



Village of Winnetka

Plan Commission Regular Meeting

December 18, 2024 at 7:00 PM
Winnetka Village Hall Council Chambers
510 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Approval of Minutes**
 - a. October 23, 2024, Regular Meeting Minutes
3. **Public Comments**
4. **Community Development Report**
5. **Continued Applications**
 - a. **Case No. 24-14-SU: Grace Presbyterian Church of the North Shore (440 Ridge Avenue and 760 Cherry Street):** Applications seeking approval of (i) a Final Plat of Subdivision to consolidate the two existing lots known as 440 Ridge Avenue and 760 Cherry Street into a single Lot of Record; (ii) a Special Use Permit to allow the consolidation that is greater than two times the minimum required lot size and more than two times the minimum required average lot width for a corner lot in the R-5 Single-Family Residential Zoning District; and (iii) an amendment to an existing Special Use permit to allow construction of additions to the existing church and a parking lot on the proposed consolidated lot. The Village Council has final jurisdiction on this request. *This item was continued from the October 23, 2024, Plan Commission meeting. The Applicant is requesting this item be continued to the February 26, 2024, Plan Commission meeting.*
6. **New Applications**
 - a. **Case No. 24-26-SD: Winnetka-Northfield Public Library and Library Park (768 Oak Street):** An application submitted by Winnetka-Northfield Public Library District seeking approval of a Final Plat of Subdivision to allow consolidation of the existing lots at 768 Oak Street into a single Lot of Record. The request also requires a finding of "No Material Increased Adverse Impact" for the existing library building which (a) observes less than the minimum required front yard setback from the east property line along Green Bay Road; and (b) does not provide the required exterior building wall articulation. *The Village Council has final jurisdiction on this request.*
7. **New Business**
 - a. January 22, 2025, Regular Meeting - Quorum Check
8. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**WINNETKA PLAN COMMISSION MEETING MINUTES
OCTOBER 23, 2024**

Members Present:

Layla Danley, Chairperson
Jonathan Alt
Mamie Case
Chris Enck
Cyrus Subawalla

Members Absent:

Matthew Bradley
Liz Kunkle

Non-Voting Members Present:

Rob Apatoff

Village Staff:

David Schoon, Director of Community Development
Ann Klaassen, Assistant Director of Community Development

Call to Order & Roll Call:

The meeting was called to order by Chairperson Danley at 7:00 p.m. Ms. Klaassen took roll call of the Commission Members present.

Approval of May 22, 2024, Meeting Minutes:

Chairperson Danley asked for a motion to approve the May 22, 2024, meeting minutes. A motion to approve the May 22, 2024, meeting minutes was made by Ms. Case and seconded by Mr. Subawalla. A vote was taken and the motion unanimously passed, 5 to 0:

AYES: Alt, Case, Danley, Enck, Subawalla

NAYS: None

NON-VOTING: Apatoff

Public Comment:

No comments were made at this time.

Community Development Report:

Mr. Schoon provided an update with regard to the Winnetka Public School Nursery playground. He also stated the proposed development at Centennial Park and Beach was presented to the ZBA and the matter was continued to the November 2024 ZBA meeting. Mr. Schoon stated the earliest the item would be presented to the Commission would be the December 2024 meeting.

New Applications:

a. **Case No. 24-14-SU: Grace Presbyterian Church of the North Shore (440 Ridge Avenue and 760 Cherry Street): Applications seeking approval of (i) a Final Plat of Subdivision to consolidate the two existing lots known as 440 Ridge Avenue and 760 Cherry Street into a single Lot of Record; (ii) a Special Use Permit to allow the consolidation that is greater than two times the minimum required lot size and more than two times the minimum required average lot width for a corner lot in the R-5 Single-Family Residential Zoning District; and (iii) an amendment to an existing Special Use Permit to allow**

1 **construction of additions to the existing church and a parking lot on the proposed consolidated lot. The**
2 **Village Council has final jurisdiction on this request.**

3 Ms. Klaassen identified the property's location and the adjacent home to be demolished and identified
4 the zoning classification. She also identified the limited types of allowed special uses in the district with
5 the Comprehensive Plan designating the existing parcel as appropriate for institutional uses. Ms. Klaassen
6 stated the Comprehensive Plan identifies the Cherry Street parcel is appropriate for single family uses and
7 noted the site is located in a transitional area. She then referred to existing site photos and described the
8 proposed two-story church additions and elevations. Ms. Klaassen stated the combined parcels would
9 create a single buildable lot via a plat of consolidation and identified the existing utility easement noting
10 no additional easements are being requested.

11
12 Ms. Klaassen stated the proposed lot consolidation complied with the standards and a special use is
13 required due to the proposed lot's size. She explained how the existing church lot is four times the
14 minimum required lot area and twice the minimum required lot width. Ms. Klaassen also explained how
15 the typical special use standards are used to evaluate the consolidation. She then referred to the proposed
16 additions' illustrations and fence, and explained how the parking lot would be reconfigured. Ms. Klaassen
17 also referred to the east and south elevation renderings and the proposed landscape plan which she
18 explained to the Commission. She noted the applicant submitted preliminary engineering plans in
19 connection with storm water management which have been reviewed by the Village Engineer who is
20 confident the final engineering plans that are required to be submitted with the necessary permits to
21 construct the proposed improvements could be approved, based on the preliminary engineering plans
22 and discussions between the Village Engineer and the applicant's engineering team.

23
24 Ms. Klaassen explained to the Commission how zoning relief is necessary to allow the proposed
25 improvements. She stated the Historic Preservation Commission considered the demolition permit for
26 760 Cherry Street and required that an HAIS be done, which has yet to be reviewed by the Commission.
27 Ms. Klaassen then provided the Commission with an update on the DRB's review which recommended
28 approval with conditions and noted the ZBA meeting has not yet been scheduled.

29
30 Ms. Klaassen went through the Commission's role with regard to the application's consideration and
31 noted the applicant provided a traffic study and parking analysis which concluded there would be no
32 material impact. She stated following the applicant's presentation and public comment, the Commission
33 can continue the hearing to a date certain to provide the applicant or staff time to address questions and
34 comments of the Commission, or consider a motion recommending approval or denial with draft language
35 included on page nos. 23 and 24 of the agenda packet. Ms. Klaassen noted that no additional public
36 correspondence was received and asked if there were any questions.

37
38 Chairperson Danley also asked if there were any questions. No questions were raised at this time. She
39 then asked for the applicant's presentation and swore in those speaking to this matter.

40
41 Marshall Brown, Grace Presbyterian Church Senior Pastor, stated the proposed plan addressed the
42 church's concern relating to accessibility, security, and improved educational space. He then introduced
43 the applicant's team.

44
45 Karl Camillucci of the Taft Law Firm provided background with regard to the history and context of the
46 project which included a pre-application meeting with church and Village staff, and meetings with
47 neighbors. He described the multiple meetings held with the neighbors and the plans which were revised
48 as a result of those meetings. Mr. Camillucci also referred to an illustration of the property and

1 Comprehensive Plan land use images and descriptions of the transitional mixed uses in the area and
2 outlined the church's programming.

3
4 Mr. Camillucci then described the difficulties in terms of ADA accessibility and the proposed plans to
5 increase ADA accessibility. He also explained the proposed classroom space to increase functionality to
6 provide better service to the church community. He referred to illustrations of the proposed additions
7 and parking lot improvements.

8
9 Joe Buehler of Present Future Architects, the project architect, identified the two proposed additions and
10 explained in detail the first-floor plan, the ADA accessibility entries, and the proposed addition
11 enhancements. He also explained the second floor of both of the additions, the basement level and their
12 uses in detail. Mr. Buehler referred to elevations which depict the proposed additions' height and the plan
13 to match the existing gables. He noted the south addition would step down to a flat roof in terms of the
14 south neighbors' sight lines and visual impact. Mr. Buehler identified the west elevation and revised
15 rendering based on the DRB's comments. He also referred to the existing and proposed landscaping which
16 would serve to block the south addition and identified several renderings of the proposed additions from
17 various vantage points.

18
19 Mr. Camillucci referred to the parking analysis and its conclusion that the proposed improvements would
20 not have a material impact on traffic and parking conditions around the church and that the low level of
21 traffic activity in general on the roadway system on a Sunday would not be impacted and would
22 accommodate the church. He then provided detail in terms of the conditions in which the parking study
23 was performed.

24
25 Mr. Camillucci referred to a summary of the items the Commission is to consider and their responses to
26 the special use standards. He emphasized that while not under the Commission's purview, a number of
27 the variations being requested are existing conditions. Mr. Camillucci then provided further explanation
28 with regard to the consolidated lots for the Commission to take into consideration. He specifically
29 explained their responses to the first two special use standards in that: (i) the proposed improvements
30 would not be detrimental to or endanger the public health, safety, comfort, morals and welfare and (ii)
31 that the special use would not be substantially injurious to the enjoyment of other property in the vicinity.
32 He then referred to concerns raised relating to stormwater and noted they would be addressing it during
33 the final engineering review. Mr. Camillucci asked if there were any questions.

34
35 Chairperson Danley thanked the applicant for their thorough presentation and also asked if there were
36 any questions. She referred to parking on the south side of Cherry Street and asked if safety measures
37 were considered in terms of ingress/egress from the parking lot. Mr. Camillucci responded the parking lot
38 only held 10-12 spaces and the amount of traffic volume on Cherry Street would not change.

39
40 Stephen Corcoran, Eriksson Engineering Association, stated they prepared the traffic and parking analysis
41 and described the changes taking place with regard to the driveway and the number of parking spaces.
42 He also stated a stop sign is being proposed at the lot exit as well as the use of low level landscaping by
43 the driveway. No additional questions were raised at this time.

44
45 Chairperson Danley then asked for public comment and swore in those speaking to this matter.

46
47 Chris Crooks, 422 Ridge, agreed there has been a long dialog between the church and the neighbors and
48 stated there is a mutual disagreement with regard to what is appropriate. He stated he did not agree with

1 the scale and that the neighbors are no longer attending the meetings which he described as
2 nonproductive. Mr. Crooks referred to the traffic study which he described as flawed due to the increased
3 attendance with an increase of 40% to the church's square footage. He stated he would be the most
4 impacted by the proposed structure and the proposal would represent a significant change to the
5 residential neighborhood and identified the standards affected by the proposed addition. Mr. Crooks
6 suggested the that the allowed square footage only be increased by the amount of the adjacent parcel
7 purchased and that additional landscaping be implemented.

8
9 Steve Sanders, 429 Linden, stated their home faced the church parking lot and the adjacent purchased lot
10 and described the reasons they are opposed to the expansion, including privacy concerns, sight lines and
11 the effect to their property value. He also stated the church had difficulty in dealing with the neighbors in
12 good faith and asked for any rendering to be architecturally true, correct and without exaggeration. Mr.
13 Sanders provided the Commission Members with photos of the Arbor Vitaes to be installed which were
14 reduced from 17 feet to 8-10 feet in height. He then stated based on the requested exceptions, he asked
15 for the proposal to be rejected.

