, BEING A SUBDIVISION OF THAT PART OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF AND ADJOINING THE EAST LINE AND THE EAST LINE EXTENDED OF ROSEWOOD AVE. (FORMERLY OAKRIDGE AVE.) IN COOK COUNTY, ILLINOIS.



SURVEYORS NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BUILDING TIES SHOWN HEREON ARE MEASURED TO THE OUTSIDE FACE OF FINISHED CONCRETE FOUNDATION.
3. () DENOTES RECORD DIMENSION.
4. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
5. ORIGINAL CLIENT— KONSTANT ARCHITECTURE — PLANNING INC.
6. ORIGINAL FIELD WORK COMPLETED— 01-29-24

GENERAL NOTES:

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
3. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
4. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

LEGEND

- O— POWER POLE
- OH— OVERHEAD LINES

AREA

20,634 Sq. Ft. OR 0.47 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 1ST. DAY OF FEBRUARY, A.D., 2024

Joseph R. Sadoski
JOSEPH R. SADOSKI

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-24.



DATE	REVISIONS	BY
XX-XX-XX	XXXXX	JS

DESIGNED BY: AN DATE: 01-30-24
CHECKED BY: JRS DATE: 02-01-24



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
PHONE: 847-634-3883 E-MAIL: 231@GREENGARDINC.COM
FAX: 847-634-0687 ILL. REGISTRATION NO. 184-000995

SCALE: 1"=20'
DRAWING No. 70001
SHEET 1 OF 1

635 ROSEWOOD AVENUE - WINNETKA, ILLINOIS

PLAT OF SURVEY

An Addition / Renovation for 635 Rosewood Ave. Winnetka, IL

Bid/Permit
2024.05.09
Rev. 1
2024.07.15

DRAWING CONTENTS:

△ A 0.0 Cover Page & Site Plan

Plat of Survey
Prepared by: Greengard Inc.
License #: 3316

Civil Drawings:
Prepared by: Greengard Inc.
Contact info: Doug White P:847.634.3883
License #: 062-060069

1 of 3 Existing Topography
2 of 3 Tree Preservation Plan
3 of 3 Grading Plan

Architectural Drawings:
Prepared by: William Murphy
P: 847.420.1535
License #: 001.024932

△ D 1.0 Demolition Plan
△ A 1.0 First Floor Plan, Foundation Plan, Roof Plan
△ A 2.0 Existing & Proposed West Elevation
△ A 2.1 Existing & Proposed North Elevation, Door & Window Schedules
△ E1.0 First Floor MEP Plan

Structural Drawings:

Prepared by: Goodfriend Magruder Structure, LLC
Contact info: Bob Magruder P:312.265.2645
License #: 081-006128

S 0.0 General Notes
S 1.0 Foundation Plan
S 1.1 First Floor Framing Plan
S 1.2 Second & Roof Framing Plans
S 2.0 Building Sections
S 3.0 Typical Details

CONTRACTOR NOTES:

SITE NOTES:

91. The Contractor shall immediately remove surplus excavated soil from the site upon excavation. Any and all soil needed to be retained for back fill shall be temporarily stored in stockpile areas as indicated on the plans.

92. Contractor shall provide temporary tree protection fence as shown on plans and/or as required to control limits of construction.

93. The Contractor shall provide a 6'-0" high chain link fence with locking gates as per the International Residential Code. The fence shall be installed around the entire perimeter of the site prior to the start of demolition work and remain in place until finished grading and landscaping begins. The gate shall be closed and locked when construction personnel are not on site.

BUILDING CODES:

2015 International Building Codes
2015 International Residential Code for One and Two-Family Dwellings w/ appendix F (radon control) + appendix U (solar ready rooftop).
2015 International Property Maintenance Code
2021 International Energy Conservation Codes w/ Illinois Amendments
2014 National Electric Code, NFPA 70
2014 State of Illinois Plumbing Code
2015 International Mechanical Codes
Radon Resistant Construction Act 420 ILCS 52
2015 International Fire Codes
2015 NFPA Life Safety Codes
2016 NFPA Publications 13, 13R, 13D, 72
Village of Winnetka Building Codes - April 26, 2011
Amendments to the International Codes dated August 1, 2019

GENERAL NOTES: BIDDERS

A. The Bidders shall thoroughly examine all drawings and specifications as required to have an understanding of the proposed project's scope of work.

B. The Bidders shall visit and examine the project site and make all necessary investigations required to inform themselves fully as to all conditions and difficulties that may be encountered in the complete execution of all work in accordance with the contract documents (drawings and specifications).

C. The General Contractor shall layout the proposed work and be responsible for all lines, elevations and measurements. The General Contractor shall exercise proper precautions to verify property lines and setback lines when the proposed work abuts property lines and minimum yard setbacks.

D. The General Contractor shall field verify all dimensions before and during construction and notify the Architect of all discrepancies.

E. The General Contractor shall be responsible for locating any/all underground utilities prior to the start of excavation and make good all items damaged during construction.

