



Village of Winnetka

Zoning Administrator Meeting

May 1, 2025 at 4:00 PM
Winnetka Village Hall - 510 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Public Comments**
3. **New Applications**
 - a. **Case No. 25-06-ZA - 1034 Westmoor Road:** An application seeking approval of a zoning variation to allow structural changes necessary to provide new window openings and one-for-one replacement of a portion of the foundation in the legally nonconforming east side building wall of the existing residence at 1034 Westmoor Road.
4. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a public hearing will be held by the Winnetka Zoning Administrator on **THURSDAY, MAY 1, 2025, AT 4:00 PM** in the **Council Chambers of Winnetka Village Hall** at **510 Green Bay Road**, Winnetka, Illinois for the purpose of considering the following:

CASE NO. 25-06-ZA
1034 WESTMOOR ROAD – RESIDENTIAL RENOVATION

An application submitted by Larry and Kristina Baker (collectively, the “Applicant”), as the owners of the property located 1034 Westmoor Road (the “Subject Property”) **to allow work beyond ordinary repair and maintenance to a portion of the existing legally nonconforming residence on the Subject Property**. The Applicant has filed an application seeking approval of the following:

1. A variation to allow structural changes necessary to provide new window openings in the legally nonconforming east side building wall that provides less than the minimum required setback of 12 feet; and
2. A variation to allow the one-for-one replacement of a portion of the legally nonconforming east side building wall foundation that provides less than the minimum required side yard setback of 12 feet.

The Subject Property (Parcel Index Number 05-17-314-004-0000) is generally located on the south side of Westmoor Road between Rosewood Avenue and Locust Street and is zoned R-3 Single Family Residential. The Subject Property contains an existing two-and-a-half story residence with an attached garage.

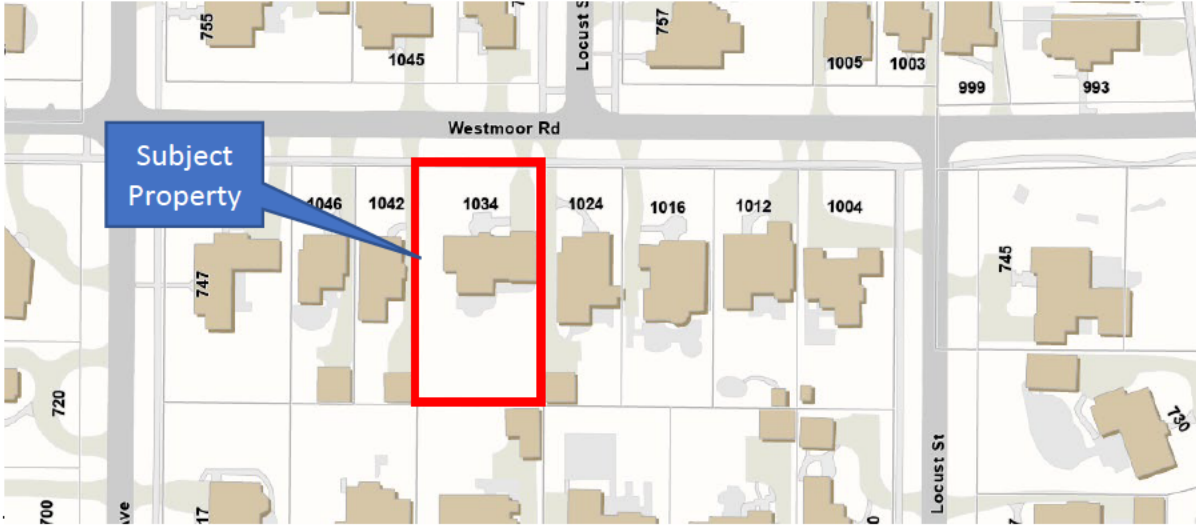
PUBLIC COMMENT & APPLICATION INFORMATION

At said public hearing and at any continuance thereof, all persons interested are invited to attend and be heard. The agenda and materials for the meeting will be posted on the Village’s website - www.villageofwinnetka.org/agendas no later than Friday, April 25, 2025. Persons seeking additional information concerning this application are directed to email inquiries to planning@winnetka.org or by calling 847-716-3587.

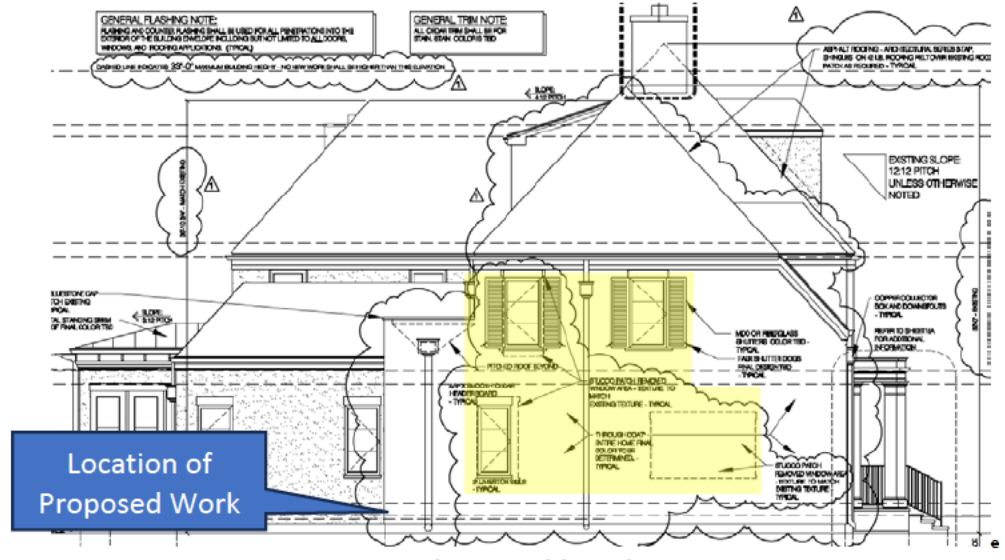
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Proposed North Building Elevation



Proposed East Building Elevation

(Note: Details may change through review process.)

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. _____

Property Information

Site Address: 1034 WESTMEER ROAD, WINNETKA

Owner Information

Name: MR. & MRS. LARRY & KRISTINA BAKER Primary Contact: LARRY BAKER

Address: 1034 WESTMEER RD Phone No. [REDACTED]

City, State, ZIP: WINNETKA, IL

Email: [REDACTED]

Date property acquired by owner: 4/13/21

Architect Information

Name: GTH ARCHITECTS

Primary Contact: JOHN TONICLO

Address: 105 REVERE DRIVE

City, State, ZIP: NORTHBROOK IL 60062

Phone No. 847.732.9679

Email: GTHARCHITECTS@GTHGLOBAL.NET

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Nature of any restrictions on property: ALTER DOORS & WINDOWS ON NON-CONFORMING EAST FACADE WITHIN SETBACK

Brief explanation of variation(s) requested (attach separate sheet providing additional details):
MINOR VARIATION REQUEST TO ALTER DOORS & WINDOWS ON FACADE EAST WITHIN SETBACK: REPLACE INTERIOR GARAGE SLAB & FOUNDATION

Property Owner Signature [REDACTED]

Date: 4/3/25



April 3, 2025

Village of Winnetka
Zoning Department and Zoning Administrator
Winnetka, Illinois

RE: 1034 Westmoor Road

Dear Board and Zoning Administrator

Attached are the documents required for our request for a minor variance to alter a portion of the north façade and the east façade of the existing home at 1034 Westmoor.

The east façade:

Currently, there is one set of three windows in the garage on the first floor as well as a single window on that façade more south. There is also one window on the second floor above the single first floor window.

We are proposing to remove the existing first floor set of three garage windows and patch the existing stucco with new to match. The existing single first floor window will be replaced.

On the second floor we will replace the existing southerly window and add one additional window to match.

The north façade:

We are proposing to remove a significant portion of the non conforming portion of the garage that protrudes past the front façade of the house so that it will be behind the existing main façade of the home so there is approximately 30sf of non conforming footprint being removed on the north east corner. We are proposing then to install a new overhead garage door on this new relocated garage façade on the first floor.

On the second floor we are also moving the nonconforming portion back by approx.. 30sf and have redesigned to have a smaller dormer that is beyond the required setback and does not need any consideration.

The rear of the second floor has sloped roof areas we are also removing from the nonconforming areas.

In summary, we are removing portions both front first and second floors from the nonconforming

areas and also second floor areas of nonconformity. And, asking for relief to alter existing window locations and the addition basically of one second floor window.

If you have any questions please do not hesitate to email or call.