16
17 Nancy Riddle, 761 Cherry Street, referred to the traffic study and the amount of traffic coming from the
18 east. She stated there are safety concerns and asked for clarity if the basement would be used for multi-
19 purpose rooms. Ms. Riddle suggested the church renovate the existing square footage instead of
20 expanding. She asked to hear from the Village Traffic Engineer as opposed to a private consultant with
21 regard to accidents. Ms. Riddle also commented the north side two story addition is too close to the
22 sidewalk and that parking can be reconfigured.

23
24 Dan Kinsella, 420 Linden, read an excerpt from the Comprehensive Plan into the record and stated the
25 applicant has not adhered to it. He stated the Commission is to give effect to the Comprehensive Plan and
26 the proposal is not compatible to the residential neighborhood and that burden has not been met by the
27 applicant. Mr. Kinsella referred to the scale and stated they have been suggesting alternatives since
28 February. He also commented on the problematic amount of traffic on Cherry Street and the effect on
29 property values. Mr. Kinsella stated any approved special use permit should have strong restrictions
30 relating to landscaping and water issues.

31
32 Chuck Murphy, 426 Linden, agreed with all of the neighbors' comments and stated the applicant does not
33 understand the fundamental effect of the project on the neighborhood. He implored the Commission to
34 deny or delay the request and referred to the less than fruitful meetings they have had with the applicant.
35 Mr. Murphy concluded the neighbors would like to come to a meeting in support of the changes and they
36 are nowhere near that and asked the Commission to consider alternatives and find a solution that worked
37 for the neighbors.

38
39 Chris Nyland, 800 block of Oak Street, stated his family are church members and identified their reasons
40 for attending the church. He referred to the amount of capital expended by the church to maintain the
41 historically important building and allow it to remain a viable part of the community and neighborhood.
42 Mr. Nyland stated the proposed addition would allow them to do that.

43
44 Missy Chanel, 510 Elder Lane, stated the church is part of the reason they live in Winnetka. She described
45 the activities she and her family have benefited from as church members and discussions she had with
46 the Police Chief relating to what steps to take in the event of an active shooter to make the building secure
47 which included a single entry point. Ms. Chanel stated the proposal would address all of the challenges
48 the church has had and described the terrible condition of the staircase. She commented it is vital to make

1 the building welcoming for all attendees in terms of ADA accessibility.

2
3 Terry Dason, 134 Green Bay Road, a church member, described the difficulty with regard to the stairs. She
4 stated they have been working with the neighbors to come up with a solution to resolve the church's
5 interior issues. Ms. Dason stated the proposed addition is necessary to fulfil the children and adults' needs
6 and described the proposal as a great idea and a beautiful addition.

7
8 Michael Holmberg, 435 Linden, commented he loved having a church in the neighborhood and described
9 the process as not being efficient. He agreed with the suggestion that the church and neighbors meet and
10 come to a solution that everyone can agree on. Mr. Holmberg stated the scale is off and he asked the
11 Commission to reject the request or continue so that there can be real conversations between the church
12 and neighbors.

13
14 Ruth Ann Kinsella, 420 Linden, commented on the proposed rendering which does not accurately depict
15 the site during most of the year.

16
17 Chairperson Danley asked the applicant if they would like to respond. Mr. Camillucci responded they did
18 not agree the church has not acted in good faith and provided additional information in terms of the
19 photographs taken from the neighbor's backyard. He stated with regard to the comment on the plantings'
20 height, Arbor Vitae are generally not sold in the height shown on the renderings and the renderings show
21 what they would look like at maturity. He referred to the proactive dialog with the neighbors to adjust
22 solutions to mitigate their concerns and while there may never be total agreement in terms of the project
23 that satisfied everyone, the project addressed the church's needs. He also stated with regard to the
24 comment made relating to the Comprehensive Plan, they have addressed the fact that the church is
25 compatible with both current and future land uses. He specifically referred to Section 1.4 of the
26 Comprehensive Plan and stated they have discussed how the church has been a part of the neighborhood
27 since the 1930's, its contribution to the character of the locality and would engage in the same types of
28 uses following the plan's completion.

29
30 Chairperson Danley then asked if there were any questions from the Commission. Mr. Enck asked the
31 applicant if they considered replacing the home with a new two story building addition to the west as
32 opposed to the building addition to the south. Mr. Camillucci identified the existing utility easement which
33 made it more difficult to build to the west. He also stated with regard to that lot's dimension, the building
34 addition would have to be long and deep. Mr. Buehler agreed utilities represented the biggest challenge
35 and they initially discussed that alternative as well as it representing suboptimal spatial concerns. He also
36 stated they considered impermeable surface and roofed lot coverage concerns. Mr. Buehler then stated
37 the most practical ADA accessibility location was their primary concern and also clarified their response
38 to the landscaping issue. Josh Anderson, an Eriksson Engineering landscape architect, provided additional
39 information relating to the Arbor Vitae installation height.

40
41 Ms. Case referred to the applicant's response that the church fit in with the Comprehensive Plan and
42 stated while they want the church to be welcoming to its members and neighbors, she is concerned with
43 the proposed addition's size and possible traffic issues and suggested alternative solutions.

44
45 Trustee Apatoff asked if there would be a wood stockade fence around the property. Mr. Camillucci
46 responded the existing cedar fence is the neighbor's fence with the plan being to install one contiguous
47 fence around the property. The Commission Members and the applicant discussed the fence's installation
48 and location. Trustee Apatoff agreed with the applicant's position regarding ADA accessibility and

1 commented on the proposed tree size at installation. Mr. Camillucci informed the Commission the DRB
2 discussed having the proposed addition in its proposed location and determined aesthetically, it would be
3 better to have it on Ridge rather than further west on Cherry.

4
5 Chairperson Danley then called the matter in for discussion and identified the specific items the
6 Commission is to consider. The Commission Members agreed they are in favor of the lot consolidation.
7 Mr. Alt stated setbacks represented the biggest concern as well as stormwater and the suggestion that
8 the traffic study be performed by a neutral party. He commented the church is phenomenal and in
9 alignment with the community although there is a major disagreement in terms of what it ultimately
10 looked like. Mr. Alt also stated ADA accessibility and safety are the important issues.

11
12 Chairperson Danley noted the Village Engineer will address stormwater concerns and agreed that safety
13 is a big concern as well as the traffic and parking study comments. She also stated she is concerned with
14 construction and the general design and referred to the items not within the Commission's purview. Mr.
15 Subawalla indicated there may be a way to address both sides' concerns relating to the project outcome.
16 He also commented on the neighbors' view of the large structure and asked to see the DRB's deliberation
17 in coming up with that decision.

18
19 Ms. Case questioned whether they are able to ask them to address the size and scale concerns before
20 issuing a special use, noting that there would not be consensus on both sides. She also agreed with Mr.
21 Subawalla's comments and referred to the narrow Cherry Street condition.

22
23 Mr. Schoon suggested the Commission focus on the standards and provide direction to the applicant in
24 terms of the items not in compliance with the special use standards. He stated if the Commission wanted
25 to continue the matter, they are to provide direction in terms of what the consensus would be with the
26 applicant responding whether they want to continue the application and address the Commission
27 Members' concerns. Mr. Schoon stated the Commission can recommend approval or denial, and include
28 conditions.

29
30 Chairperson Danley referred to the special use permit to allow an amendment to the existing special use
31 for the ordinance to allow the construction of the proposed additions and site improvements and referred
32 to items (a)-(f). She highlighted items (d) and (e) as those standards representing issues and that the
33 proposal does not satisfy those conditions. Chairperson Danley then asked for the Commission Members'
34 comments. Ms. Case agreed with Chairperson Danley's comments and added items (c) and (d) as
35 presenting concerns. Trustee Apatoff also referred to landscaping issues concerns.

36
37 Chairperson Danley stated she was under the impression that the neighbors and church were closer in
38 agreement and referred to the fact that there is so much neighborhood opposition to the request. She
39 stated the Commission is not likely to get a consensus to approve this portion of the application and
40 identified their options in terms of the vote. Trustee Apatoff stated the proposal is difficult and the
41 applicant realized the neighbors' opposition from the beginning. Chairperson Danley referred to the fact
42 that the neighborhood is mixed-use and Goal 1.4 from the Comprehensive Plan is that institutional uses
43 are to be compatible with residential neighborhoods, compatible in terms of everybody coexisting
44 together. She explained what that compatibility looks like isn't necessarily one way, which is what it
45 sounds like the neighbors are feeling at this point is that it is not compatible with the residential
46 neighborhood, it is currently compatible but given what it is they are wanting to do moving forward it isn't
47 compatible. Mr. Alt referred to the amount of time and money spent by the applicant on the project and
48 stated it would not be prudent to deny the request. He stated he would recommend the matter be

1 continued until a point of agreement is reached with accessibility and security being paramount.

2
3 Chairperson Danley referred to the number of issues on the table and asked Mr. Schoon if the Commission
4 should continue the matter or require the applicant to address these issues before the Village Council.
5 Mr. Schoon responded it can be done either way and identified the Commission's specific concerns as: (i)
6 parking lot safety and its access onto Cherry Street; (ii) meeting the special use standards in terms of scale
7 and placement of the building additions; and (iii) appropriate landscaping relating to the building size and
8 scope. He stated the Commission can ask the applicant how they want to respond.
9

10 Chairperson Danley asked for the applicant's response in terms of timing to address the issues raised. Mr.
11 Camillucci discussed their options and agreed to attempt to address the neighbors' concerns with the
12 continuance proposal being acceptable to the church. He then clarified the issues to be addressed. The
13 Commission Members and the applicant discussed the timeline. Mr. Schoon then suggested the
14 Commission can make a motion to continue the request to a future meeting with the meeting to be re-
15 noticed when the applicant is ready. The audience members discussed options to form a committee to
16 make communications easier with the applicant. Mr. Camillucci asked for the matter to be continued to a
17 date certain as opposed to leaving the continuance open ended. Mr. Schoon confirmed they would work
18 with the applicant and neighbors in terms of continuing the matter to the December 18, 2024, meeting.
19 The Commission Members then discussed their availability.

20
21 Chairperson Danley then asked for a motion to continue the matter to the December 18, 2024, meeting.
22 Ms. Case moved to continue the application of Case No. 24-14-SU for Grace Presbyterian Church of the
23 North Shore to the December 18, 2024, meeting. Mr. Alt seconded the motion. A vote was taken and the
24 motion unanimously passed, 5 to 0:

25 AYES: Alt, Case, Danley, Enck, Subawalla

26 NAYS: None

27 NON-VOTING: Apatoff

28
29 **New Business.**

30 a. November 20, 2024, Meeting – Quorum check.