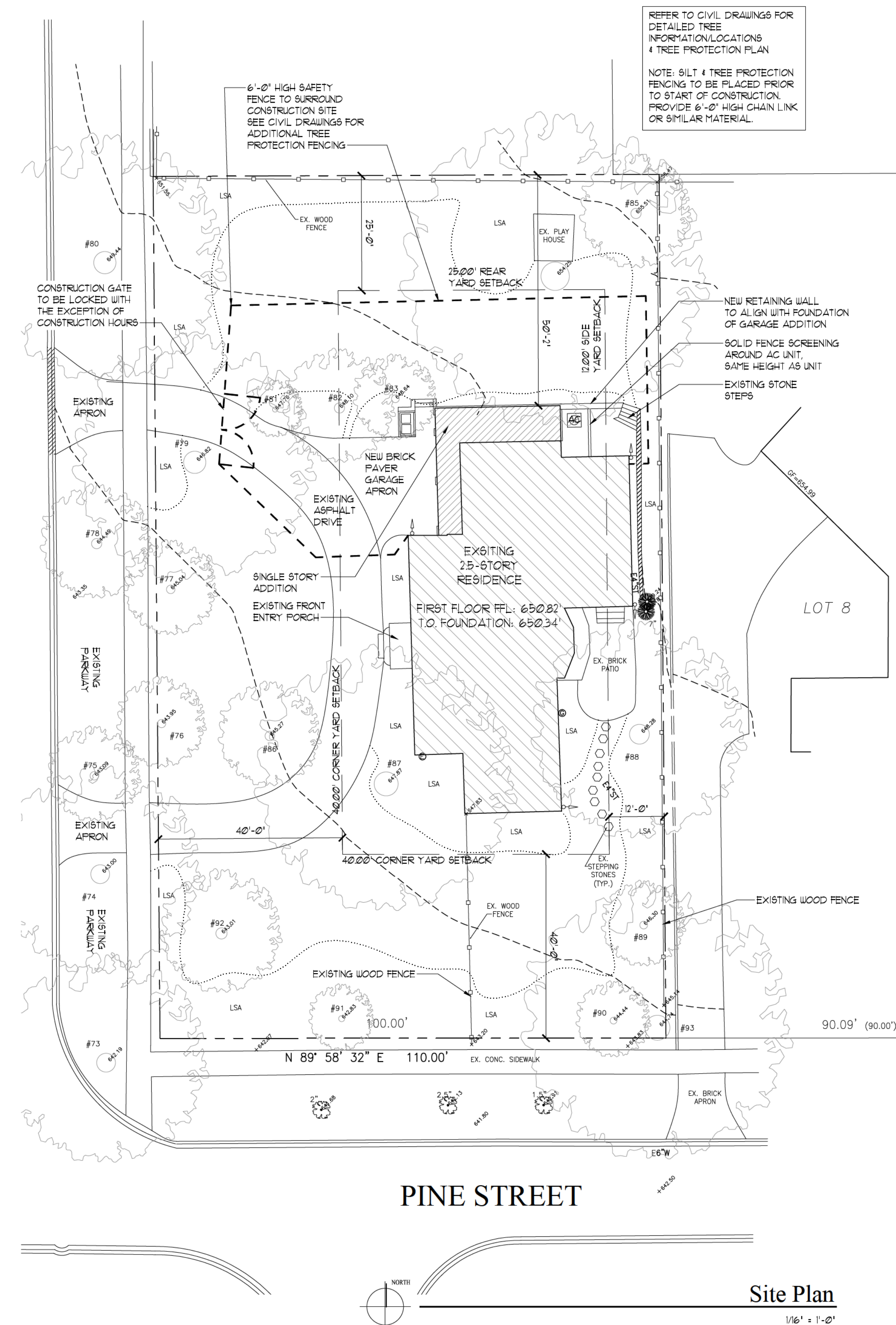
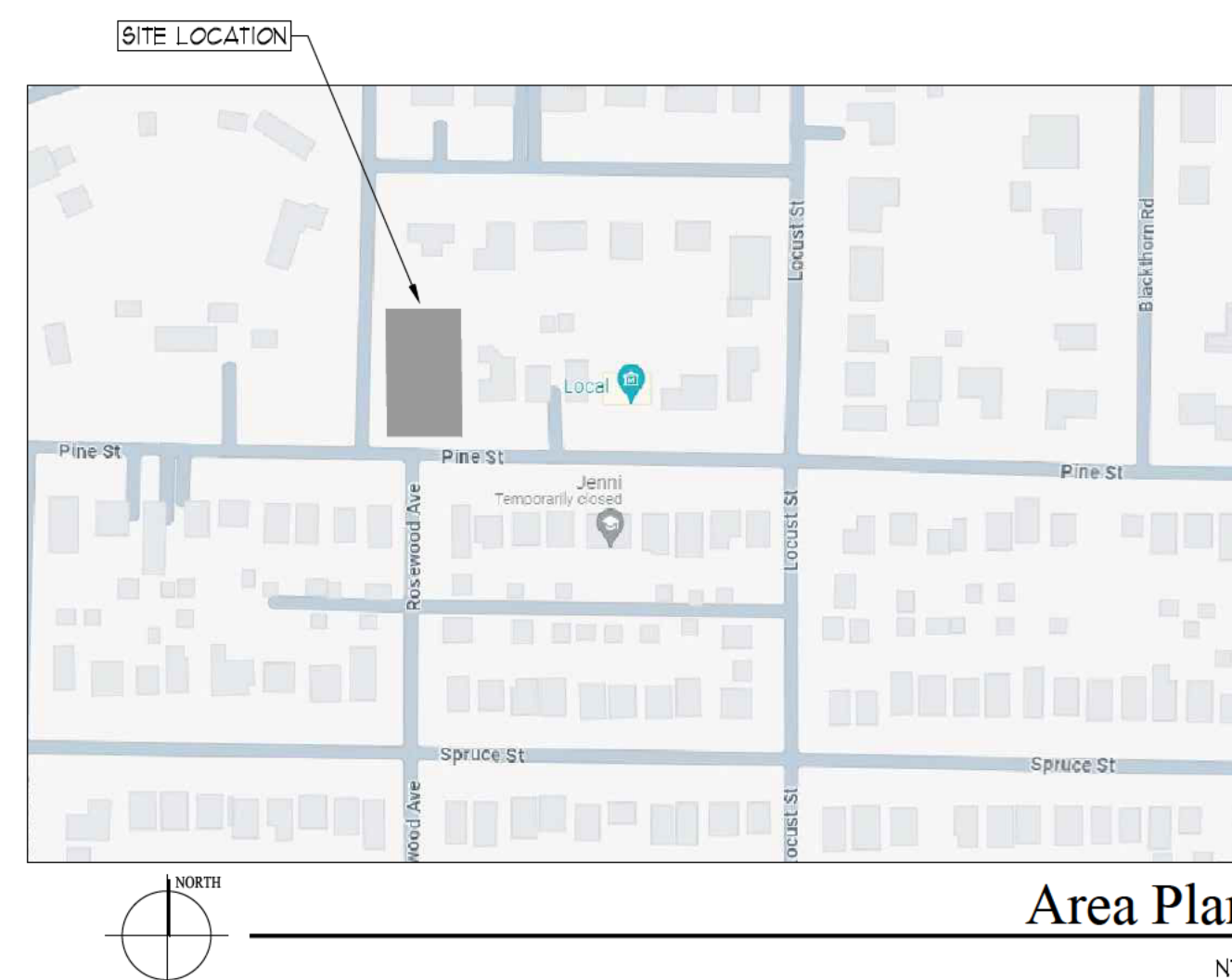
F. The Contractor shall provide temporary tree protection fences as required to control the limits of construction.

SITE DATA:

620 Spruce Street, Winnetka, IL
Zoning District: R-3
Certified Lot Area: 20,634 S.F.

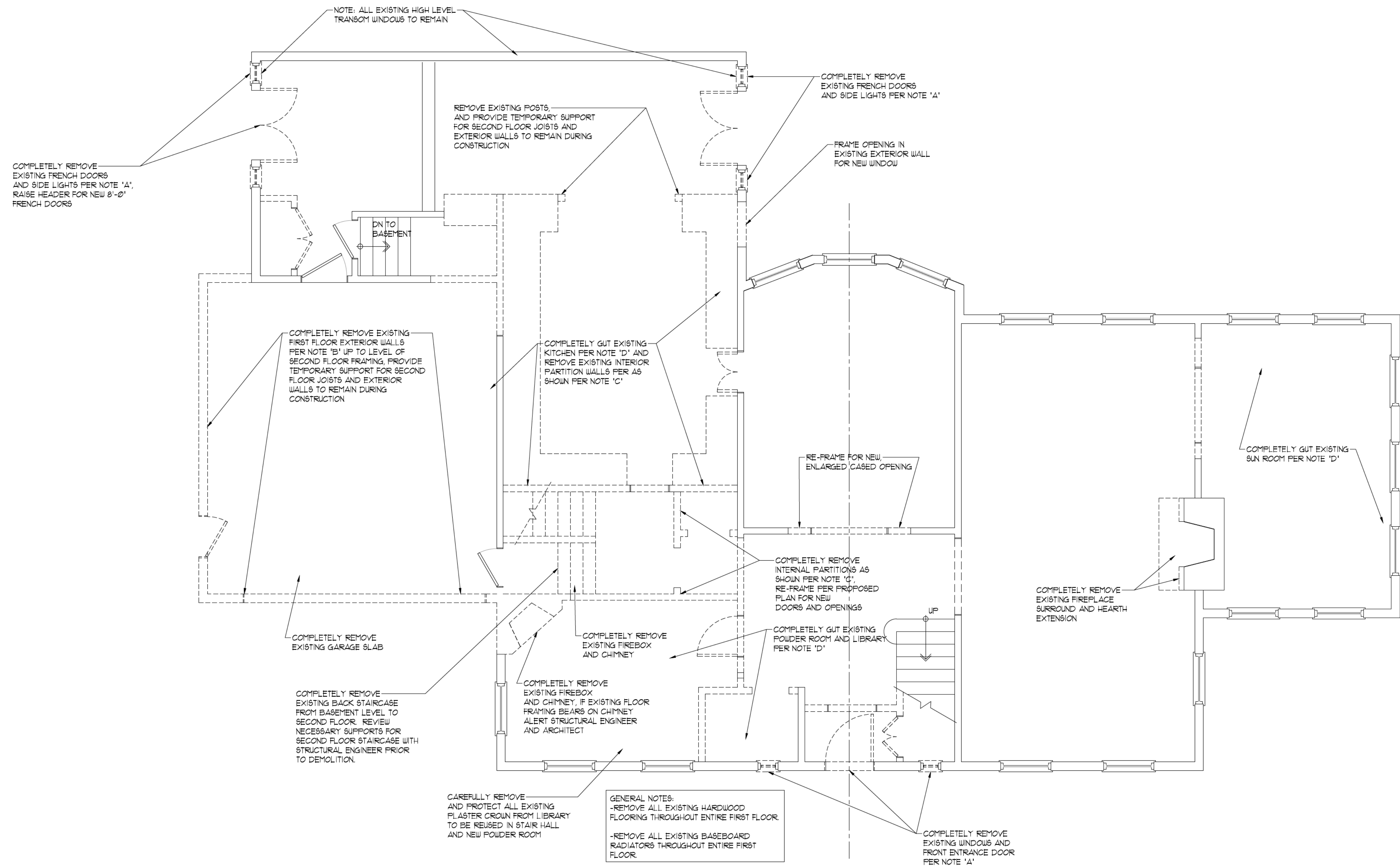
Allowable Building R.L.C.:	5,158.5 S.F.
Total Proposed R.L.C.	2,992.42 S.F.
Allowable Building G.F.A.:	6,419.89 S.F.
Total Proposed G.F.A.	5,287.11 S.F.
Allowable Impervious Surface:	10,317 S.F.
Total Proposed Impervious Surface:	5,842 S.F.

NOTE: Refer to sheet Z1.0-Z1.2 for detailed Gross Floor Area (G.F.A.), Roofed Lot Coverage (R.L.C.), diagrams and tabulations. See civil set for Impermeable Lot Coverage calculations.



Private Residence
635 Rosewood Ave., Winnetka, IL

William Murphy, Architect
Kenilworth, IL 60043



TYPICAL NOTES

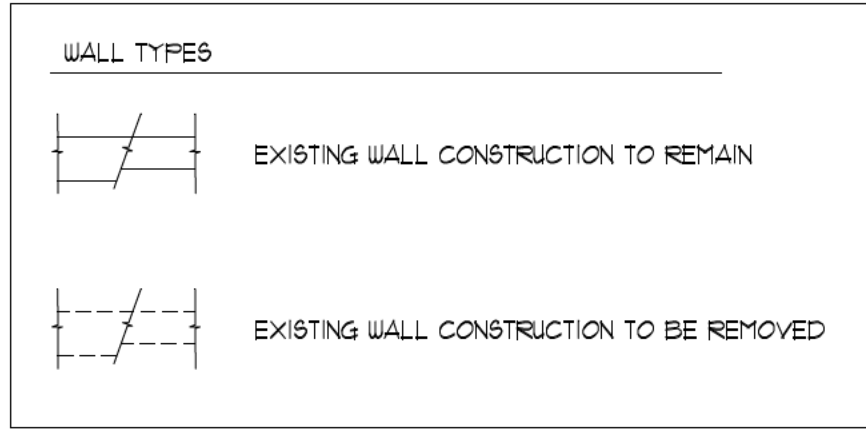
NOTE A (REMOVE EXISTING DOOR/WINDOW): COMPLETELY REMOVE EXISTING DOOR OR WINDOW. REWORK EXISTING OPENING AS REQUIRED FOR NEW DOOR/WINDOW CONFIGURATION AND/OR INFILL AS REQUIRED. REFER TO A-SHEETS FOR ELEVATIONS, WINDOW SIZES AND HEAD HEIGHTS.

NOTE B (REMOVE EXTERIOR WALL): OUTLINE OF PORTION OF EXISTING FRAMED EXTERIOR WALL CONSTRUCTION TO BE COMPLETELY REMOVED. ALL ENCOUNTERED ELECTRICAL, MECHANICAL & PLUMBING SERVICES SHALL BE TERMINATED AND REMOVED AND/OR REWORKED AND REROUTED FOR CONTINUED OPERATION.

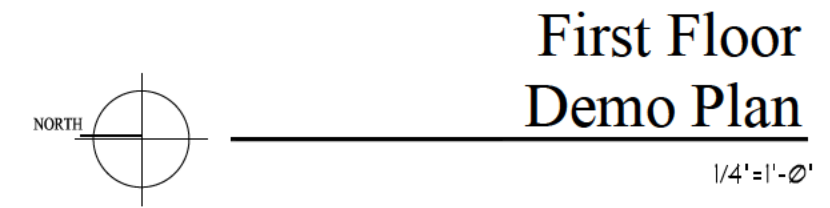
NOTE C (REMOVE INTERIOR WALL): OUTLINE OF EXISTING FRAMED WALL CONSTRUCTION TO BE COMPLETELY REMOVED. ALL ENCOUNTERED ELECTRICAL, MECHANICAL & PLUMBING SERVICES SHALL BE TERMINATED AND REMOVED AND/OR REWORKED AND REROUTED FOR CONTINUED OPERATION.

NOTE D (GUT EXISTING KITCHEN/BATH/LAUNDRY): COMPLETELY REMOVE ALL EXISTING PLUMBING FIXTURES AND CABINETRY. COMPLETELY REMOVE EXISTING WALL, CEILING AND FLOOR FINISHES TO FACE OF ROUGH FRAMING AND SUB-FLOOR. REMOVE AND TERMINATE AND/OR REWORK AND REROUTE EXISTING ELECTRICAL, MECHANICAL AND PLUMBING SERVICES AS REQUIRED TO REFLECT PROPOSED PLAN.

NOTE E (GUT EXISTING SPACE): COMPLETELY REMOVE EXISTING WALL, CEILING AND FLOOR FINISHES TO FACE OF ROUGH FRAMING AND SUB-FLOOR. REMOVE AND TERMINATE AND/OR REWORK AND REROUTE EXISTING ELECTRICAL AND MECHANICAL SERVICES AS REQUIRED TO REFLECT PROPOSED PLAN.



GENERAL NOTES:
-REMOVE ALL EXISTING HARDWOOD FLOORING THROUGHOUT ENTIRE FIRST FLOOR.
-REMOVE ALL EXISTING BASEBOARD RADIATORS THROUGHOUT ENTIRE FIRST FLOOR.