Kind regards,

Jeff Harting

Standards for Variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that district.

As we Are not asking for additional relief or requesting more or additional square footage, but only asking to remove portions of non conformity and altering aspects of the non conforming façade, I am not quite sure how this standard applies. This standard does however apply in terms of altering the home in this area to accommodate the rational and reasonable renovations required to make the home functional and practical and thus does then increase and improve the reasonable return on the improvements.

2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.

The plight is due to the circumstances from previous additions and renovations created by previous owners, permits and variations. Some of which may have been due to changing and or reduced side yard setbacks that have made this portion of the existing home non conforming.

3. The variation, if granted, will not alter the essential character of the locality.

It shall not alter the character of the locality as the proposed improvements are in keeping with the style and character of the home. I would propose this would improve the essential character of the locality and also enhance by removing significant portions OF the non conforming areas on the first floor and second floor.

4. An adequate supply of light and air to the adjacent property will not be impaired.

In fact it shall be improved by the proposed removal of these non conforming portions and the proposed existing and new window locations shall not affect the neighboring property.

5. The hazard from fire and other damages to the property will not be increased.

The removal and alterations to the non conforming walls will not increase and in fact with code required standards for wall construction they shall be improved.

6. The taxable value of the land and buildings throughout the Village will not diminish.

They shall not be diminished but improved in our opinion.

7. The congestion in the public street will not increase.

The proposed variation and alterations shall not create any long standing congestion based on what we are requesting.

8. The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired.

The proposed variation and alterations shall not affect any of these items in any way.

Jeff Harting



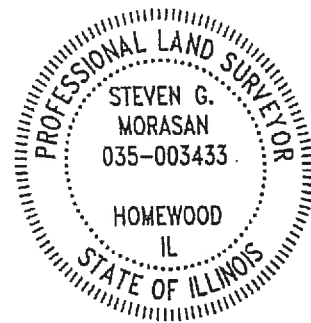
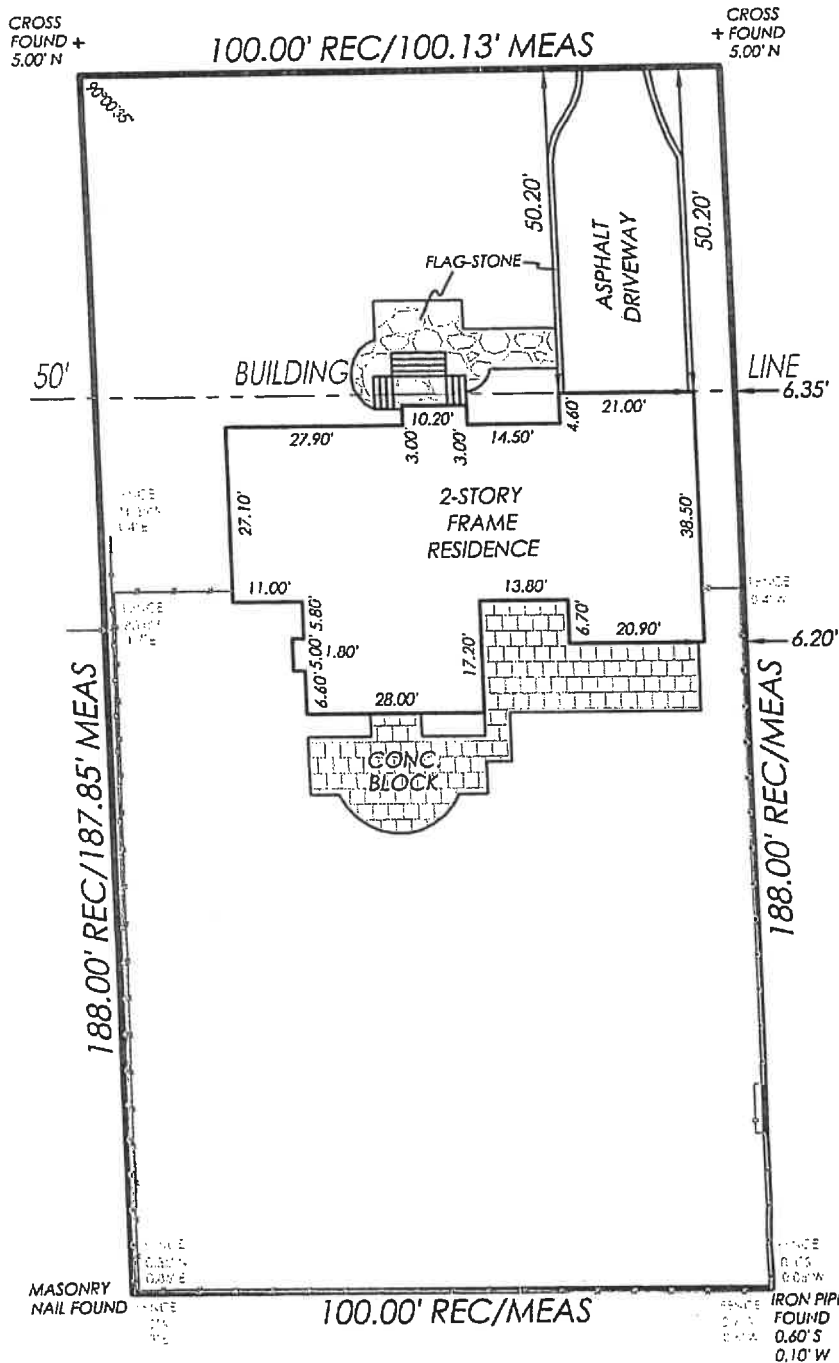
PLAT OF SURVEY

E

18148 S. MARTIN AVE. HOMewood, IL 60430 708-1-SURVEY (478-7839) 708-478-4076 FAX

LOT 3 IN BLOCK 1 IN WINNETKA HEIGHTS, BEING A SUBDIVISION OF PART OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF AND ADJOINING THE EAST LINE AND THE EAST LINE EXTENDED OF ROSEWOOD AVENUE (FORMERLY OAKRIDGE AVENUE) IN THE VILLAGE OF WINNETKA, IN COOK COUNTY, ILLINOIS

WESTMOOR ROAD



LOT AREA:
18,800.0 SQ. FT.
0.43 ACRES

AS PER CLIENT/AGENT, MONUMENTS NOT RECOVERED AT THE TIME OF THIS SURVEY WERE NOT RESET.

STATE OF ILLINOIS) STATE OF ILLINOIS REG. # 184-002702
COUNTY OF COOK) S.G.

ON BEHALF OF STREAMLINE SURVEY, INC., I HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STREAMLINE SURVEY, INC.
BY: DATED: MARCH 25, 2021
REGISTERED ILLINOIS LAND SURVEYOR

DATE OF LICENSE EXPIRATION: NOVEMBER 30, 2022 DATE OF FIELD WORK COMPLETION: MARCH 25, 2021

REVIEW YOUR DESCRIPTION AND PHYSICAL EVIDENCE WITH THIS PLAT AND REPORT ANY DIFFERENCES YOU MAY FIND.

ALL DISTANCES AS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. NO ANGLES OR DISTANCES ARE TO BE DETERMINED BY SCALING.

SCALE: 1"=20'
JOB NO.: 21-0084
ADDRESS: 1034 WESTMOOR RD.
WINNETKA, IL
P.L.N.: 05-17-314-004
TOWNSHIP: NEW TRIER
ORDERED BY: LOURDES ROLDAN