31 The Commission Members discussed their availability.

32
33 **Adjournment:**

34 Chairperson Danley asked for a motion to adjourn. A motion to adjourn was made by Mr. Alt and seconded
35 by Mr. Enck. A vote was taken and the motion unanimously passed, 5 to 0:

36 AYES: Alt, Case, Danley, Enck, Subawalla

37 NAYS: None

38 NON-VOTING: Apatoff

39 The meeting was adjourned at 9:46 p.m.

40
41 Respectfully submitted,

42
43 Antionette Johnson

44 Recording Secretary



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLAN COMMISSION
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: DECEMBER 11, 2024
SUBJECT: 768 OAK STREET – FINAL PLAT APPROVAL
WINNETKA-NORTHFIELD PUBLIC LIBRARY DISTRICT
PLAT OF CONSOLIDATION (CASE NO. 24-26-SD)

INTRODUCTION

On December 18, 2024, the Plan Commission is scheduled to hold a public hearing on an application submitted by the Winnetka-Northfield Public Library District, as the owner of the lots located at 768 Oak Street, (the “Subject Property”). The Applicant has filed an application seeking the following approvals as part of a Final Subdivision Plat approval to consolidate the existing lots into a single lot of record:

1. A finding of “No Material Increased Adverse Impact” for the existing public library at 768 Oak Street which:
 - a. Observes less than the minimum required front yard setback from Green Bay Road;
 - b. Does not provide the required exterior building wall articulation; and
2. Any other subdivision relief necessary for the Final Plat approval.

The Plan Commission is charged with making a recommendation to the Village Council regarding the subdivision, including the requested relief described above, for the existing improvements. The Applicant intends to provide additional life safety exits from the existing building and paved walkways from the proposed exits to Green Bay Road and Linden Street. Hence, the Applicant has also submitted an application for a certificate of appropriateness, which the Design Review Board is scheduled to consider on December 19, 2024.

A mail notice was sent to property owners within 250 feet in compliance with the Village Code. As of the date of this memo, staff has not received any written comments from the public regarding this application.

PROPERTY DESCRIPTION

The Subject Property is located on the southeast corner of the intersection of Green Bay Road and Linden Street, and consists of two buildable lots; one lot contains the existing library and the other contains Library Park. The area of each lot is as follows:

1. Winnetka Public Library: 35,060 square feet (0.8 acres)
2. Library Park: 11,234 square feet (0.26 acres)

The existing parcels and improvements are identified in Figure 1.



Figure 1 – Existing two lots

The Comprehensive Plan designates the existing library parcel as appropriate for “Institutional (Religious Institution, School, Governmental & Other Facilities)” uses and the Library Park parcel as appropriate for “Open Space” uses (Figure 2). The Subject Property is located in an area with multi-family buildings, commercial buildings, government facilities, and open space. The Land Use Plan Map designates property to the north as appropriate “Open Space” uses, the properties to the south as appropriate for “Multi-Family Residential” uses, and properties to the west as appropriate for “Commercial and Mixed-Use Development” and “Multi-Family Residential” uses. To the east of the Subject Property is the Union Pacific Railroad, which is designated for “Transportation, Utilities, Communication” uses.



Figure 2 – Comprehensive Plan Land Use Map – Winnetka Futures 2040 Plan

The Comprehensive Plan also contains the following vision statement and goal relevant to the proposed application:

***Goal 1.4:** The Village will continue to ensure institutional uses, such as schools, religious institutions, and the Public Library are compatible with the residential neighborhoods in which they are located.*

***Initiative 1.4.1:** Study and consider establishing a specific zoning district for institutional uses or specific zoning standards for such uses within existing residential districts. This would allow more appropriate zoning standards for these uses.*

The Subject Property is zoned B-1 Multifamily Residential, and it is bordered by B-1 Multifamily Residential to the south and west, C-2 General Retail Commercial to the west, and R-5 Single Family Residential to the north and east (Figure 3). The Zoning Ordinance allows nonessential public uses, such as public parks and library facilities, by Special Use Permit in all zoning districts.

Although the Subject Property is located on the boundary of two Comprehensive Plan land use designations, the Applicant's use of the Subject Property as a public library is generally consistent with the Comprehensive Plan land use designations and the B-1 zoning district.

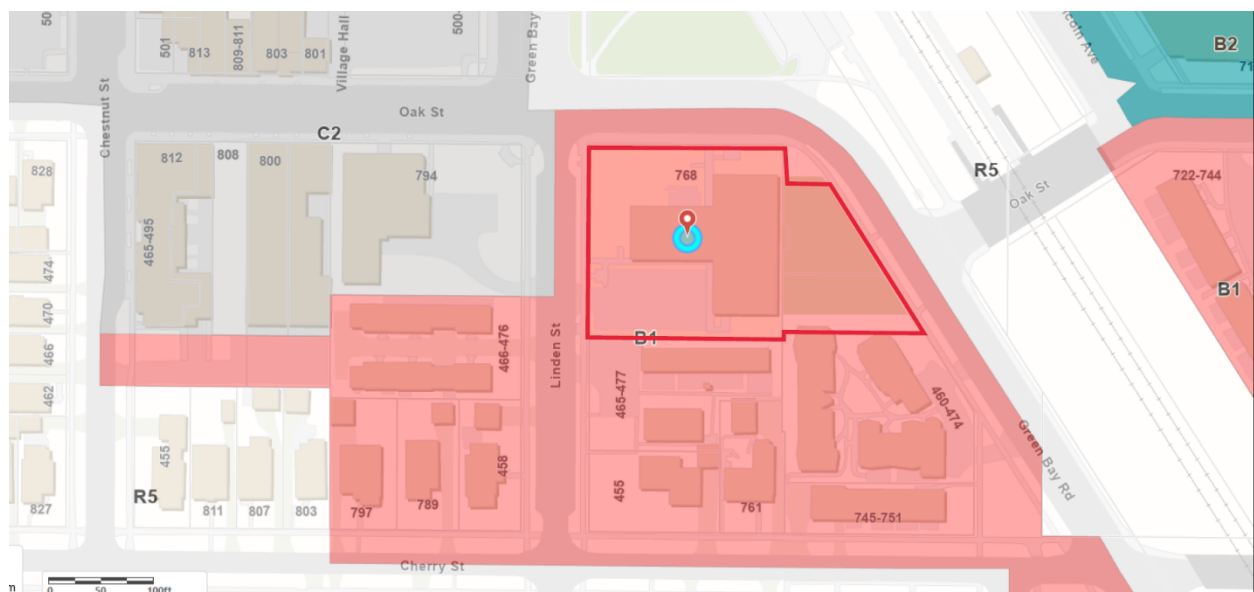


Figure 3 – Zoning Map

GENERAL DESCRIPTION OF PROPOSED PLAT OF CONSOLIDATION / SUBDIVISION

The Applicant acquired the Library Park parcel from the Winnetka Park District in 2022 and is now proposing consolidation of the existing Library parcel with the Library Park parcel, which would create a single buildable lot measuring 46,293 square feet. As described by the Applicant in the attached narrative included in the application materials (**Attachment A**), the purpose of the proposed consolidation is to accommodate additional life safety exits points from the existing library building and new paved walkways from the exits points to the public sidewalks along Green Bay Road, to the east, and Linden Street. The proposed walks represent an increase of 850 square feet of impermeable lot coverage. The necessary permit applications for the proposed improvements have not been submitted to date, the Applicant is simply demonstrating what its intent for the proposed consolidated lot is at this time. However, a preliminary zoning review of the proposed improvements has been completed to verify that what is being presented to the Commission complies with all zoning regulations.

The Applicant has no immediate plans for expansion of the existing library. Any future expansion that would increase the gross floor area of the existing library by at least 50% would require planned development approval.

The proposed consolidation is represented below in Figure 4. An excerpt of the proposed site plan is also provided below in Figure 5, and an excerpt of the *Winnetka-Northfield Library District* Plat of Consolidation is provided in Figure 6 on the following page.

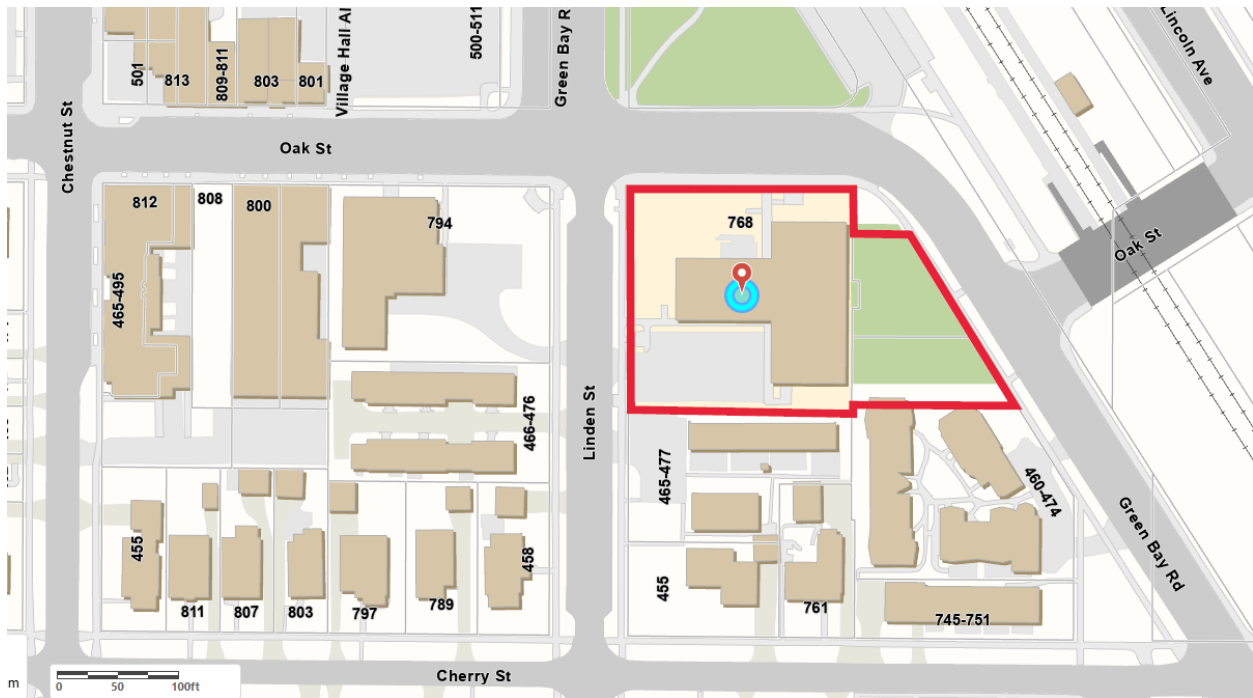


Figure 4 – Proposed Consolidation (neighborhood map view)