**First Floor
Demo Plan**

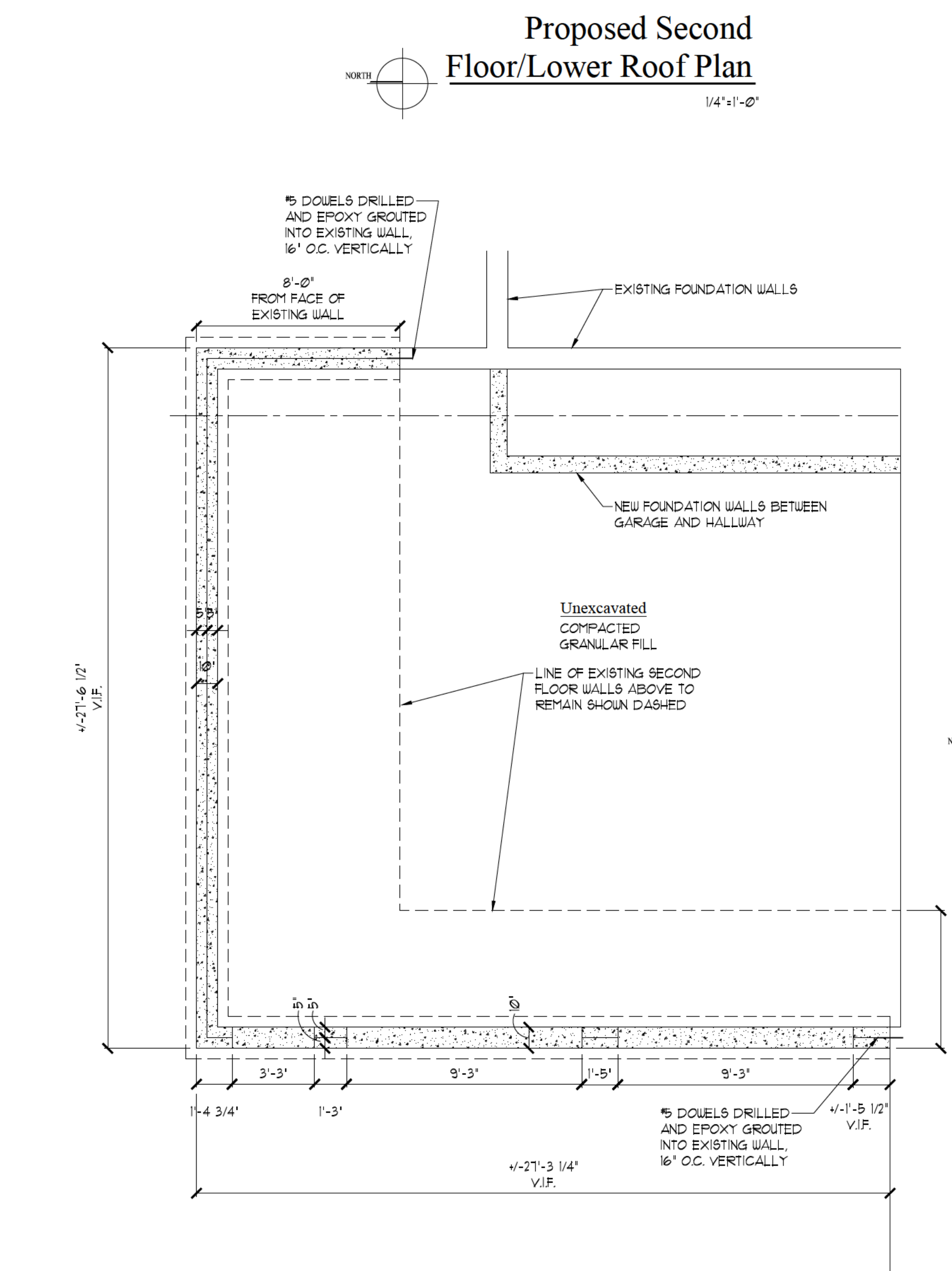