S

EXISTING SLC
12:12 PITCH
UNLESS OTH
NOTED

1

REPLACED WINDOW

PROPOSED NEW WINDOW

MDO OR FIBERGLASS
SHUTTERS COLOR TBD -
TYPICAL

FAUX SHUTTER DOGS
FINAL DESIGN TBD
- TYPICAL

COPPER COLLECTOR
BOX AND DOWNSPOUTS
- TYPICAL

REFER TO SHEET 15A
FOR ADDITIONAL
INFORMATION

PITCHED ROOF BEYOND

5/4" X SMOOTH CEDAR
HEADER BOARD
- TYPICAL

STUCCO PATCH REMOVED
WINDOW AREA - TEXTURE TO
MATCH
EXISTING TEXTURE - TYPICAL

THROUGH COAT
ENTIRE HOME FINAL
COLOR TO BE
DETERMINED. -
TYPICAL

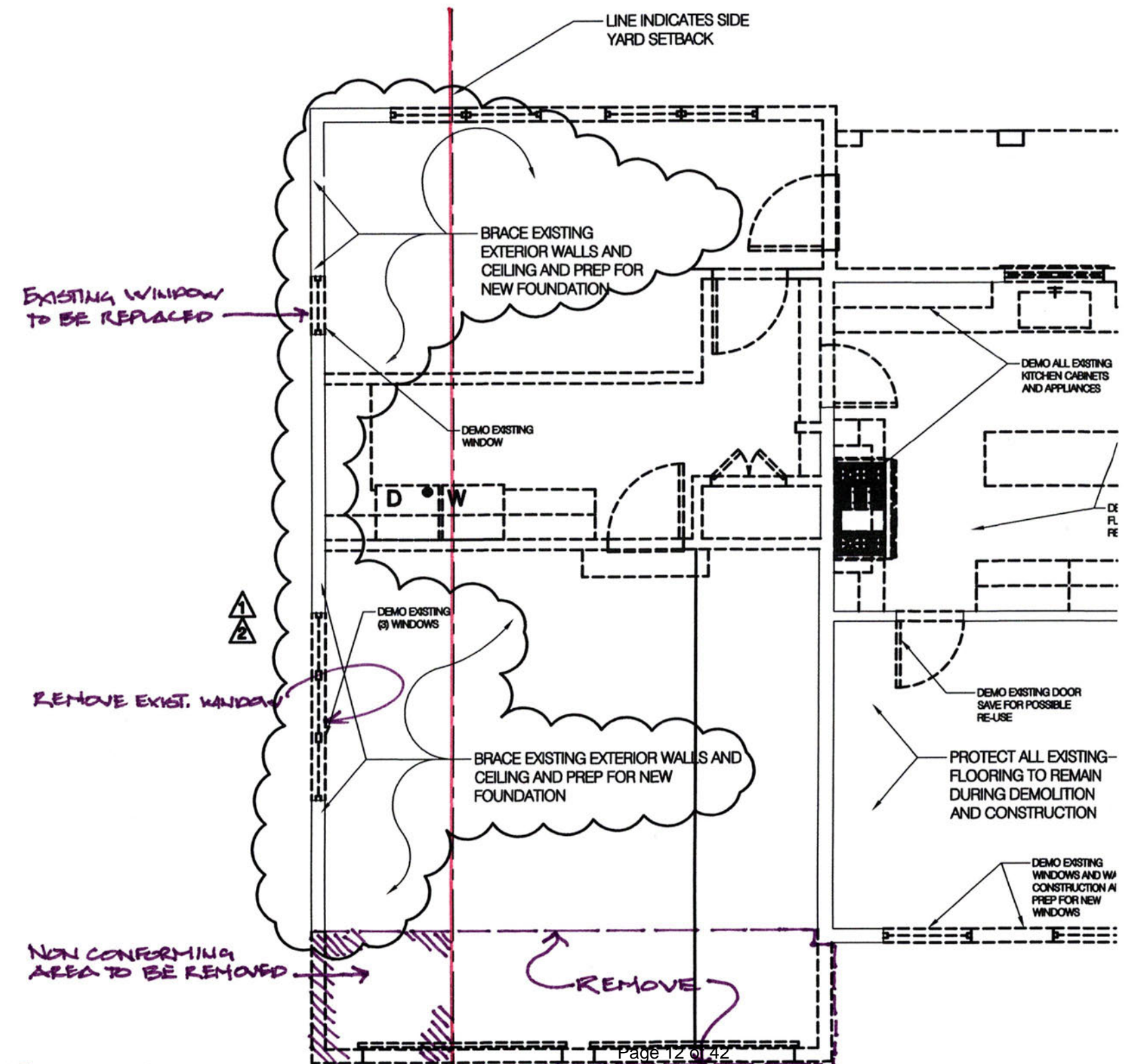
REMOVED WINDOW

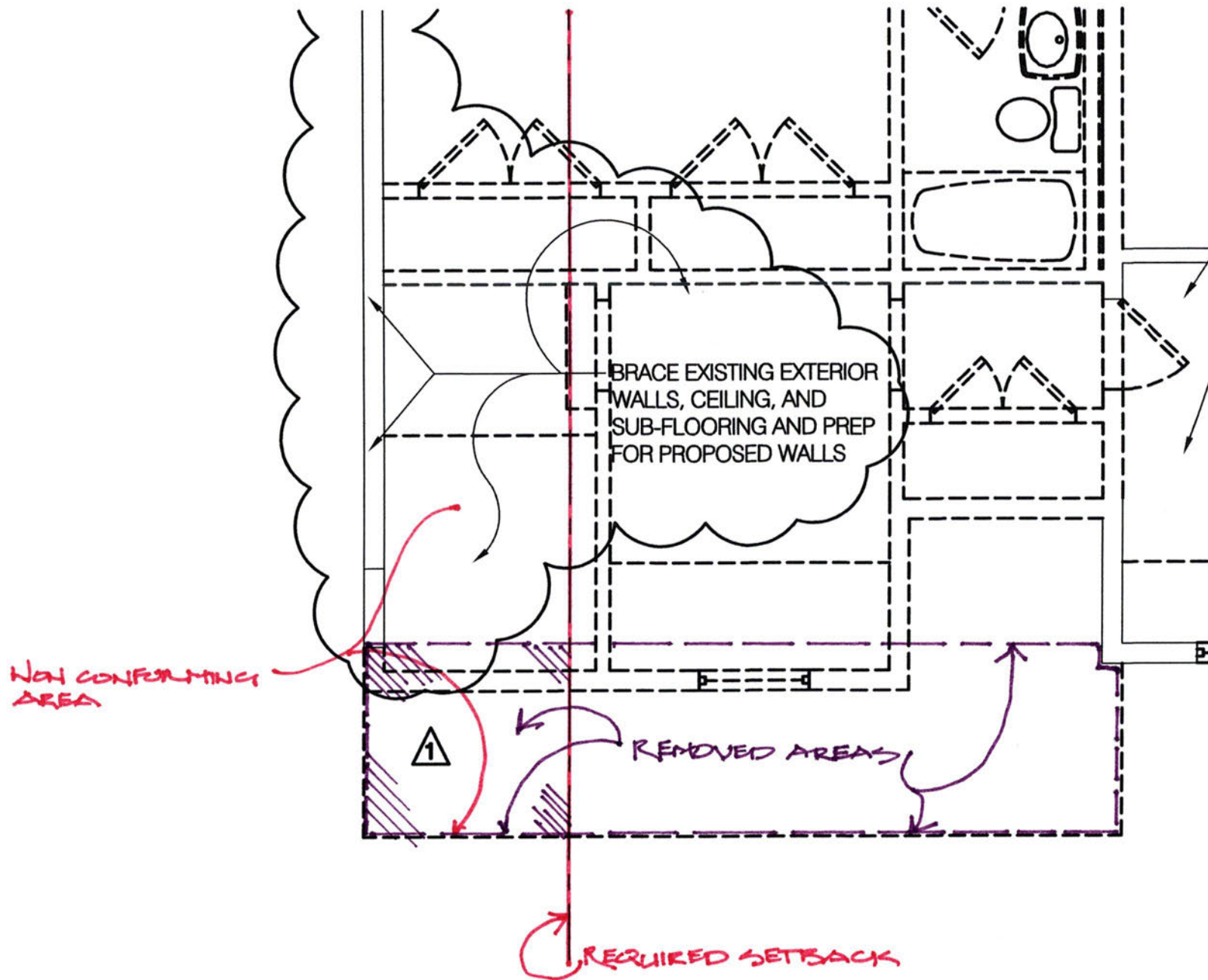
STUCCO PATCH
REMOVED WINDOW AREA
- TEXTURE TO MATCH
EXISTING TEXTURE -
TYPICAL

2" LIMESTON SILLS
- TYPICAL

REPLACED
WINDOW

EAST FACADE





AREA OF NON CONFORMITY BEING REMOVED

EXISTING WINDOW TO BE REPLACED

OPENING FOR PROPOSED NEW WINDOW

REMOVED

BRACE EXISTING EXTERIOR WALLS, CEILING, AND SUB-FLOORING AND PREP FOR PROPOSED WALLS

REMOVE WINDOW FOR REPLACEMENT

REMOVE WALL CONSTRUCTION FOR FOR NEW WINDOW

BRACE EXISTING EXTERIOR WALLS, CEILING, AND SUB-FLOORING AND PREP FOR PROPOSED WALLS

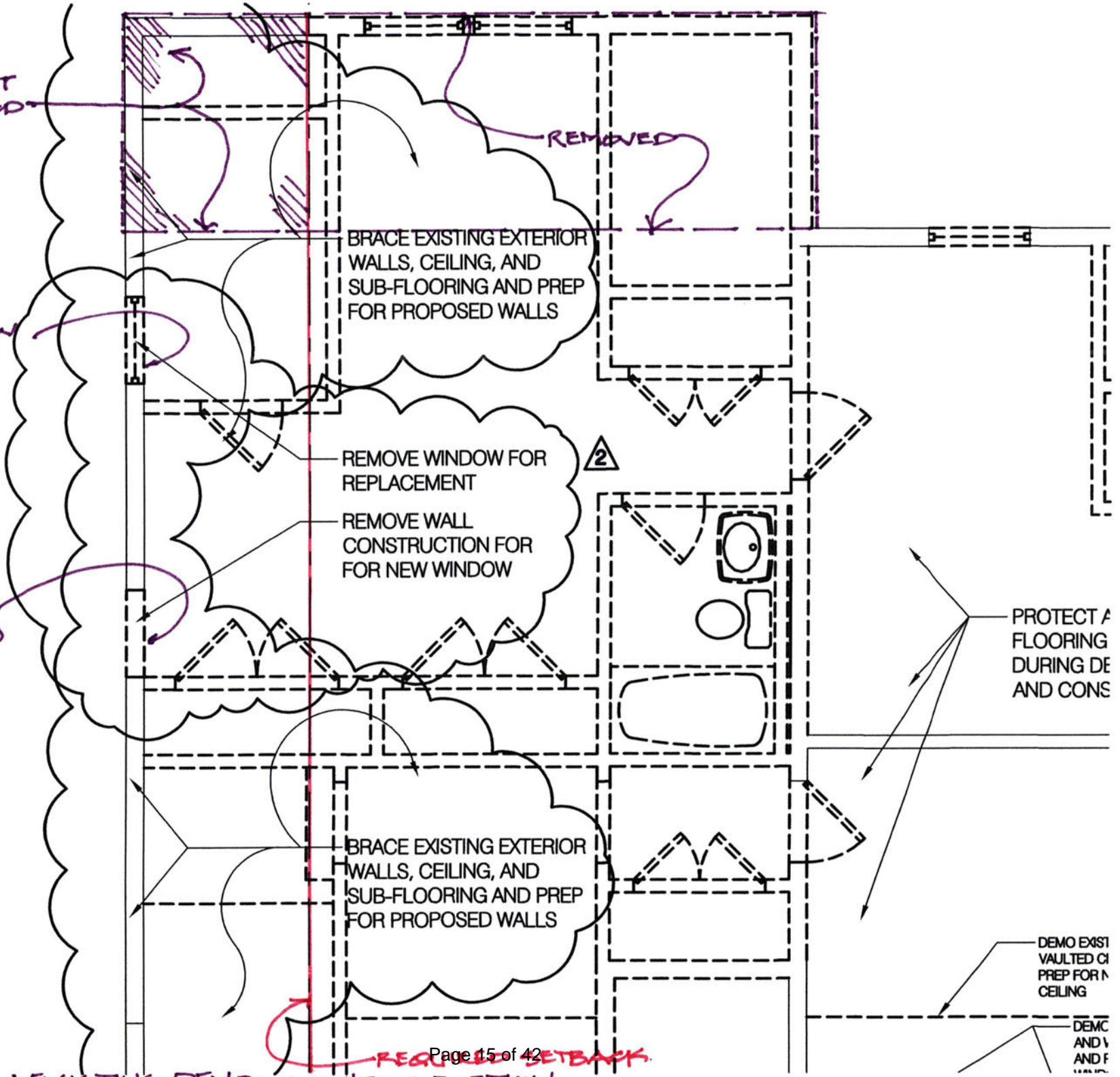
PROTECT A FLOORING DURING DE AND CONS

DEMO EXIST VAULTED CEILING PREP FOR NEW CEILING

DEMO AND V AND F