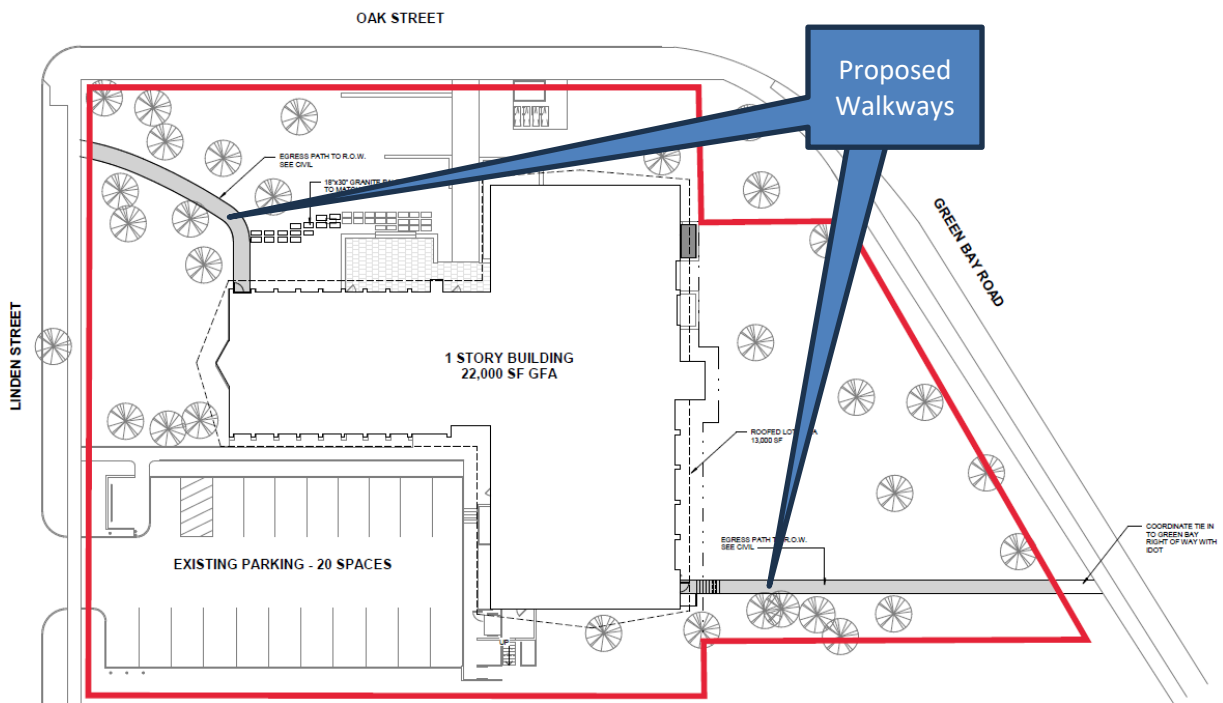


Figure 5 – Proposed Site Plan

Given the close proximity of the proposed walkways to existing trees identified in Figure 5, it is important to note that the Village Forester has reviewed the proposed plans and commented that the walkways should be placed as far as possible from existing trees, with the edge of the walkway no closer than 6 feet from the base of any large tree. The Applicant is aware of this comment and will address it upon submittal of the necessary permits for the proposed improvements. It is also important to note that the Applicant is proposing removal of three trees to accommodate the proposed exit on the east side of the existing library. The Village Forester has confirmed all three trees are less than 8 inches in diameter and therefore do not require replacement or a permit for removal.

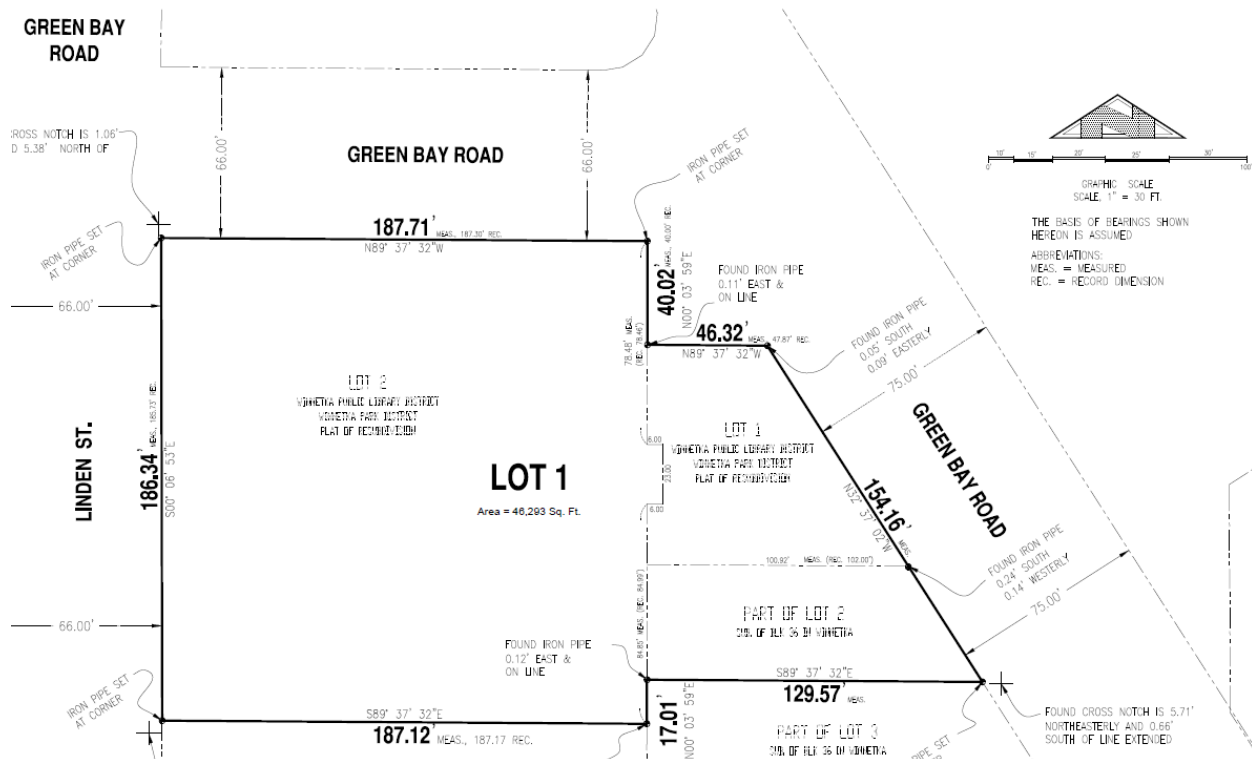


Figure 6 – Excerpt of Proposed Winnetka-Northfield Library District Plat of Consolidation

DESCRIPTION OF ZONING STANDARDS

As noted earlier, the Subject Property is located in the B-1 Multifamily Residential zoning district, which is one of two different multifamily residential zoning classifications in the Village. The purpose of the B-1 zoning district is to *“provide a land use buffer between commercial and detached single-family land uses, and between vehicular traffic along Green Bay Road and detached single family land uses. Consequently, the district encourages development of two-family, low-density multi-family, and where appropriate, other limited land uses which are compatible with nearby detached single-family residential neighborhoods.”*

The requirements of the district are *“further intended to foster development which exhibits a single-family residential character with regard to external architectural appearance, scale, materials, roof pitch, colors, landscaping and other detailing and site improvements.”*

COMPLIANCE WITH ZONING STANDARDS – REQUIRED SETBACKS AND BUILDING SIZE

Even though Library Park is an “open space” use and the Library is an “institutional” use, both are located

within the B-1 Multifamily Residential zoning district and are therefore required to comply with zoning standards and regulations more suitable for low-density multi-family development. Unlike the single-family residential zoning districts, the multi-family zoning districts in the Village do not have minimum lot area, minimum lot depth, or minimum lot width requirements.

The allowable size of buildings on a multi-family lot and the required amount of open space around the buildings is dictated by the Village Zoning Ordinance. As a general rule, the allowable size of buildings and the setback requirements for those buildings change with any modifications to lot dimensions. As a result, staff conducts analyses of proposed lots and the improvements on those lots to determine (a) whether any new zoning nonconformities would be created by the resubdivision and (b) whether there are any existing zoning nonconformities which will remain. In the event of a zoning nonconformity arising out of a proposed subdivision, relief must be granted by both the Plan Commission and Zoning Board of Appeals.

Staff evaluation of the proposed *Winnetka-Northfield Library District Plat of Consolidation* is summarized in Table 3 below and Figure 4 on the following page, and which summary indicates the extent to which the proposed consolidated lot complies with (or fall short of) zoning standards.

Table 3				
Zoning Setback Requirements		<i>Proposed Consolidated Lot</i>	<i>Existing Lot Library</i>	<i>Existing Lot Library Park</i>
SETBACK REQUIREMENTS	Minimum Required Front Yard Setback	25 feet	25 feet	25 feet
	Front yard provided by existing structures	1.5 feet (window well on east side of library)	1.5 feet EXISTING NONCONFORMITY (window well on east side of library)	N/A
	Minimum Corner Yard Setback	25 feet	25 feet	25 feet
	Corner yard provided by existing structures	30.04 feet	30.04 feet	N/A
	Minimum Required Side Yard	12 feet	12 feet	12 feet
	Minimum side yard provided by existing structures	26.75 feet	26.75 feet	N/A
	Minimum Required Rear Yard	N/A	N/A	20 feet
	Rear yard provided by existing structures	N/A	N/A	N/A

Table 4 – Zoning Building Size Requirements		Proposed Consolidated Lot	Existing Lot Library	Existing Lot Library Park
ALLOWABLE BUILDING SIZE	Maximum Allowed Gross Floor Area (GFA) (80% of lot area)	37,034.4 sq. ft.	28,048 sq. ft.	8,987.2 sq. ft.
	GFA provided by existing structures or to be provided	22,000 sq. ft.	22,000 sq. ft.	N/A
	Maximum Allowed Roofed Lot Coverage (RLC) (40% of lot area)	18,517.2 sq. ft.	14,024 sq. ft.	4,493.6 sq. ft.
	RLC provided by existing structures or to be provided	13,000 sq. ft.	13,000 sq. ft.	N/A
	Maximum Allowed Impermeable Lot Coverage (ILC) (60% of lot area)	27,775.8 sq. ft.	21,036 sq. ft.	6,740.4 sq. ft.
	ILC provided by existing structures or to be provided	22,000 sq. ft.	21,150 sq. ft.	N/A

COMPLIANCE WITH SUBDIVISION CODE STANDARDS

All changes to the configuration of parcels of land are classified as Land Subdivisions under the Village Code and are subject to review by the Plan Commission and approval by the Village Council. As part of that review process, resubdivisions are subject to review for compliance with both the Village Subdivision Code as well as the Zoning Ordinance. According to Section 16.12.010 Minimum land subdivision standards of the Subdivision Code, subdivisions shall conform with the Comprehensive Plan and with the minimum standards outlined in Section 16.12.010, such as the street system, street and alley widths, lot size, etc. The proposed subdivision complies with the vast majority of the minimum subdivision standards, however, as described below, there are existing improvements that will remain that require relief from the subdivision standards.