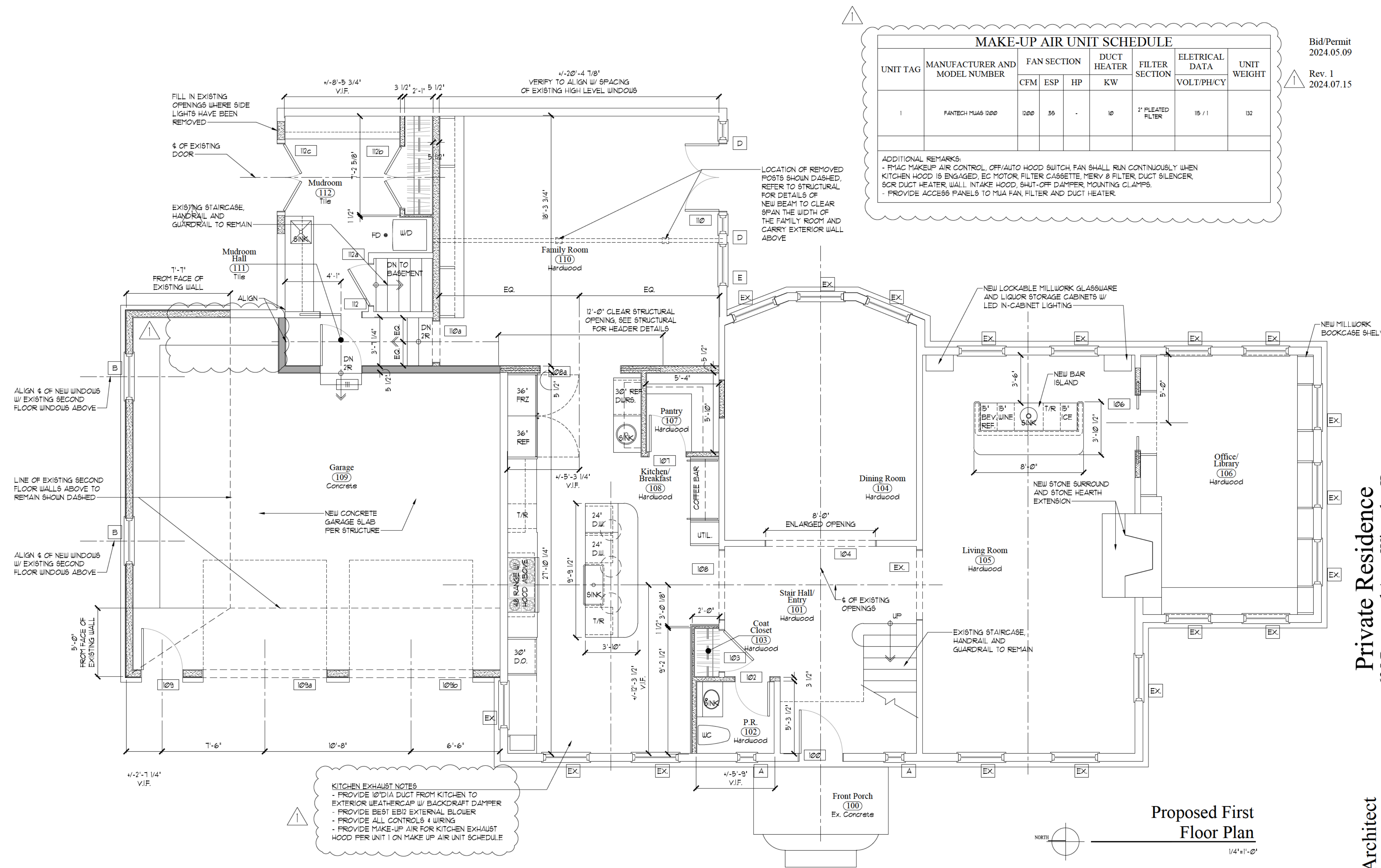
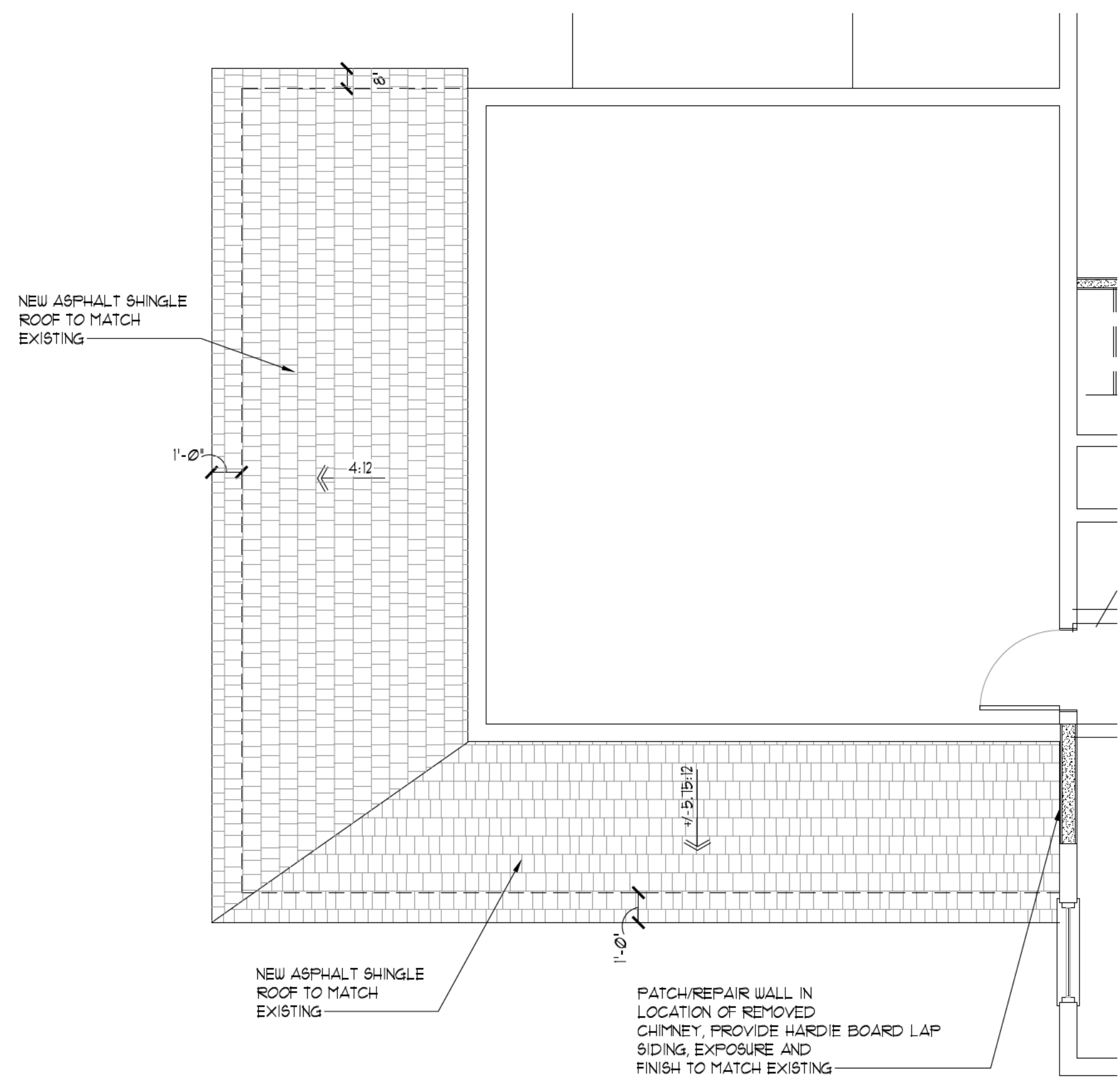
1/4"=1'-0"