REQUIRED SETBACKS

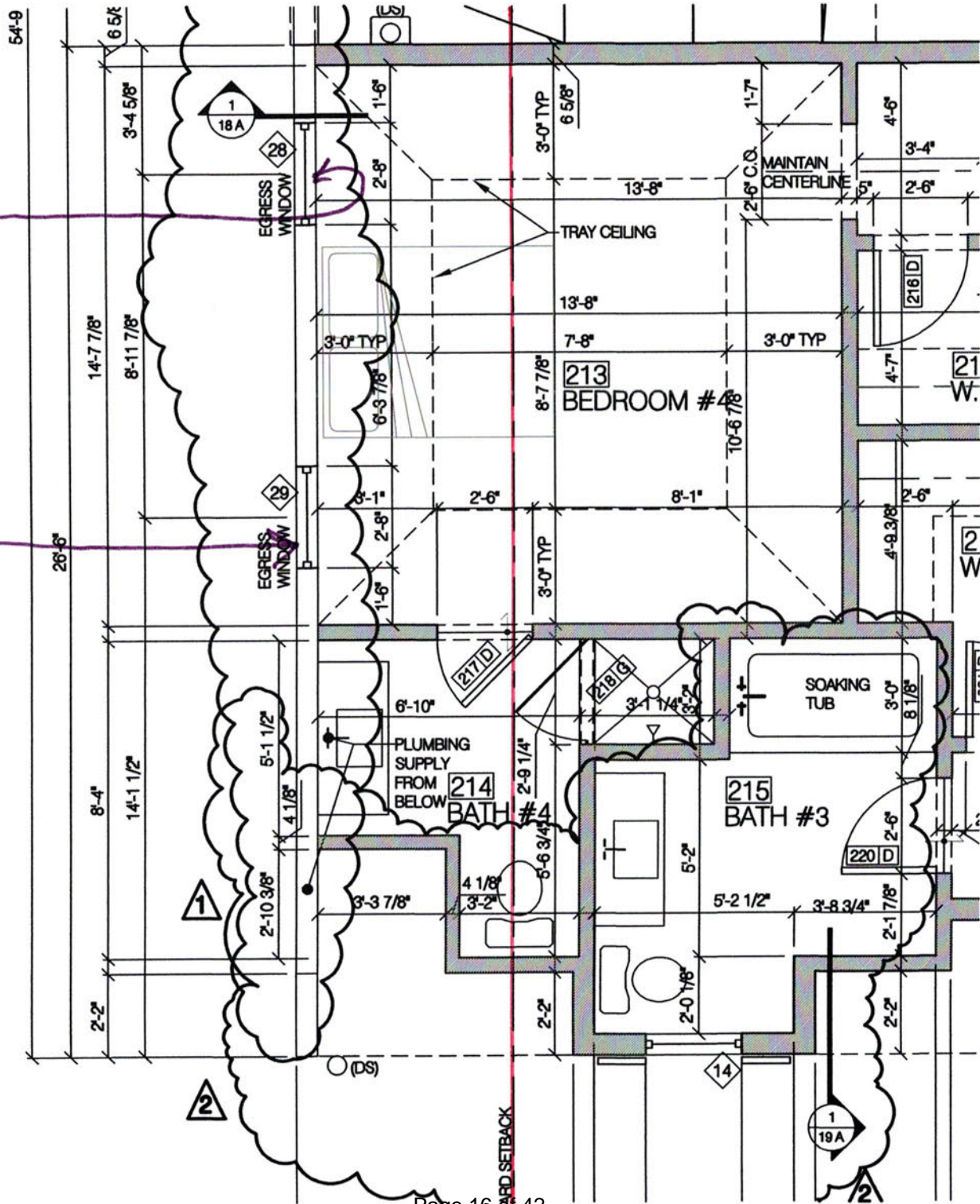
SECOND FLOOR: EXISTING DEMO... POSITION



EXISTING WINDOW REPLACED

PROPOSED NEW WINDOW

PROPOSED SECOND FLOOR



REQUIRED SETBACK.

General Requirements:

- 1. All work shall be done in accordance with the local building code and all other applicable codes and standards.
2. The contractor is solely responsible for all construction means, methods, techniques, sequences and procedures.
3. The contractor shall visit and carefully examine the site of the proposed work and become aware of the conditions under which work will be performed...

Site:

- 1. Stake out the area of construction and protect all existing plantings and trees that are to remain per local requirements.
2. Areas to be used by the contractor for construction activities, equipment access, and storage of construction materials shall be mutually agreed upon by the parties in the contract.

Excavation & Foundation:

- 1. Use approved methods to effectively maintain the construction area in a dewatered state.
2. All excavations shall be carried out in accordance with all federal, state and local governing guidelines.
3. Contractor to contact J.U.L.E. before any excavation begins at (800) 892-0123.