Pre-existing zoning nonconformities (finding of No Material Increased Adverse Impact required) – Two existing nonconformities **will remain** on the proposed lot. The existing library building provides a nonconforming front yard setback of 1.5 feet from the east property line along Green Bay Road, whereas the required setback is 25 feet. Also, the existing building walls of the library do not provide the required building line articulation. The intent of the articulation requirement is “to assure the apparent scale of a building is compatible with the scale of nearby single-family buildings no exterior building wall shall be unarticulated for a distance greater than 50 feet.” The difference in the plane of the walls resulting from the articulation must be at least 4 feet. The existing setback nonconformity that will remain is highlighted (in blue) in Table 3 on the previous page.

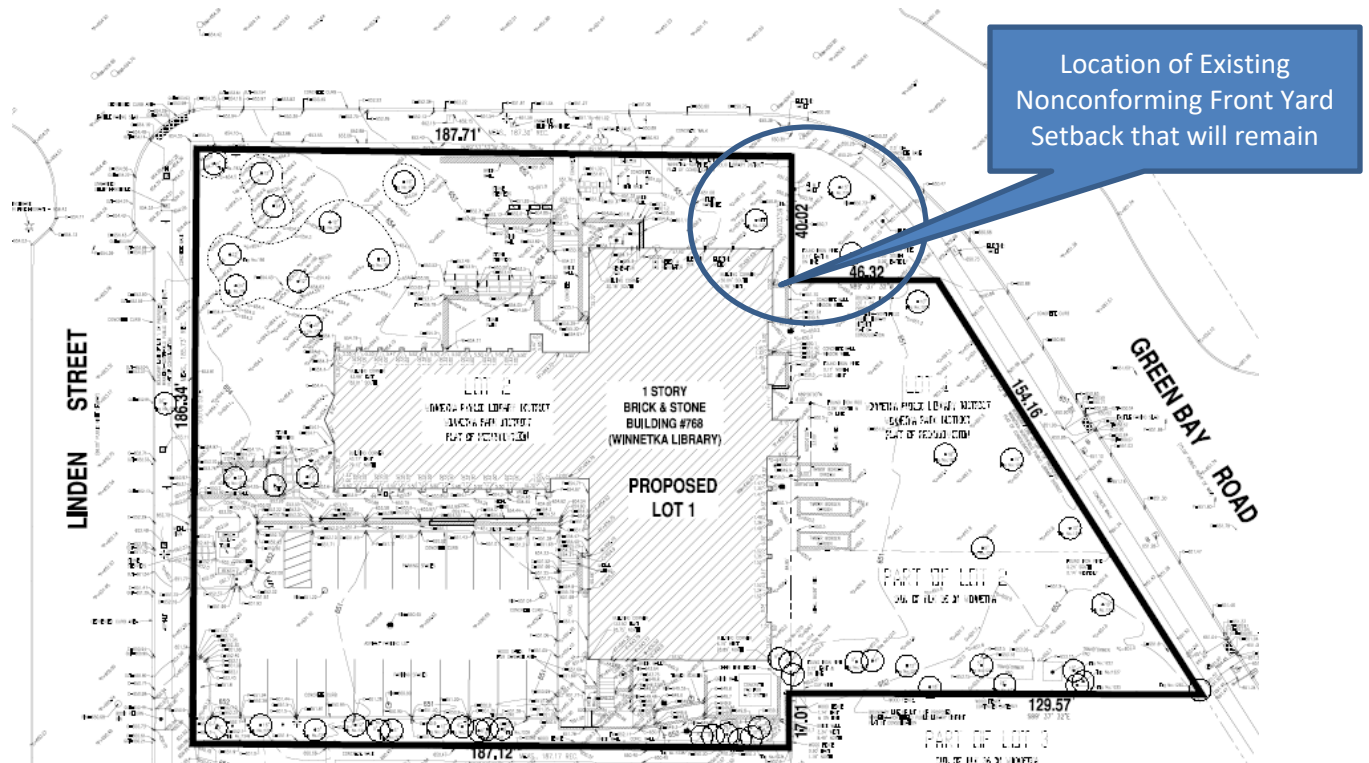


Figure 7 – Excerpt of Library Plat of Survey

Pursuant to Section 16.12.010(D) of the Subdivision Code, in the instance of such nonconformities, the Plan Commission must consider the existence of such nonconformities, and *“shall determine whether such nonconformity, in the context of the proposed subdivision, would result in a material increased adverse impact upon the public health, safety or welfare.”*

STORMWATER

The proposed subdivision consists of consolidating two buildable lots into a single larger lot. As previously mentioned, the Applicant intends to install walkways for new exits from the existing library building. The Village Engineer has reviewed the plans submitted for the proposed consolidation, including the site plan representing the walkways, and did not have any issues with the proposed plan. However, a final determination will be made by Village Engineering staff upon submittal of the permits necessary for the proposed improvements, which are required to comply with the Village stormwater regulations. Figure 8 on the following page represents the Subject Property’s proximity to the floodplain; the cyan represents the 100-year floodplain.

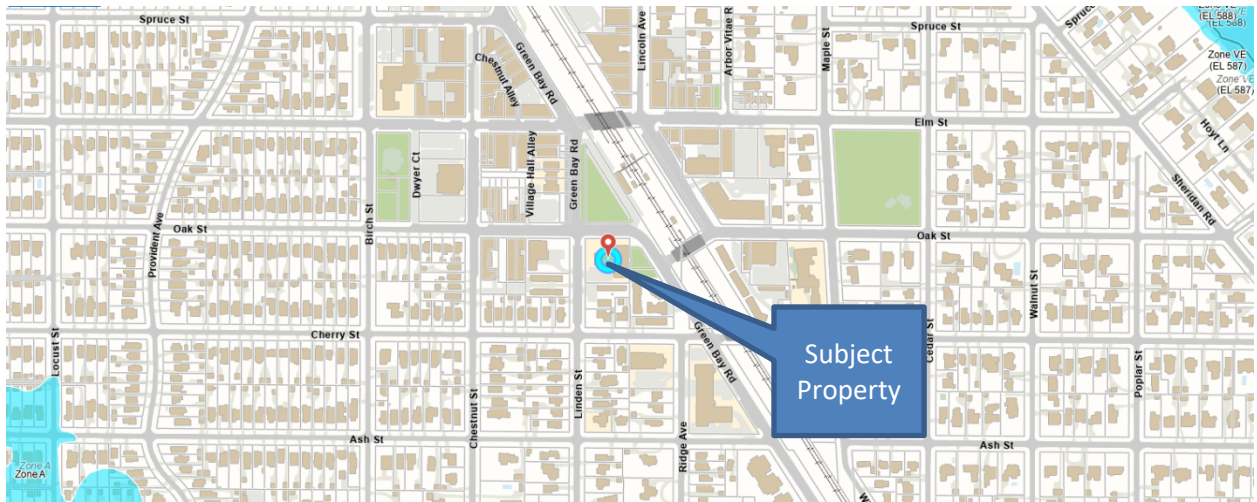


Figure 8 – GIS Floodplain Map

CURRENT CONSIDERATION BY PLAN COMMISSION

The Village Code does not require an applicant to obtain preliminary plat approval as a precondition of final plat approval. In this case, the Applicant has chosen to directly proceed with the final plat review.

In addition to evaluating prescriptive standards of the zoning and subdivision code, consideration of Final Subdivision Plat approval also needs to consider the details of the final plat such as utility easements, final plat formatting and related matters. The Village Water & Electric Department is requiring an easement to cover the existing electric infrastructure along the south portion of the existing Library Park parcel. The Applicant is working with the Water & Electric Department on the details of the easement. The general location of the required easement is outlined in red below in Figure 9.

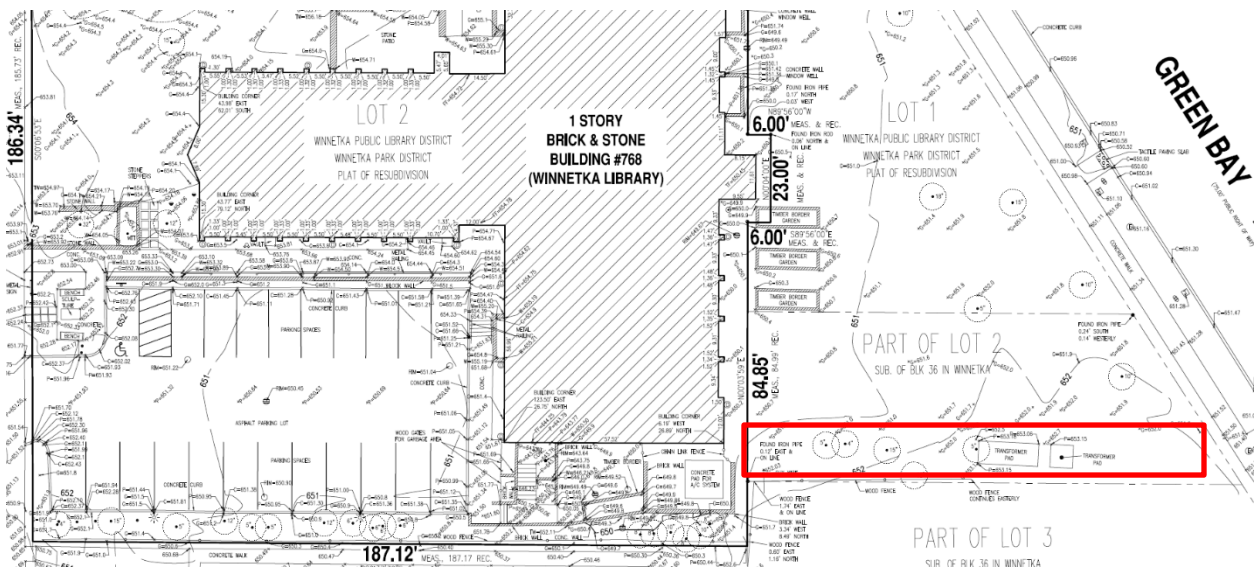


Figure 9 – Sketch of Utility Easement

PLAT FORMATTING – SIGNATURE BLOCKS

All the necessary signature blocks are provided on the plat of subdivision.