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MAKE-UP AIR UNIT SCHEDULE							
UNIT TAG	MANUFACTURER AND MODEL NUMBER	FAN SECTION			DUCT HEATER	ELECTRICAL DATA VOLT/PH/CT	UNIT WEIGHT
		CFM	ESP	HP	KW		
1	FANTECH MUA5 000	000	55	-	0	115 / 1	132

ADDITIONAL REMARKS:
 - FAN MAKEUP AIR CONTROL, OFF/AUTO HOOD SWITCH FAN SHALL RUN CONTINUOUSLY WHEN KITCHEN HOOD IS ENGAGED, EC MOTOR, FILTER CASSETTE, MERV 8 FILTER, DUCT SILENCER, SCR DUCT HEATER, WALL INTAKE HOOD, SHUT-OFF DAMPER, MOUNTING CLAMPS.
 - PROVIDE ACCESS PANELS TO MUA FAN, FILTER AND DUCT HEATER.

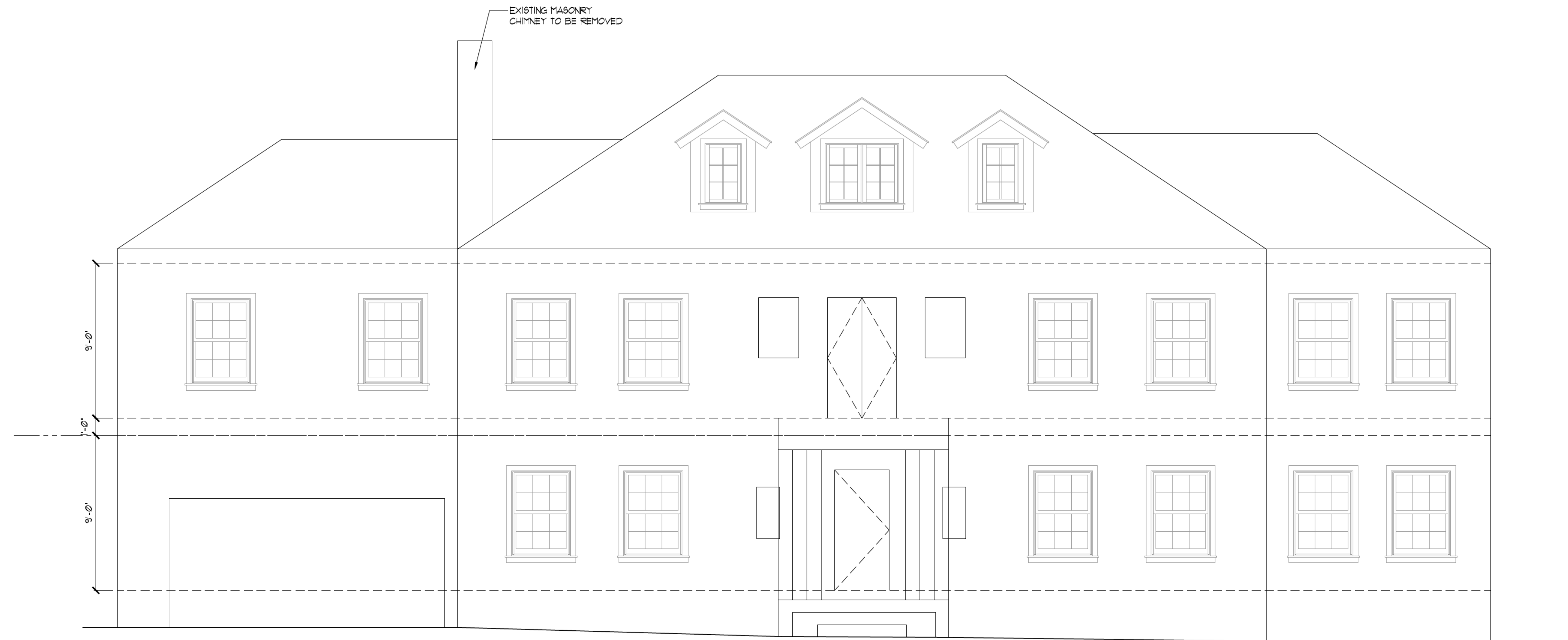


WALL TYPES		SYMBOL	DESCRIPTION
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	NEW EXTERIOR WALL AND WATER TABLE 4" PAINTED BRICK WATER TABLE W/ PITCHED BRICK SILL COURSE - COMPOSITE SIDING (SEE ELEVATIONS) ON TYVEK INFILTRATION BARRIER, 1 1/2" THICK OSB/INSULATING SHEATHING 'AVANTECH R-SHEATHING' (R-5 MIN), 2x6 WOOD STUD FRAMING 16" O.C., R-20 CLOSED CELL SPRAY FOAM INSULATION IN STUD CAVITY AND 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD INTERIOR WALL FINISH - SEE ROOM FINISH SCHEDULE TO VERIFY WALL FINISH IN LIEU OF GYPSUM BOARD		NEW INTERIOR WALL 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD EACH FACE OF 2x4 OR 2x6 (AS INDICATED) WOOD STUD FRAMING, 16" O.C. WITH R-11 SOUND ATTENUATION INSULATION IN STUD CAVITY. - SEE ROOM FINISH SCHEDULE TO VERIFY WALL FINISH IN LIEU OF GYPSUM BOARD
	EXISTING WALL TO REMAIN		NEW GARAGE/LIVING SEPARATION WALL 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD EACH FACE OF 2x6 WOOD STUD FRAMING, 16" O.C. WITH R-20 MINERAL WOOL INSULATION IN STUD CAVITY.
	NEW CONCRETE FOUNDATION WALL - SEE STRUCTURAL		

NOTES: ALL DIMENSIONS ARE TO STRUCTURE (STUD FRAMING/CONCRETE/MASONRY/ETC.)
ALL INTERIOR PARTITIONS ARE 3-1/2" STUDS UNLESS OTHERWISE NOTED

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Existing West Elevation

1/4"=1'-0"

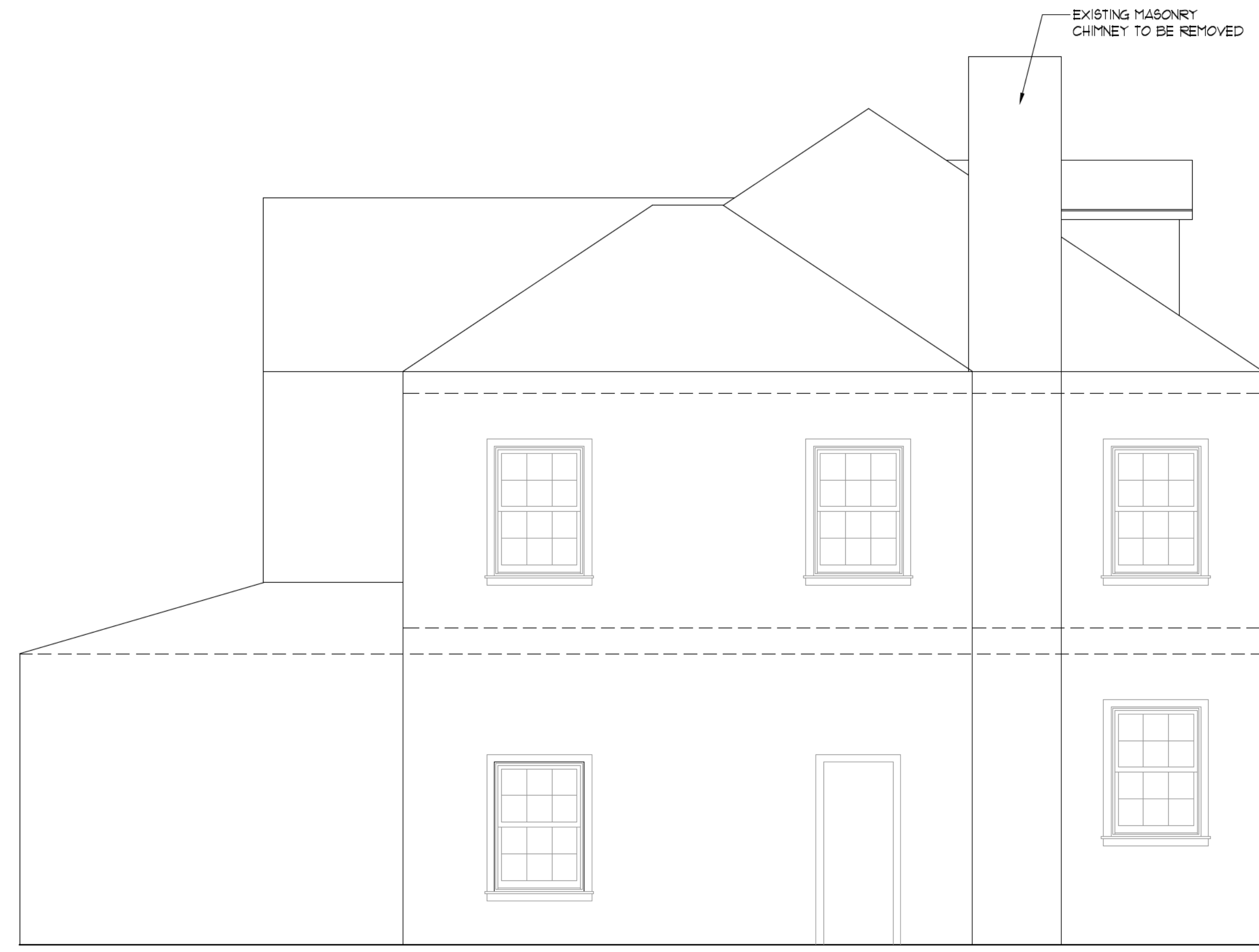


Proposed West Elevation

1/4"=1'-0"