Backfill:

- 1. Do not backfill against foundation walls of the building until the framed level at the top of the walls and the slab-on-grade at the bottom of the wall are in place and have developed design strength.
2. Where backfill is required on both sides of a wall or grade beam, the backfill operation shall proceed on both sides simultaneously at uniform levels of fill so as not to create lateral earth pressures which would damage the structural integrity of the wall.

Concrete: REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION

- 1. Detail, fabricate, and erect all concrete in accordance with American Concrete Institute specifications, latest edition.
2. Concrete construction shall conform to "Specification for Structural Concrete for Buildings" (ACI 301)
3. Concrete shall be of "Ready-Mixed Concrete" and shall conform to ASTM C94. Concrete shall be conveyed and deposited in accordance with the recommendations of ACI 614.

- 1. Reinforcing bars shall be new billet steel conforming to ASTM A615, grade 60.
2. Welded wire fabric (WWF) shall conform to ASTM A185.
3. Mild steel reinforcement for concrete and masonry construction shall be manufactured, detailed, fabricated and placed in accordance with the "Building Code Requirements for Reinforced Concrete" (ACI 318) and the "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315) and shall be deformed steel bars conforming to ASTM A615, Grade 60.

Masonry:

- 1. Concrete masonry units shall be normal weight block conforming to ASTM C-90 with a unit strength of 1500 psi unless noted otherwise on plan. Face brick shall conform to ASTM C216, type SW, with a five brick average minimum compressive strength of 3000 psi, individual 2500 psi.
2. Mortar to be type M or S and joints are to be tumbled concrete. Mortar shall conform to ASTM C270.
3. Brick veneer anchors to be placed 16" o.c. vertically, 24" o.c. horizontally.

ADDITIONAL VILLAGE CODE REVIEW COMMENTS:

- 1. Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with smoke alarms and carbon monoxide alarms located as required for new dwellings. 314.2.2, 315.2.2
2. Provide and identify all safety glazing. R308 Window over tub in bathroom REFER TO NOTE ON PLANS
3. When engineered structural components such as joists, glue laminated lumber and open-web floor and roof trusses, to construct any portion of a floor/roof/wall-framing system or assembly, the entire framing system shall be protected by at least one layer of 5/8-inch firecode (Type C or X) gypsum wall board. 313.2 b Amended

- 1. Provide a note that all the prescriptive and mandatory requirements of Chapter 4 of the 2018 IECC as well as Table R402.4.1.1 need to be adhered to.
2. New skylight shall meet the 0.55 U-Factor R402.1.4

- 1. Where the winter design temperature in Table R301.2(1) is below 60°F (16°C), every dwelling unit shall be provided with heating facilities capable of maintaining a room temperature of not less than 68°F (20°C) at a point 3 feet (914 mm) above the floor and 2 feet (610 mm) from exterior walls in habitable rooms at the design temperature. R303.9 Required heating. Indicate on plans

- 1. Verify existing water service is sufficient for existing and new plumbing fixtures being added per calculated WSFU 890.1200 b

- 1. New receptacles to be tamper resistant per NEC 406.11
2. All new or modified applicable circuits shall be AFCI protected. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, recreation rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, living rooms, closets, hallways, kitchens, and laundry rooms and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit. NEC 210.(A) Receptacles and lighting outlets
3. Ground-fault circuit interrupter protection for personnel shall be provided for electrically heated floors in bathrooms, kitchens and in hydro massage bathtub, spa and hot tub locations. NEC424.44(G)
4. Indicate on the plans that the outlet box hood (in-use covers) for the new exterior receptacles shall be listed and identified as "extra-duty," 2020 NEC 406.9(A)(1).
5. Indicate on the plans a GFCI receptacle within 36" of each lavatory basin NEC 210.52 (D)
6. Light fixtures above tub/showers shall be marked 'suitable for wet/damp locations' per NEC
7. 410.10 (a) Recessed lighting fixtures in contact with insulation must be IC-rated. NEC410.66
8. At least one wall switch-controlled lighting outlet shall be installed in hallways, stairways, attached garages and detached garages with electric power 210.70 (a)(2)

Plywood Sheathing:

- 1. All plywood shall be APA rated sheathing of the span rating, thickness and exposure durability classification indicated. Panel thickness, grade, and group number or span rating shall be at least equal to that shown on the drawings. Application shall be in accordance with recommendations of the American Plywood Association.
2. Each plywood panel shall be identified with the appropriate trademark of the American Plywood Association, and shall meet the requirements of the latest edition of U.S. Product standard PS 1 or one of APA's Performance standards.
3. All roof and exterior wall sheathing shall be classified as exposure 1, all exterior deck sheathing shall be classified as exterior exposure and all interior floor sheathing shall be classified as exposure 1.

Roof Sheathing:

- 1. All roof sheathing shall be 3/4" APA rated 40/20 exposure 1 plywood roof sheathing glued and nailed to all supports and diaphragm edges with 10d deformed shank nails spaced at 6" O.C. at panel edges, diaphragm edges and to blocking/bracing above all bearing walls and spaced at 12" O.C. at all intermediate supports.

Floor Sheathing:

- 1. All interior floor sheathing shall be 3/4" APA rated 48/24 T&G exposure 1 Sturd-I-Floor plywood sheathing glued and nailed to all supports and diaphragm edges with 8d ring or screw shank nails spaced at 6" O.C. at panel edges, diaphragm edges, to all shearwalls and to blocking/bracing above all bearing walls and spaced at 12" O.C. at all intermediate supports.
2. All exterior paza floor and flat roof sheathing shall be 3/4" APA rated 48/ 24 T&G exterior exposure Sturd-I-Floor plywood sheathing glued and nailed to all supports and diaphragm edges with 8d ring or screw shank nails spaced at 6" O.C. At panel edges, diaphragm edges and to blocking/bracing above all bearing walls and spaced at 12" O.C. at all intermediate supports.

Wall Sheathing:

- 1. All wall sheathing shall be 1/2" APA rated 32/16 exposure 1 cdx plywood sheathing glued and nailed to all supports and diaphragm edges with 10d deformed shank nails spaced at 6" O.C. at panel edges, diaphragm edges and to continuous top plates and sills and spaced at 12" O.C. at all intermediate supports.

Insulation:

- 1. Insulation shall be provided in the roof, all floor joists and all interior and exterior walls of the structure as indicated on drawings. In no case shall the roof insulation be less than R-38 or exterior wall insulation less than R-15 in 2x4 walls and R-21 in 2x6 walls. Interior walls to be provided with 1 1/2" unfaced bats. Floor joists to be insulated with sound batts for the full depth of the joists.
2. During remodeling all uninsulated cavities that are opened shall be completely filled with insulation.
3. A vapor barrier shall be provided on the warm side of all exterior walls and ceilings.

Doors & Windows:

- 1. All new windows and doors to be Marvin or equal, with written approval from owner and architect.
2. Refer to both plans and exterior elevation for window design and main configuration.
3. All glass to be insulated.
4. Screen finish and door and window hardware to be determined by owner and architect prior to ordering.
5. General contractor shall provide and review cut sheet showing window and door sizes, multi & panel configurations with owner and architect prior to placing any window or door order. General contractor, owner and architect shall all mutually agree on accuracy of cut sheet compared to architectural drawings.

Roofing/Flashing:

- 1. All new roof penetrations shall be flashed and sealed to prevent leaks.
2. Exposed flashing and counterflashing shall be anodized aluminum, copper or to match existing as approved by owner and architect.
3. Two rows of ice and water shield shall be installed at all eaves and valleys and at all low pitched roof areas.

Finish Carpentry:

- 1. All finish hardware shall be approved by the owner and architect.
2. All door jambs, heads, base moldings and etc. shall be clear pine, birch, or poplar for paint.
3. All interior door hinges to be square butt hinges with finials as approved by owner and architect.
4. See drawings for general cabinet configuration and sizes. Exact layout to be provided by cabinet supplier and approved by owner and architect.
5. Exterior trim shall be clear, smooth cedar surfaced on all four sides. Prior to installation all six sides shall be primed for paint. (MDO substitution as approved by owner and architect.)

Painting and Finishes:

- 1. Painting contractor shall furnish all labor, equipment, and material necessary to complete this work. Prior to commencement of work, this contractor shall notify Architect of any condition he feels will affect the quality of his work.
2. All wood surfaces will be sanded, primed and sanded prior to install two coats of oil base paint. Colors to be selected by owner.
3. All new wall surfaces to receive one coat of primer and two coats of paint.
4. All painted surfaces shall be smooth and free of defects. Any deficient areas shall be repainted to the satisfaction of the owner and architect.
5. All flooring and wall finishes to be approved by owner and architect.