FINDINGS & RECOMMENDATION

After hearing from the Applicant and the public, the Commission may decide to take action on one or two options:

1. Continue further review of the application to a specific date in order to provide the Applicant and/or staff additional time to address questions and comments from the Commission; or
2. Consider a motion recommending approval or denial of the Final Plat of Consolidation. If the Commission is prepared to make a recommendation to the Village Council regarding the requested relief, a Commissioner may wish to make a motion recommending approval or recommending denial based upon the following:

The Plan Commission **finds [does not find]**

1. That the proposed Winnetka-Northfield Public Library District Final Plat consolidating the existing lots commonly known as 786 Oak Street and Library Park into a single Lot of Record **meets [does not meet]** the Subdivision Code standards for approving such final plat; and
2. A *"Finding of No Material Increased Adverse Impact upon the public health, safety, or welfare"* with respect to the existing zoning nonconformities for the existing public library at 768 Oak Street that:
 - a. Observes a front yard setback of 1.5 feet from the easterly property line along Green Bay Road, versus the required front yard setback of 25 feet;
 - b. Does not provide the required exterior building wall articulation.

Based upon these findings, the Plan Commission **recommends [does not recommend]** that the proposed Winnetka-Northfield Public Library District Consolidation be approved subject to the following conditions:

1. In a format acceptable to the Village Water & Electric Department and the Village Attorney; a utility easement shall be provided along a portion of the south lot line; and
2. Final review and approval of the plat by the Village Attorney prior to recordation of the plat.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Proposed Plat of Consolidation (Winnetka-Northfield Public Library District Consolidation)

ATTACHMENT A

Village of Winnetka
SUBDIVISION/CONSOLIDATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT

SUBDIVISION/CONSOLIDATION APPLICATION

Case No. 24-26-SD

Property Information

Site Address: 768 Oak Street, Winnetka, IL

Parcel Identification Number(s) (PIN): 05-20-218-024; 05-20-218-023; 05-20-218-022

Property Owner Information

Name: Winnetka-Northfield

Public Library District

Primary Contact: Monica Dombrowski, Executive Director

Address: 768 Oak Street

City, State, Zip: Winnetka, IL 60093

Phone No. 847-446-7220

Email: mdombrowski@wnpld.org

Date owner acquired property: 01/06/2023

Architect Information

Name: Engberg Anderson

Primary Contact: Kristin Richardson

Address: 8618 W Catalpa Ave, Suite #1116

City, State, ZIP: Chicago, IL 60656

Phone No. 312-846-7584

Email: kristinr@engberganderson.com

Surveyor Information

Company Name: BH Suhr

Primary Contact: Tanja Zec

Address: 450 Skokie Blvd, Suite 105

City, State, Zip: Northbrook, IL 60062

Phone No. 847-864-6315

Email: tanja@bhsuhr.com

Attorney Information

Name: Peregrine, Stine, Newman, & Ritzman

Primary Contact: Roger Ritzman

Address: 221 E. Illinois Street

City, State, Zip: Wheaton, IL 60187

Phone No. 630-665-1900

Email: rritzman@psnrb.com

Property Owner Signature: Monica Dombrowski

Digitally signed by Monica Dombrowski
Date: 2024.11.11 15:31:49 -0600

Date: 11/11/2024

November 11, 2024

Ann Klaassen
Village of Winnetka
Department of Community Development

RE: 768 Oak Street - Winnetka Public Library – Plat Consolidation

Dear Ms. Klaassen,

The Winnetka Public Library District seeks to consolidate their Winnetka Branch library property with the adjacent “Library Park” already owned by the District. The purpose of consolidation is to accommodate additional life safety exit points from the building and paved discharge paths to the Right of Way at Green Bay Road and Linden Street. Such discharge paths cannot cross unconsolidated property to access the Right of Way per applicable code.

Previous zoning analysis by the Village has concluded that planned development approval is required for new building or increasing the GFA by at least 50%. The proposed improvements meet neither of these criteria, as such the intent at this time is to submit for Plat Consolidation only.

The library currently has no immediate plans for expansion of the existing building, and understands that such improvements would require planned development review and approval to do so. The proposed consolidation and improvements at this time make no modifications to the existing GFA, volume, height or shape of the primary structure, or provide any change in use of the property. A minor increase in impermeable surface area is expected to accommodate new walkways; the total impermeable area is in conformance with applicable ordinance.

A summary of the property’s conformance to zoning standards is provided below.

Property Data:

Zoning: B-1 Multi Family Residential
Allowed Land Use: Special Use (Existing)

CRITERIA	ALLOWED / REQUIRED	PROPOSED (Library Lot + Library Park Lot)
Lot Area	-	Approx 35,023 SF + 11,270SF 46,293 SF
Maximum Height	35 Feet or 2 ½ Stories, whichever is less	Existing Structure to remain unchanged: Existing height = Approx 33 Feet
Maximum Gross Floor Area (GFA) 80% of Lot Area	37,035 SF	Existing Structure to remain unchanged: 22,000 SF
Maximum Roofed Lot Coverage 40% of Lot Area	18,517 SF	Existing Structure to remain unchanged: 13,000 SF

Impermeable Surface Area 60% of Lot Area	27,776 SF	Existing = Approx 21,150 SF Proposed increase = 850 SF Proposed Total = 22,000 SF
Minimum Front Yard Setback (Green Bay Rd)	25 Feet	Existing 5'-10" condition at Corner of Green Bay Rd 30'+ all else
Minimum Front Yard Setback (Oak Street)	25 Feet	30'-3"
Minimum Front Yard Setback (Linden Street)	25 Feet	39'-0"
Minimum Side Yard Setback (South)	12 Feet	26'-8"
Exterior Wall Articulation	No unarticulated wall greater than 50', articulation a minimum of 4'	Existing to Remain No exterior walls exceed 50'
Principal Roof Form	Must be between 35 & 60 degrees, no shed, flat, mansard, butterfly or domed roofs are permitted	Existing Roof structure to remain unchanged
Parking Spaces	As determined during special use process	No change to existing parking provisions

Sincerely,

Kristin Richardson, Senior Associate
Engberg Anderson Architects

[Redacted Signature]

Signature

11/11/2024

Date

Monica Dombrowski, Executive Director
Winnetka-Northfield Public Library District

[Redacted Signature]

Signature

11/11/24

Date

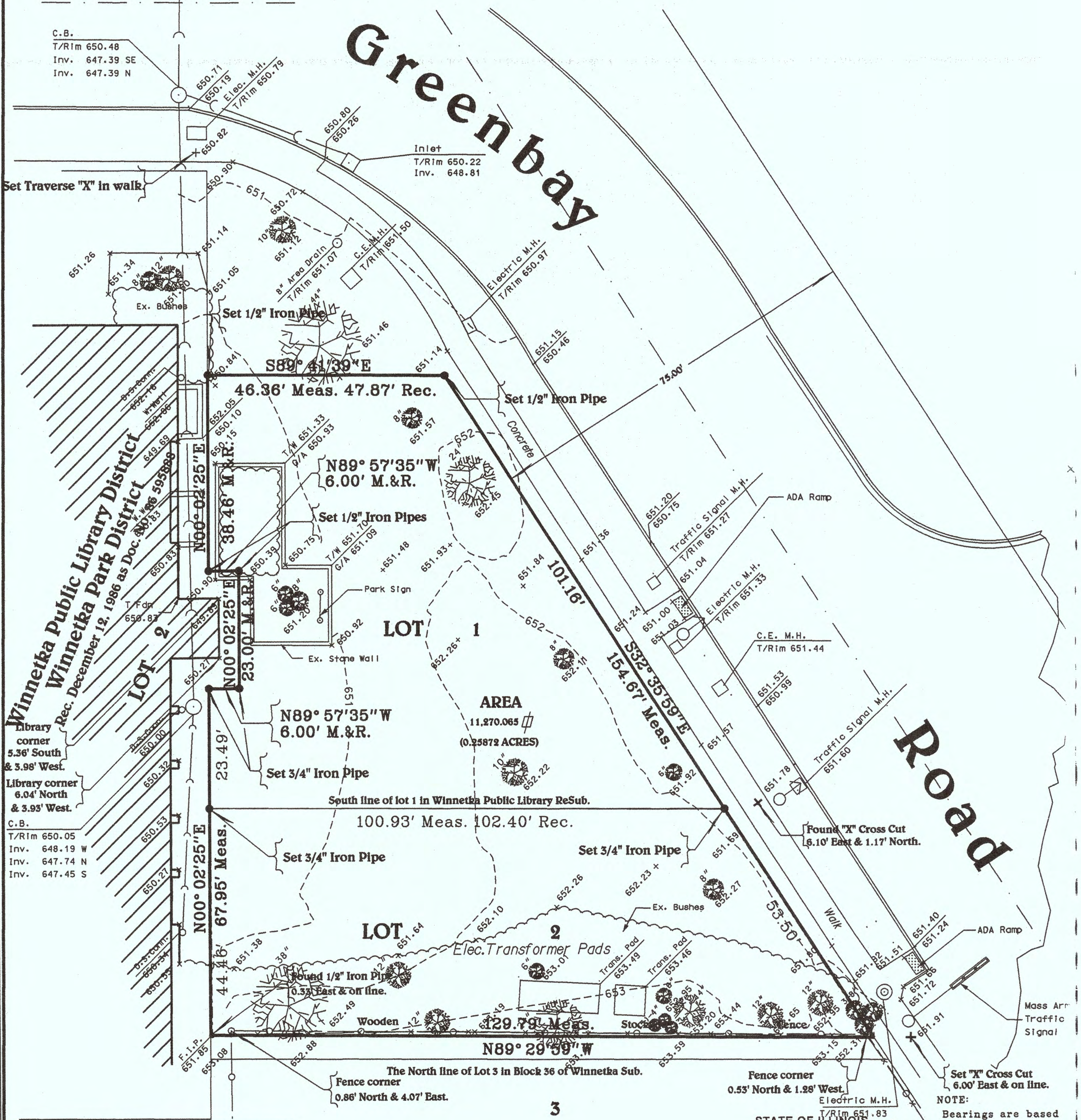
EA File Name: U:\PROJECTS\2024 3694\243737 WNPLD Winnetka Improvements\1-Project Administration\6-Codes & Zoning\Zoning\Zoning Narrative.Docx

PLAT OF SURVEY

Scale:

1" = 20.00'

That part of Lot 1 in the Subdivision of Block 36 in Winnetka, being a Subdivision of the Northeast Quarter of Section 20 and the North Half of Section 21 in Township 42 North, Range 13 East of the Third Principal Meridian in Cook County, Illinois, according to the Plat of said Subdivision of Block 36 as recorded in the office of the Recorder of said Cook County, Illinois, in Book 60 of Plats, at Page 20, as Document No. 1842994, that lies South of a line drawn parallel with and 40.0 feet South of the North line of said lot as Measured at right angles thereto, and westerly of a line drawn parallel with and 75.0 feet southwesterly of the northeasterly line of said lot as measured at right angles thereto; also that part of Lot 2 in the Subdivision of Block 36 aforesaid that lies westerly of a line drawn parallel with and 75.0 feet southwesterly of the northeasterly line of said lot as measured at right angles thereto.