EXTERIOR FINISH SCHEDULE	
MATERIAL	DESCRIPTION
ROOF SHINGLES (TYPICAL)	ARCHITECTURAL GRADE ASPHALT SHINGLES TO MATCH EXISTING
ROOF FLASHING (TYPICAL)	PRE-FINISHED ALUMINUM (BLACK)
ROOF DRIP EDGE (TYPICAL)	PRE-FINISHED ALUMINUM (WHITE)
CHIMNEY FLASHING/COUNTER FLASHING	16 OZ COPPER
GUTTERS & DOWN SPOUTS	PRE-FINISHED ALUMINUM (WHITE) TO MATCH EXISTING (VERIFY)
FASCIAS, TRIM BANDS, & COLUMN WRAPS	1X TRU EXTERIOR FLY-ASH SMOOTH COMPOSITE AS MANUFACTURED BY BORAL COMPOSITE INC. - PAINTED
TRIM CORNER BOARDS, DOOR & WINDOW SURROUNDS	5/4 X TRU EXTERIOR FLY-ASH SMOOTH COMPOSITE AS MANUFACTURED BY BORAL COMPOSITE INC. - PAINTED
SIDING	5/16" HORIZONTAL LAP CEMENT BOARD SIDING 'HARDI-PLANK', EXPOSURE AND COLOR TO MATCH EXISTING AS MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS (PAINTED)
SOFFITS AND PORCH CEILING	5/8" X 6" TRU EXTERIOR FLY-ASH SMOOTH TAG 'V-GROOVE' AS MANUFACTURED BY BORAL COMPOSITE INC. - PAINTED
WINDOW & DOOR CAP FLASHING AT SIDED AREAS	PRE-FINISHED ALUM. 1/2" FLASHING
WINDOWS AND DOORS	MARVIN PRE-FINISHED ALUMINUM CLAD WOOD WITH INSULATED LOW-E ARGON FILLED GLAZING WITH SIMULATED DIVIDED LITES WITH SPACER BARS
EXTERIOR SHUTTERS	PRE-FINISHED STRUCTURAL P.V.C. RAISED PANEL 'ATLANTIC PREMIUM SHUTTERS' AS MANUFACTURED BY TAPCO INTERNATIONAL CORP.

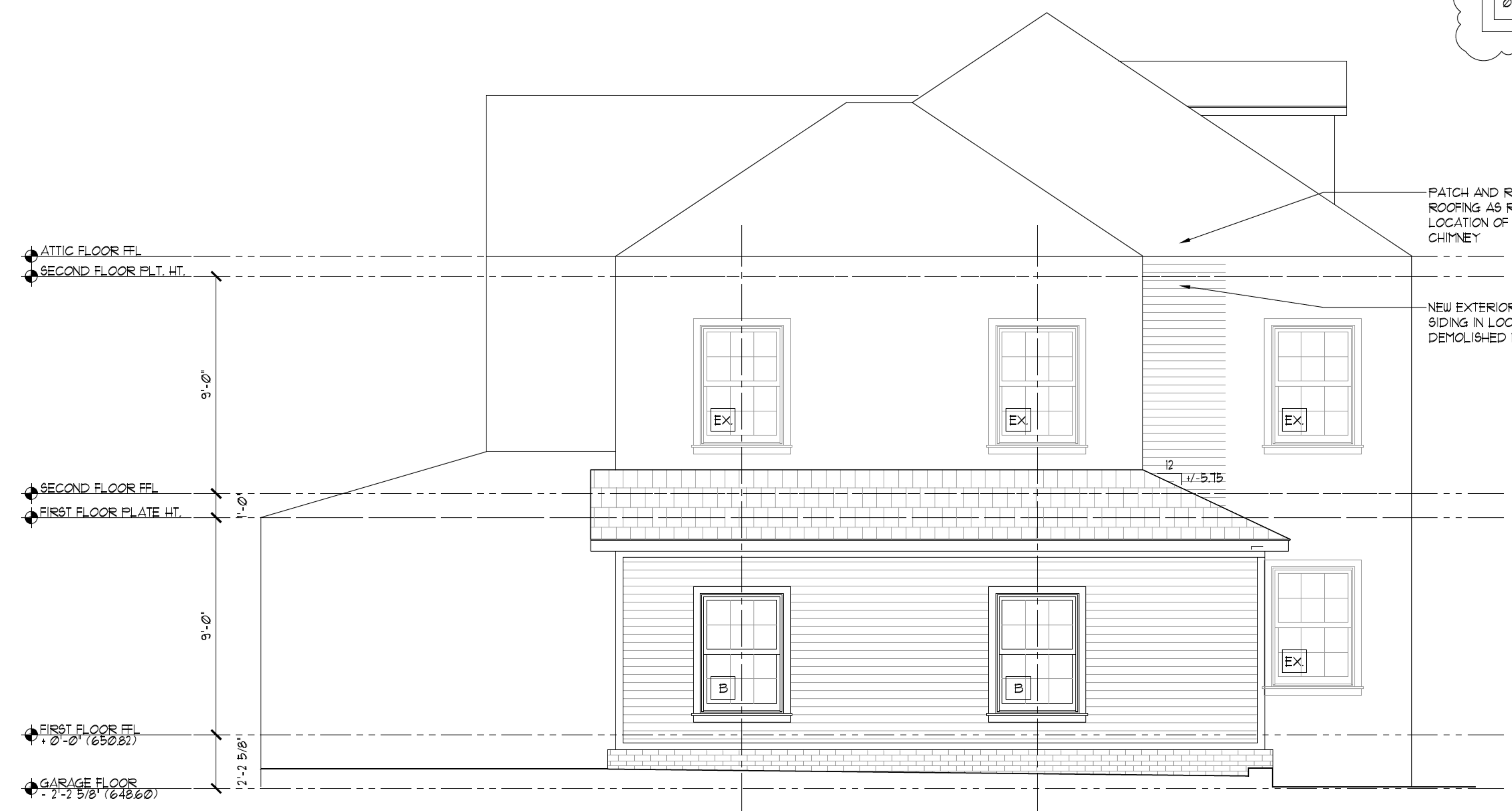
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE 5	FENESTRATION U-FACTOR	CEILING R-VALUE	WD. FRAME WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH
REQUIRED PER TABLE R402.13 IN IECC 2021	0.30	6.0	2.0 4 5 cl	3.0	19	10 cl, 4ft