Mechanical:

- 1. All work shall be installed in accordance with all local and state ordinances and codes.
2. All material shall be new and of standard quality, no rejects. Any substitutions to schedule material must be approved as equal by the developer.
3. All work shall be guaranteed for one year from date of Job completion in addition to manufacturer's extended warranty.
4. All mechanical ductwork and grille locations and sizes shall be per the mechanical contractor and worked out in field. Interior of all duct openings at grille locations shall be spray painted black.
5. Bathroom exhaust fans shall be controlled by a switch separate from any other lighting controls. No exhaust fan/light combination units to be installed. See Light and Vent Schedule for size and model.
6. Bathroom exhaust fans shall exhaust directly to the exterior and shall not exhaust into attic spaces or eaves.

Plumbing:

- 1. Plumbing work is to include materials and labor for all plumbing work as shown on the drawings, specified above or obviously required for a complete operating installation.
2. All work shall be installed in accordance with all local and state ordinances and codes.
3. All materials shall be new and of standard quality, no rejects.
4. All work shall be guaranteed for one year from date of job completion in addition to manufacturer's warranty.
5. All plumbing fixtures area to have water saving devices and to be in a color as selected by owner.
6. All gas piping shall be furnished by plumbing contractor.
7. Plumbing fixtures to include all necessary hardware for a complete installation.
8. Plumbing contractor shall notify general contractor and other trades for required openings and chases and locate same.
9. This work shall include all necessary cutting, boring, and drilling.
10. Entire system shall be tested for leaks before concealment and inspected. All vent stacks shall be tested by filling with water and inspected by municipalities.
11. Verify existing, upgrade existing water service if needed.
12. All defective piping shall be repaired or replaced to meet current code. G.C. to verify condition of existing waste lines prior to completion of project and recommend any upgrades, repairs or replacements as required.
13. All new basement areas to be provided with sump pump with battery backup system as approved by owner and architect.
14. All new drain tile to be 6" rigid PVC (perforated with filter sock unless noted otherwise).

Electrical:

- 1. All electrical work shall include materials and labor for all electrical work as shown on drawings, as specified above, or obviously required for a complete operating installation.
2. All electrical work shall be done in accordance with all applicable local and state ordinances and codes.
3. All material shall be new and of standard quality, no rejects. Any substitution to scheduled material must be approved as equal by the developer.
4. All work shall be guaranteed for one year from date of Job completion in addition to manufacturer's extended warranty.
5. Provide typed breakdown of panel to be attached inside panel covers.
6. Electrician to verify existing service size, upgrade as required or as specifically noted in construction drawings or bidding documents.

Window and Exterior Door Notes:

- 1. ALL EXTERIOR GLASS DOORS AND WINDOWS SHALL BE IN COMPLIANCE WITH SECTION R612 INTERNATIONAL RESIDENTIAL CODE ONE & TWO FAMILY DWELLINGS, 2009 EDITION FOR TESTING, LABELING AND PERFORMANCE.
2. INTERIOR FINISH OF ALL NEW WINDOWS AND DOORS TO BE PAINT GRADE PRE-PRIMED WOOD (UNLESS OTHERWISE SPECIFIED). EXTERIOR DOOR AND WINDOW FINISH NOTED ON WINDOW CALL NUMBERS PROVIDED IN BOTH CONSTRUCTION PLANS AND ELEVATIONS.
3. WHERE APPLICABLE, ALL NEW WINDOWS ARE TO MEET MINIMUM EGRESS AND ENERGY EFFICIENCY REQUIREMENTS. ALL NEW WINDOWS SHALL HAVE A MAXIMUM U VALUE RATING OF 0.30 R402.1. IN AREAS DETERMINED BY, BUT NOT LIMITED TO THE ADOPTED LOCAL BUILDING CODES, FLOOR PLANS AND ELEVATIONS, NEW WINDOW UNITS SHALL BE PROVIDED WITH TEMPERED GLASS AS INDICATED ON CONSTRUCTION PLANS AND/OR ELEVATIONS. ALL NEW WINDOWS TO HAVE BLACK SCREENS UNLESS OTHERWISE SPECIFIED. ALL NEW WINDOWS, UNLESS OTHERWISE SPECIFIED TO HAVE 3/4" SIMULATED DIVIDED LIGHT MUNTIN BARS WITH CONFIGURATIONS AS SHOWN ON EXTERIOR ELEVATIONS. NEW WINDOWS TO HAVE WHITE FOLDING CRANK HANDLES UNLESS OTHERWISE SPECIFIED. ALL NEW WINDOWS TO HAVE LOW EMI COATINGS & ARGON GAS FILLED (OR EQUIVALENT) INSULATING GLASS.
4) GENERAL CONTRACTOR IS TO REVIEW BIDDING DOCUMENTS FOR ANY FURTHER INFORMATION PERTAINING TO HARDWARE, HINGES & ACCESSORIES.
5) IN AREAS WHERE NEW WINDOWS ARE TO BE PLACED INTO EXISTING OPENINGS, IF THE "STOCK" AVAILABLE WINDOWS DIFFER IN SIZE FROM THE MASONRY AND WOOD FRAME ROUGH OPENINGS, NEW WINDOWS SHALL BE CUSTOM ORDERED TO FIT WITHIN THE EXISTING ROUGH OPENINGS (UNLESS SPECIFICALLY APPROVED OR SPECIFIED BY THE ARCHITECT AND HOMEOWNER).
6) GENERAL CONTRACTOR AND WINDOW CONTRACTOR ARE TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING MEASUREMENTS PRIOR TO PLACING ANY WINDOW OR DOOR ORDER. GENERAL CONTRACTOR IS TO NOTIFY ARCHITECT AND HOMEOWNER OF ALL WINDOWS OR DOORS ORDERED WHICH MAY DIFFER IN SIZE, BRAND, MATERIALS OR OTHERWISE FROM THOSE SPECIFIED IN THE CONSTRUCTION DOCUMENTS.
7) GENERAL CONTRACTOR AND WINDOW CONTRACTOR IS TO REVIEW EXISTING ELEVATIONS FOR FURTHER DETAIL OF ALL WINDOWS AND DOORS WHICH MAY CONTAIN, BUT IS NOT LIMITED TO SUCH INFORMATION AS THE WINDOWS MUNTIN CONFIGURATIONS, MARVIN BRAND CATALOG NUMBERS, TYPICAL HEAD HEIGHTS, ADDITIONAL INFORMATION SUCH AS DOOR PANEL CONFIGURATIONS, STYLES & HEIGHTS MAY ALSO BE FOUND, BUT IS NOT LIMITED TO THE EXTERIOR ELEVATIONS. GENERAL CONTRACTOR IS TO NOTIFY ARCHITECT OF ANY INFORMATION OR SPECIFICATIONS FOUND ON EXTERIOR ELEVATIONS WHICH MAY BE CONTRADICTORY TO THAT FOUND WITHIN THE FLOOR PLANS OR ELSEWHERE PRIOR TO PLACING ANY WINDOW OR DOOR ORDER.
8) PRIOR TO PLACING THE FINAL DOOR AND WINDOW ORDER, A REVIEW CUT SHEET SHALL BE PROVIDED AND APPROVED BY THE GENERAL CONTRACTOR, HOMEOWNER AND ARCHITECT. ALL WINDOWS AND DOORS ON REVIEW SHEET WHICH DIFFER FROM THOSE DEPICTED IN THE CONSTRUCTION DOCUMENTS SHALL BE NOTED AS SUCH.
9) WINDOWS ARE DENOTED BY FRAME SIZE; EG: 3050 DENOTES 3'-0" WIDE X 5'-0" HIGH WINDOW FRAME SIZE. SEE EXT. ELEVATIONS FOR STYLE, CONFIGURATION AND OPERATION.

General Energy Efficiency Note:

- a) All exterior joints, seams and penetrations in the building envelope must be sealed with caulk, tape, gaskets or weather stripping to prevent air leakage.
b) Vapor retarders with a perm rating of 1.0 or less must be installed in all framed ceilings, walls and floors on the warm side of insulation.
c) All supply and return air ducts must be sealed using mastic with fibrous backing tape installed in accordance with the manufacturer's instructions. For fibrous ducts, pressure sensitive tape may be used but Duct tape is not permitted.