DANIEL CREANEY COMPANY CONSULTING CIVIL ENGINEERS

450 SKOKIE BLVD. SUITE 105
NORTHBROOK, ILLINOIS
(847) 480 - 5757
FAX (847) 480 - 7209



BOOK: _____

JOB NO.: **7309**

SHEET **1** OF **1**

Notes:

1. This plat is subject to the conditions and restrictions as shown on the title insurance policy. A copy of a current title insurance policy should be obtained when using this plat.
2. All survey points should be compared on the ground and with one another before building by same and any discrepancies be reported immediately to this firm.
3. No dimensions or angles hereon to be assumed by scaling. Distances noted hereon are in feet and decimal parts thereof.
4. Any information relative to utilities or elevations hereon are taken from available records, unless otherwise noted.

STATE OF ILLINOIS
COUNTY OF COOK

I, Jeffrey D. Carlson, do hereby certify that I, have surveyed the property as described in the above caption and that the Plat hereon drawn is a correct representation of said survey.

I further state that this professional service conforms to current Illinois minimum standards for a boundary survey. The work was performed for W. P. D., and the field work was completed on June 10th, 2015.

Northbrook, Illinois July 13, 2015

Illinois Professional Land Surveyor No. 2538
My License expires November 30, 2016

PLAT of SURVEY with TOPOGRAPHY

LEGAL DESCRIPTION: LOT 1 IN PROPOSED WINNETKA-NORTHFIELD PUBLIC LIBRARY DISTRICT PLAT OF CONSOLIDATION, BEING A PROPOSED CONSOLIDATION OF VARIOUS LOTS AND PARCELS IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

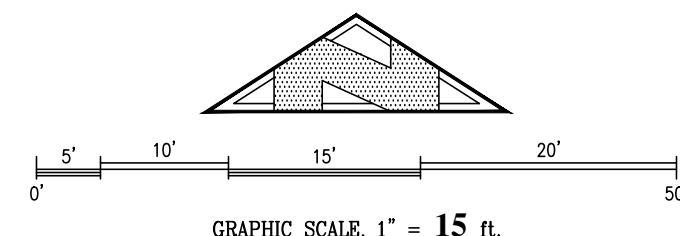
COMMONLY KNOWN AS: 768 OAK ST, WINNETKA, ILLINOIS.

GREEN BAY
ROAD

OAK STREET
(66.07' PUBLIC RIGHT OF WAY)

LINDEN STREET
(66.07' PUBLIC RIGHT OF WAY)

GREEN BAY ROAD
(Top Area 56.74' of R/W)



The bearings shown hereon are with reference to: Illinois State Plane Coordinate System, East Zone, Grid North

LEGEND	
	CATCH BASIN
	MANHOLE
	TRAFFIC SIGNAL VAULT
	TRAFFIC LIGHT POLE
	TRAFFIC LIGHT POLE
	STREET LIGHTING VAULT
	ELECTRIC VAULT/MANHOLE
	CLEANOUT PIPE
	SIGN
	DRAIN
	DOWNSPOUT CONNECTED
	BOLLARD
	FIRE HOSE CONNECTION
	FIRE HYDRANT
	IRRIGATION CONTROL VALVE
	BACK OF CURB
	FINISHED FLOOR
	GROUND SHOT
	GUTTER
	PAVEMENT
	WALL
	TOP OF WALL
	TOP OF FOUNDATION

•10" = Tree/Diameter (MTT = Multiple Trunk)

B.H. SUHR & COMPANY, INC.	
SURVEYORS ESTABLISHED 1911	
450 SKOKIE BLVD. SUITE 105, NORTHBROOK, ILLINOIS, 60062	
TEL. (847) 864-4315 / FAX (847) 864-4341	
E-MAIL: SURVEY@BHSI-ILL.COM	
LOCATION 768 OAK STREET	SURVEY DATE, MAY 31 , 20 23
ORDER No. 23-048	ORDERED BY MONICA DOMBROWSKI
Professional Design Firm License No. 194.000657-0008	
MPF/BD 00000 B. H. Suhr & Company, Inc. All rights reserved.	

FIELD MEASUREMENTS COMPLETED **MAY 31**, **20** **23**

STATE OF ILLINOIS
COUNTY OF COOK, ILL.

This professional service conforms to the current Illinois Minimum Standards for a boundary and topographic survey.

By *Michael E. Farrell* Dated **JULY 14**, **20** **23**

Michael E. Farrell
Illinois Professional Land Surveyor No. 035-002639
License Expiration Date 11/30/24



Revised 11/11/2024 - Additional elevations
- Trees tags added
Revised 11/12/2024 - Revised description

SITE NOTES:
Area = 46,293 square feet more or less
Elevations are with reference to NAVD 88, as established by GPS observations, on May 31, 2023, utilizing Geoid 12b.
Site Benchmark is the Northeast bolt of a fire hydrant at the Southwest corner of the intersection of Linden Street and Oak Street
Elev. = 656.43 NAVD88

GENERAL NOTES:
All information provided to the surveyor is shown or noted herein.
No Title Report was supplied for this survey.

Underground utilities are NOT shown hereon.

Prior to excavation call
J.U.L.I.E. at 811 or 800-892-0123

All building restrictions, building lines and easements may or may not be shown. Check your Deed, Abstract, Title Report, and local ordinances. No responsibility is assumed by the surveyor.

Compare all points before building by same and report any discrepancy at once.

Dimensions are shown in feet and decimal parts thereof. No dimension is to be assumed by scaling.



Horigan Tree Care, LLC. PO Box 2724 Glenview, IL 60025

Tree Inventory: Winnetka Public Library

10/23/2024

Justin Horigan, Certified Arborist IL-5385a

<u>Tag #</u>	<u>Species</u>	<u>DBH</u>	<u>Condition</u>	<u>Comments</u>
182	Norway Maple	19"	4	Poor form, girdling root
184	Red Maple	14"	3	
185	White Oak	24"	3	
186	Red Maple	18"	3	
187	White Oak	26"	4	Top dieback
188	Red Maple	12"	2	
1202	Blue Ash	18"	3	
1251	Blue Ash	12"	4	In decline
1250	White Oak	33"	2	
1856	Red Maple	14"	4	Poor crotching structure/girdling roots
190	Red Maple	14"	3	
191	Red Maple	14"	3	
1203	Hawthorn	9"/9"/7" MS	2	
1204	Red Oak	16"	3	
1205	White Oak	41"	2	
1206	White Oak	10"	3	
1207	White Oak	18"	3	
1208	Chinkapin Oak	15"	2	
1209	White Oak	11"	3	
1210	White Oak	10"	3	
1230	Linden	8"/10"/10"/12"	3	
1223	Elm	10"	3	
1224	Box Elder	18"	4	
1221	Scarlet Oak	25"	3	
1218	Mulberry	18"	4	
1217	Box Elder	15"	4	
1248	Red Maple	17"	3	
1246	Red Maple	11"	3	
1243	Red Maple	15"	3	
1239	Arborvitae	8"	3	
1238	Arborvitae	9"	4	Girdling wires
1236	Arborvitae	9"	4	Girdling wires
1234	Arborvitae	9"	3	
1233	Arborvitae	8"	3	

KEY:

- 1-Excellent with proper form
- 2-Good, not fully grown or slight form issues
- 3- Average health/some minor pest or form issues
- 4- Sick or damaged tree/still potentially viable
- 5- Severe decline/disease
- 6-Dead

WNPLD - WINNETKA
BRANCH LIBRARY

768 OAK STREET
WINNETKA, IL 60093

WINNETKA - NORTHFIELD PUBLIC LIBRARY
DISTRICT

PROJECT NUMBER223446

ISSUED FOR:

VILLAGE REVIEW11/21/24

REVISION FOR:

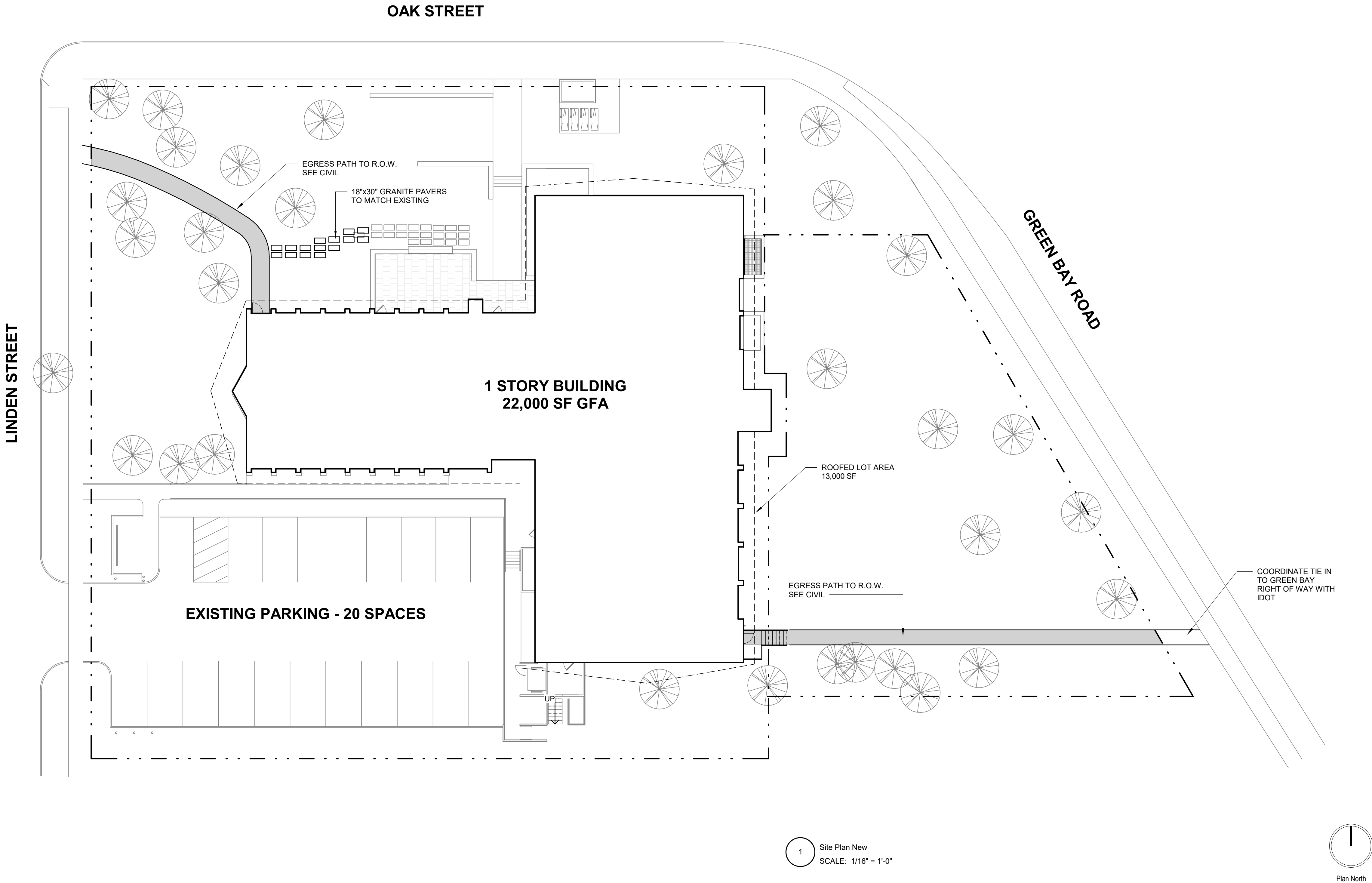
NO.	DESCRIPTION	DATE
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50% REVIEW SET - NOT
FOR CONSTRUCTION