Existing North Elevation

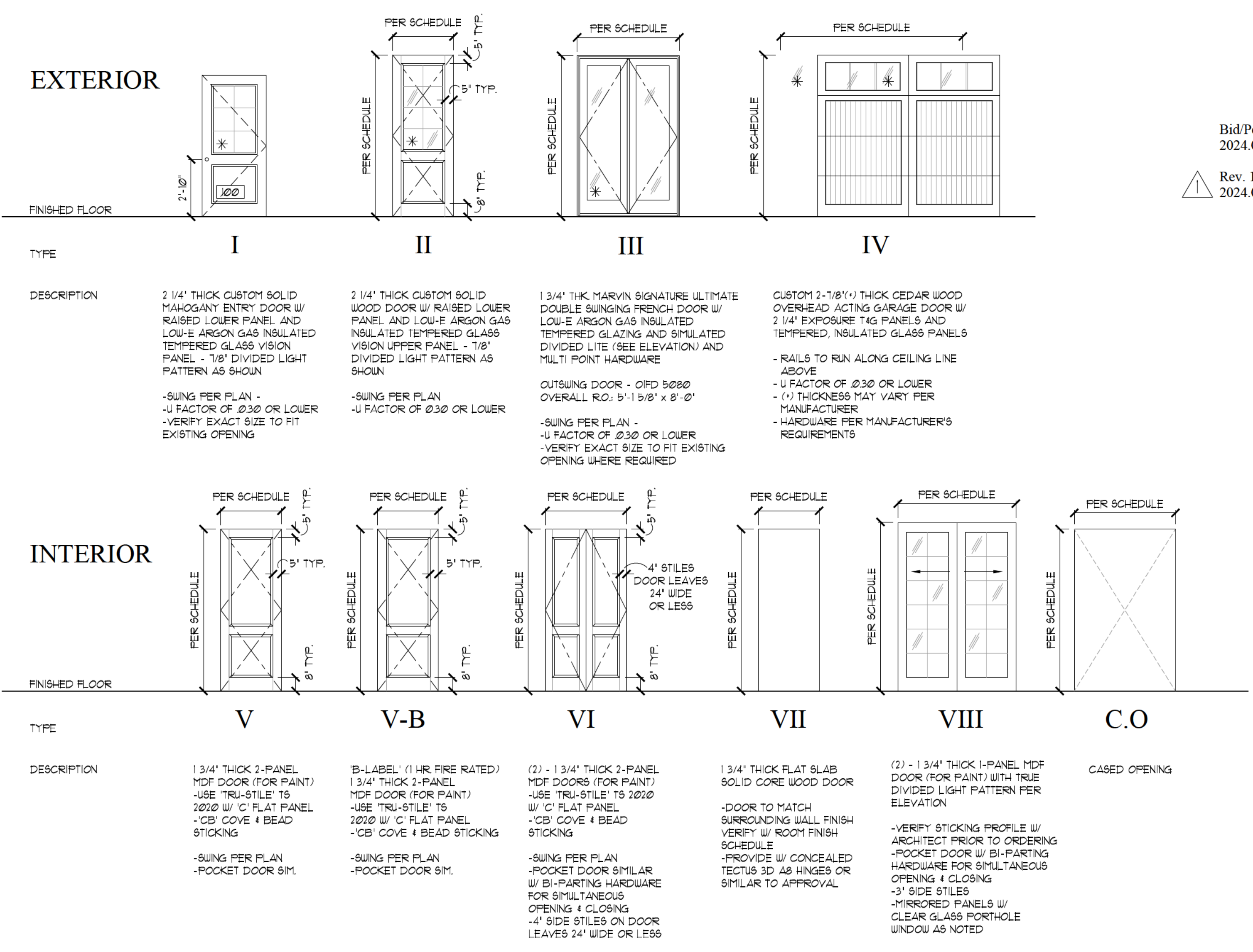
1/4"=1'-0"

NOTE:
ALL NEW DOORS/WINDOWS SHALL MEET A U-VALUE OF 0.30 OR LOWER.



Proposed North Elevation

1/4"=1'-0"



Door and Frame Schedule									
NO.	LEVEL	TYPE	QTY.	MATERIAL	THICKNESS	WIDTH	HEIGHT	FRAME	REMARKS & DETAILS
100	FIRST	I	1	WOOD/GLASS	2 1/4"	3'-2"	7'-0"	WOOD	--
102	FIRST	V	1	WOOD	1 3/4"	2'-6"	7'-0"	WOOD	--
103	FIRST	VII	1	WOOD	1 3/4"	3'-0"	7'-0"	WOOD	CONCEALED DOOR ON TECTUS HINGES
104	FIRST	C.O.	1	WOOD	--	8'-0"	7'-0"	WOOD	ENLARGED CASED OPENING
106	FIRST	IX	1	WOOD	1 3/4"	4'-0"	7'-0"	WOOD	BI-PARTING POCKET DOOR
107	FIRST	VII	1	WOOD	1 3/4"	2'-8"	7'-0"	WOOD	CONCEALED DOOR ON TECTUS HINGES
108	FIRST	C.O.	1	WOOD	--	5'-0 1/2"	7'-0"	WOOD	CASED OPENING W/ MIRRORRED TRANSOM LIGHT ON KITCHEN SIDE
108a	FIRST	VIII	1	WOOD/GLASS	1 3/4"	5'-10"	8'-6"	WOOD	BI-PARTING POCKET DOORS W/ GLASS PANEL AND 2W x 6H DIVIDED LIGHT PATTERN EACH LEAF
109	FIRST	II	1	WOOD/GLASS	2 1/4"	3'-0"	8'-0"	WOOD	--
109a	FIRST	IX	1	WOOD/GLASS	2 1/8" VF	9'-0"	8'-0"	WOOD	WOOD OVERHEAD ACTING GARAGE DOOR
109b	FIRST	IX	1	WOOD/GLASS	2 1/8" VF	9'-0"	8'-0"	WOOD	WOOD OVERHEAD ACTING GARAGE DOOR
110	FIRST	III	1	ALUM CLAD WOOD/GLASS	1 3/4"	4'-11"	7'-0"	ALUM CLAD WOOD	CUSTOM SIZE MARVIN SIGNATURE ULTIMATE UFD UNIT TO FIT EXISTING OPENING
110a	FIRST	C.O.	1	WOOD	--	3'-0"	8'-6"	WOOD	7'-0" H CASED OPENING W/ CLEAR GLASS TRANSOM LIGHT ABOVE
111	FIRST	V-B	1	WOOD	1 3/4"	3'-0"	7'-0"	WOOD	--
112	FIRST	V	1	WOOD	1 3/4"	3'-0"	8'-0"	WOOD	--
112a	FIRST	V	1	WOOD	1 3/4"	3'-0"	8'-0"	WOOD	--
112b	FIRST	VI	1	WOOD	1 3/4"	4'-6"	8'-0"	WOOD	--
112c	FIRST	III	1	ALUM CLAD WOOD/GLASS	1 3/4"	4'-11"	8'-0"	ALUM CLAD WOOD	CUSTOM WIDTH MARVIN SIGNATURE ULTIMATE UFD UNIT TO FIT EXISTING OPENING. RAISE HEADER TO ALLOW FOR 8'-0" H DOOR
200	FIRST	III	1	ALUM CLAD WOOD/GLASS	1 3/4"	4'-11"	7'-0"	ALUM CLAD WOOD	CUSTOM SIZE MARVIN SIGNATURE ULTIMATE UFD UNIT TO FIT EXISTING OPENING

Window Schedule														
WINDOW	Count	MANUFACTURER	RO WIDTH	RO HEIGHT	EGRESS	TEMPERED SAFETY GLASS	LOCATION	TYPE1	TYPE2	TYPE3	CATALOGNO1	CATALOGNO2	CATALOGNO3	REMARKS
A	2	MARVIN	4'-1'-4"	4'-3'-0"	--	TEMPERED SAFETY GLASS	FIRST	CLAD ULTIMATE CASEMENT	--	--	UCA CUSTOM SIZE TO FIT EXISTING OPENING	--	--	--
B	2	MARVIN	3'-6 1/4"	5'-0"	YES	--	FIRST	CLAD ULTIMATE DOUBLE HUNG G2	--	--	UDHG2 3626 E	--	--	--
C	1	MARVIN	4'-2'-8"	4'-3'-6"	--	TEMPERED SAFETY GLASS	SECOND	CLAD ULTIMATE DOUBLE HUNG G2	--	--	UDHG2 CUSTOM SIZE TO FIT EXISTING OPENING	--	--	--
D	2	MARVIN	4'-1'-4"	4'-6'-4"	--	TEMPERED SAFETY GLASS	FIRST	CLAD ULTIMATE CASEMENT	--	--	UCA CUSTOM SIZE TO FIT EXISTING OPENING	--	--	--
E	1	MARVIN	3'-0 1/4"	6'-4"	YES	TEMPERED SAFETY GLASS	FIRST	CLAD ULTIMATE DOUBLE HUNG G2	--	--	UDHG2 3034 E	--	--	--

Bid/Permit
2024.05.09
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Private Residence
635 Rosewood Ave., Winnetka, IL

William Murphy, Architect
Kenilworth, IL 60043