- d) ALL prescriptive and mandatory requirements of Chapter 4 of the 2021 IECC as well as Table R402.4.1.1 SHALL BE adhered to.
e) ALL permanently installed lighting fixtures shall be high-efficacy lamps R404.1
f) Permanently installed lighting fixtures shall be controlled with either a dimmer, an occupant sensor control or other control that is installed or built into the fixture.
R404.2 Interior lighting controls. a. Exception: Lighting controls shall not be required for the following:
1. Bathrooms, 2. Hallways, 3. Exterior lighting fixtures, 4. Lighting designed for safety or security.

Adopted Codes:

The following Codes have been adopted for the purpose of construction, permitting and documentation. They are, but are not limited to:
2021 International Residential Code For One & Two Family
2021 International Building Code
2014 Illinois Plumbing Code
2020 National Electrical Code
2021 International Mechanical Code
2021 Illinois Energy Conservation Code With Illinois Amendments
2021 International Fire Code
2020 NFPA 70, 2022 NFPA Life Safety Codes
Village of Winnetka Building Codes dated January 23, 2024 & Amendments of the International Codes Dated September 3, 2024
Code Enforced: Illinois Accessibility Code

General Construction Notes:

Denotes a standard wall thickness: 1" = 4 3/4"
All new, opened or exposed interior partition walls and floors, unless otherwise noted, shall receive fiberglass sound batt sound insulation.
Centerlines shall be maintained as denoted.
U.N.O. all new roofing materials to be fire rated class "C" or better.
Flashing and counter flashing shall be provided around any new opening through an exterior surface including, but not limited to: windows, doors, chimneys, vent stacks or similar.

Index of Drawings table with columns: No., Date, Issue, and drawing titles like A1 SPECIFICATIONS, A2 SITE EXISTING AND PROPOSED, A3 ROOM, DOOR & WINDOW SCHEDULE, etc.

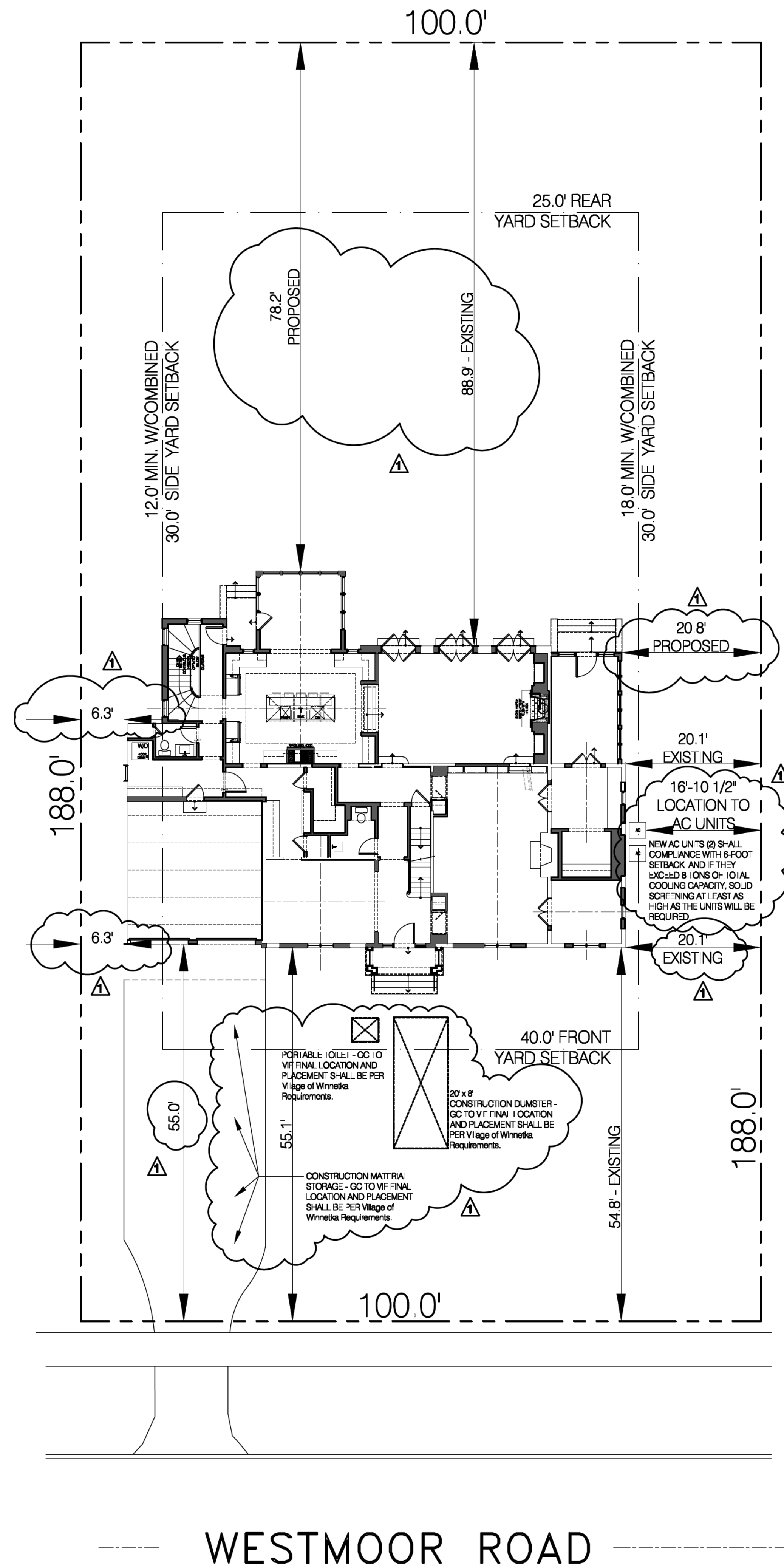
Architect's Certification section with a signature, date (10/7/2024), and project details like GTI# R22012, Village of Kenilworth, IL.

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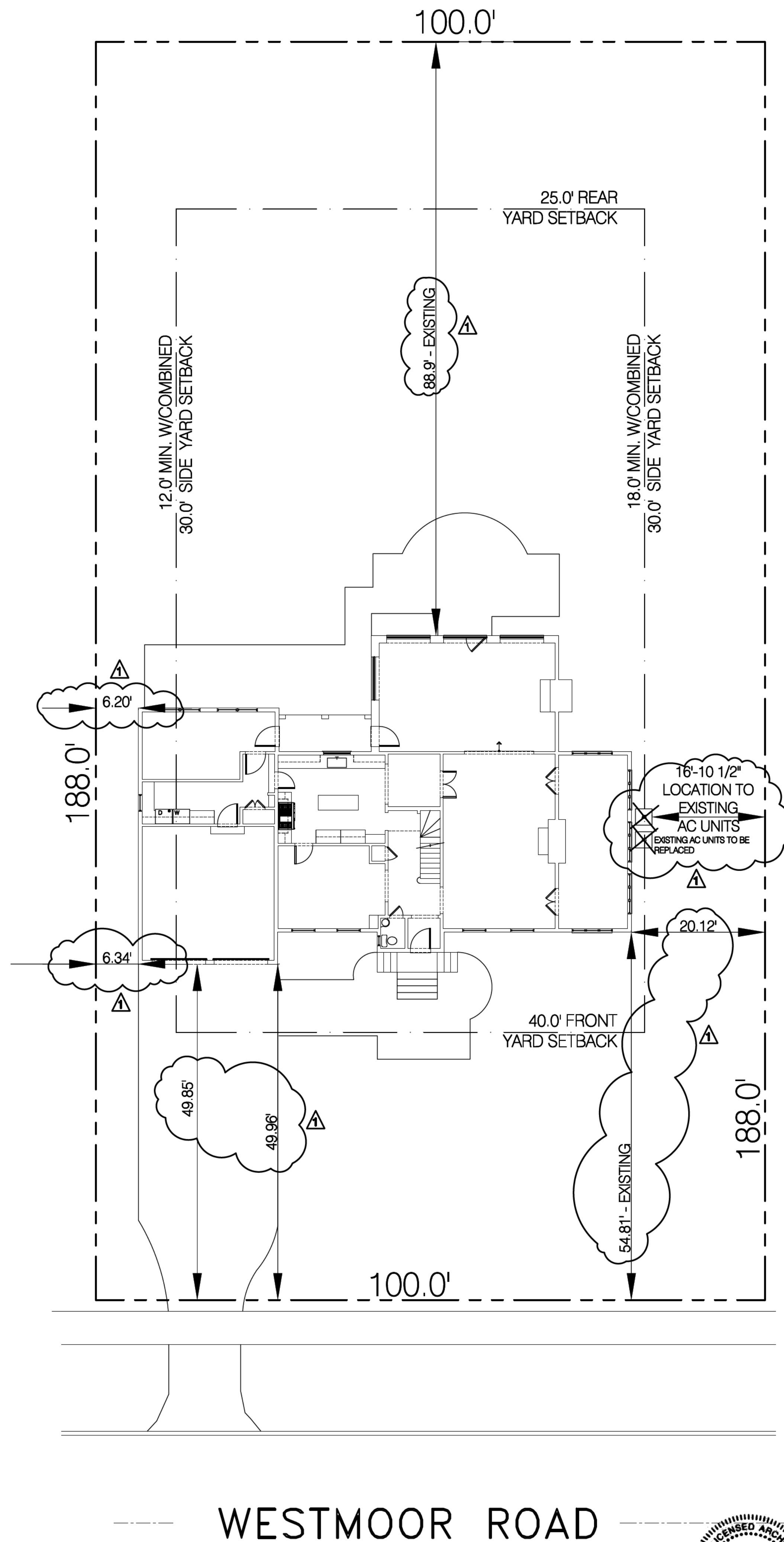
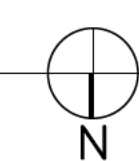
PROJECT: BAKER RESIDENCE 1034 WESTMOOR ROAD WINNETKA, ILLINOIS