DRAWN BYKR

CHECKED BYKR

SITE PLAN

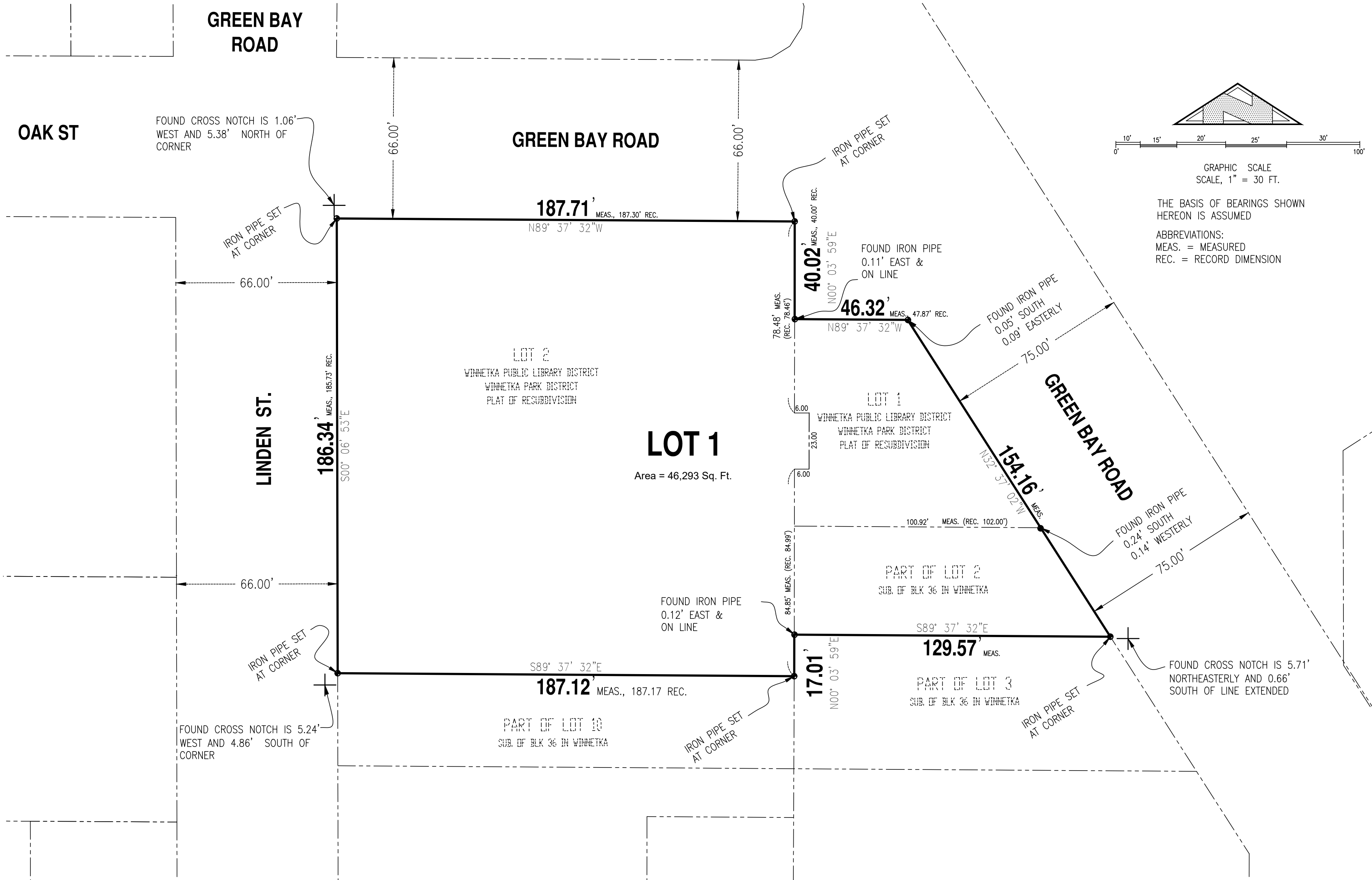


Winnetka-Northfield Public Library District

Plat of Consolidation

PRELIMINARY FOR REVIEW
11/11/2024

BEING A CONSOLIDATION OF VARIOUS LOTS AND PARCELS IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



OWNER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

_____ does hereby certify that it is the Owner of the property described hereon and that it has caused the said property to be surveyed and consolidated as shown hereon.

Dated _____ A.D. 2024.

By: _____ Attest: _____

(Print Name)

(Print Name)

(Title)

(Title)

NOTARY PUBLIC'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

I, _____ a notary public in and for said county in the state aforesaid do hereby certify that

_____ and _____ are personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such

_____ and _____ appeared before me this day in person and acknowledged they signed the said instrument as their own free and voluntary act for the use and purposes therein set forth.

Given under my hand and notarial seal.

This _____ day of _____, A.D. 2024

Notary Public

VILLAGE BOARD OF TRUSTEES

STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS,

THIS _____ DAY OF _____, 20____.

By: _____
VILLAGE PRESIDENT, WINNETKA, IL

ATTEST: _____
VILLAGE CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

RECOMMENDED BY THE PLAN COMMISSION OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS

ON _____ DAY OF _____, 20____.

By: _____
PLAN COMMISSION CHAIR

ATTEST: _____
SECRETARY

DIRECTOR OF FINANCE CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

I, _____, FINANCE DIRECTOR OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS THEREON THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND LEGALLY DESCRIBED IN THIS PLAT OF SUBDIVISION.

DATED THIS _____ DAY OF _____, 20____

By: _____
FINANCE DIRECTOR

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____ A.D. 20____.

By: _____
VILLAGE ENGINEER

WATER AND ELECTRIC DEPARTMENT CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE DIRECTOR OF WATER AND ELECTRIC OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____ A.D. 20____.

By: _____
DIRECTOR OF WATER AND ELECTRIC

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

I, Michael E. Farrell, an Illinois Professional Land Surveyor, No. 035.002639, do hereby certify that I have surveyed, in accordance with the laws and usages of the State of Illinois, and with the ordinances of Cook County, for the following described property, to wit:

LOTS 1 AND 2 IN "WINNETKA PUBLIC LIBRARY DISTRICT WINNETKA PARK DISTRICT PLAT OF RESUBDIVISION", BEING A RESUBDIVISION OF PART OF LOTS 1 AND 10, AND ALL OF LOTS 11 TO 13 IN THE SUBDIVISION OF BLOCK 36 IN "WINNETKA", RECORDED DECEMBER 12, 1986 AS DOCUMENT NO. 86595888, IN COOK COUNTY, ILLINOIS.

AND THAT PART OF LOT 2 IN THE SUBDIVISION OF BLOCK 36 IN WINNETKA, THAT LIES WESTERLY OF A LINE DRAWN PARALLEL WITH AND 75 FEET SOUTHWESTERLY OF THE NORTHEASTERLY LINE OF SAID LOT AS MEASURED AT RIGHT ANGLES THERETO, IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, SITUATED IN THE VILLAGE OF WINNETKA, IN COOK COUNTY, ILLINOIS

I further certify that I have consolidated the same into one (1) lot as shown on the attached plat. Monuments identify all lot corners as shown on said plat and all measurements are given in feet and decimals thereof and the basis of bearing is assumed.

I further certify that the property shown hereon is situated in ZONE X (an area outside of a special flood hazard area), on FIRM panel No. 17031C0251K with an Effective Date 9/10/2021.

I further certify that the property shown hereon is within the village of Winnetka, Illinois, which has adopted a village plan and is exercising the special powers authorized by division 12 of article 11 of the municipal code, as heretofore and hereafter amended

B.H. SUHR & COMPANY, INC.
450 Skokie Blvd. suite 105, Northbrook, Illinois, 60062

By: _____, Date: _____
Michael E. Farrell
Illinois Professional Land Surveyor No. 035-002639
License Expiration Date 11/30/26

SURVEYOR PERMISSION TO RECORD:

The undersigned hereby authorizes the Village of Winnetka and/or its designated agents to record this Plat of Subdivision with the Office of the Cook County Recorder of deeds on behalf of the undersigned.

By: _____
MICHAEL E. FARRELL
Illinois Professional Land Surveyor No. 035-002639
License Expiration Date 11/30/2026

SUBMITTED BY AND RETURN PLAT TO:	
VILLAGE OF WINNETKA	
DEPARTMENT OF COMMUNITY DEVELOPMENT	
510 GREENBAY RD.	
WINNETKA, ILLINOIS, 60093	

LOT 1-SEND TAX BILL TO:	

Original Pct	Original Pin	Surveyed Area
Lot 1 Library Resub.	05-20-218-023-0000	6,106 Sq.Ft.
Lot 2 Library Resub.	05-20-218-024-0000	35,060 Sq.Ft.
Prt Lot 2 Sub. of Blk 36	05-20-218-022-0000	5,128 Sq.Ft.
Total		46,293 Sq.Ft.

B.H. SUHR & COMPANY, INC.	
SURVEYORS ESTABLISHED 1911	
450 SKOKIE BLVD. SUITE 105, NORTHBROOK, ILLINOIS, 60062	
TEL. (847) 864-6315 / FAX (847) 864-9341	
E-MAIL: SURVEYOR@BHSUHR.COM	
Professional Design Firm License No. 184.008027-0008	
LOCATION WINNETKA PUBLIC LIBRARY	
ORDER No. 23-048-A	ORDERED BY MONICA DOMBROWSKI
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