Permit tracking table with columns: No., Date, Issue, and permit status like PLANS FOR PERMIT, CLIENT REVISION - BASEMENT, etc.

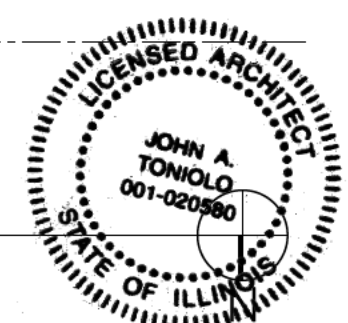
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2 PROPOSED SITE PLAN
Scale 3/32" = 1'-0"



1 EXISTING SITE PLAN
Scale 3/32" = 1'-0"



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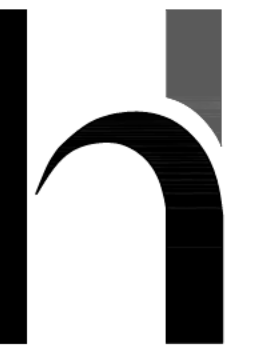
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WINDOW SCHEDULE ROOM SCHEDULE

WN	TYPE	WIDTH	HEIGHT	REMARKS	BRICKMOLD	Rm.No.	ROOMNAME	WALLS	CEILING	FLOORING	REMARKS
----	------	-------	--------	---------	-----------	--------	----------	-------	---------	----------	---------

DN	TYPE	DOORWIDTH	DOORHEIGHT	THICKNESS	DISCRIPTION
001	D	2'-8"	7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
002	D	2'-8"	(+/-) 7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
003	D	2'-6"	(+/-) 7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
004	G	2'-6" GLASS DOOR	(+/-) 7'-0" MATCH HEAD HEIGHTS	1/2" TEMP GLASS - CLEAR	CUSTOM GLASS DOOR & ENCLOSURE
005	D	2'-8"	(+/-) 7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
006	D	2'-8"	(+/-) 7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
007	D	2'-8"	(+/-) 7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
101	A	3'-0" W/ 1'-16" SIDELIGHTS - REFER TO EXTERIOR ELEVATION FOR DESIGN.	6'-8" W/ 1'-4" TRANSOM - REFER TO EXTERIOR ELEVATION FOR DESIGN.	1 3/4"	CUSTOM - REFER TO EXTERIOR ELEVATION FOR DESIGN
102	B	4'-0"	7'-0"	1 3/4"	FRENCH DOORS - SIMILAR TO EXTERIOR
103	B	4'-0"	7'-0"	1 3/4"	FRENCH DOORS - SIMILAR TO EXTERIOR
104	B	5'-0"	7'-0"	1 3/4"	OUTWARD SWING FRENCH DOORS - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
105	F	3'-0"	7'-6" VIF FINAL HEIGHT	1 3/4"	WOOD SCREEN DOOR
106	B	5'-0"	8'-0" VIF FINAL HEIGHT	1 3/4"	FRENCH DOORS - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
107	C	5'-0"	8'-0"	1 3/4"	CLAD STORM FRENCH DOORS - SINGLE PANEL GLASS / SCREEN INSERTS
108	B	5'-0"	8'-0" VIF FINAL HEIGHT	1 3/4"	FRENCH DOORS - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
109	C	5'-0"	8'-0"	1 3/4"	CLAD STORM FRENCH DOORS - SINGLE PANEL GLASS / SCREEN INSERTS
110	B	5'-0"	8'-0" VIF FINAL HEIGHT	1 3/4"	FRENCH DOORS - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
111	C	5'-0"	8'-0"	1 3/4"	CLAD STORM FRENCH DOORS - SINGLE PANEL GLASS / SCREEN INSERTS
112	E	2'-6" W/2 FIXED DOOR PANELS	8'-0" VIF FINAL HEIGHT	1 3/4"	FRENCH DOOR - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
113	E	2'-6" 3 TOTAL FIXED DOOR PANELS	8'-0" VIF FINAL HEIGHT	1 3/4"	FRENCH DOOR - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
114	B	2'-8"	8'-0" VIF FINAL HEIGHT	1 3/4"	FRENCH DOOR - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
115	D	1'-6"	7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
116	D	2'-4"	7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
117	D	3'-0"	7'-0" - MATCH EXISTING	1 3/4"	MATCH EXISTING
118	D	2'-8"	7'-0"	1 3/4"	1-Hour Rated Steel Door W CLOSER - 'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
119	D	2'-8" POCKET	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
120	D	2'-4"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
121	D	2'-8"	7'-0"	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
201	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
202	D	2'-4"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
203	G	2'-6"	(+/-) 6'-8"	1/2" CLEAR GLASS	CLEAR GLASS - TEMPERED SHOWER DOOR AND ENCLOSURE
204	D	2'-4"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
205	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
206	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
207	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
208	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
209	G	2'-4"	(+/-) 6'-8"	1/2" CLEAR GLASS	CLEAR GLASS - TEMPERED SHOWER DOOR AND ENCLOSURE
210	D	2'-4"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
211	B	3'-0"	(+/-) 7'-0" VIF FINAL HEIGHT BASED ON OUT DOOR DECK	1 3/4"	FRENCH DOOR - REFER TO EXTERIOR ELEVATIONS FOR DOOR DESIGN
212	C	5'-0"	(+/-) 7'-0" VIF FINAL HEIGHT BASED ON OUT DOOR DECK	1 3/4"	CLAD STORM FRENCH DOORS - SINGLE PANEL GLASS / SCREEN INSERTS
213	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
214	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
215	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
216	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
217	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
218	G	(+/-) 2'-6"	(+/-) 6'-8"	1/2" CLEAR GLASS	CLEAR GLASS - TEMPERED SHOWER DOOR AND ENCLOSURE
219	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
220	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
221	D	2'-6"	7'-0" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
301	D	2'-4"	(+/-) 6'-8" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
302	D	2'-4"	(+/-) 6'-8" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
303	D	2'-4"	(+/-) 6'-8" - MATCH EXISTING	1 3/4"	'TruStile' TWO PANEL DOOR ARCHITECT TO APPROVE FINAL SPECS
304	G	2'-6"	(+/-) 6'-8"	1/2" CLEAR GLASS	CLEAR GLASS - TEMPERED SHOWER DOOR AND ENCLOSURE
305	H	2'-6"	(+/-) 6'-8"	1 3/4"	'TruStile' SOLID FLUSH DOOR ARCHITECT TO APPROVE FINAL SPECS

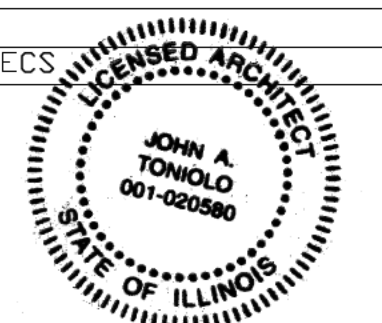
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BAKER RESIDENCE
 1034 WESTMOOR ROAD
 WINNETKA, ILLINOIS

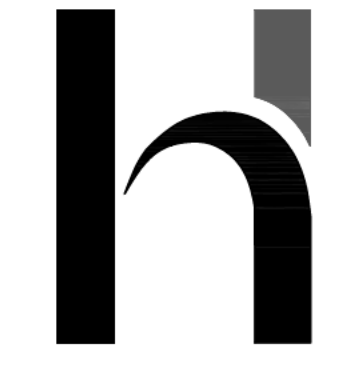
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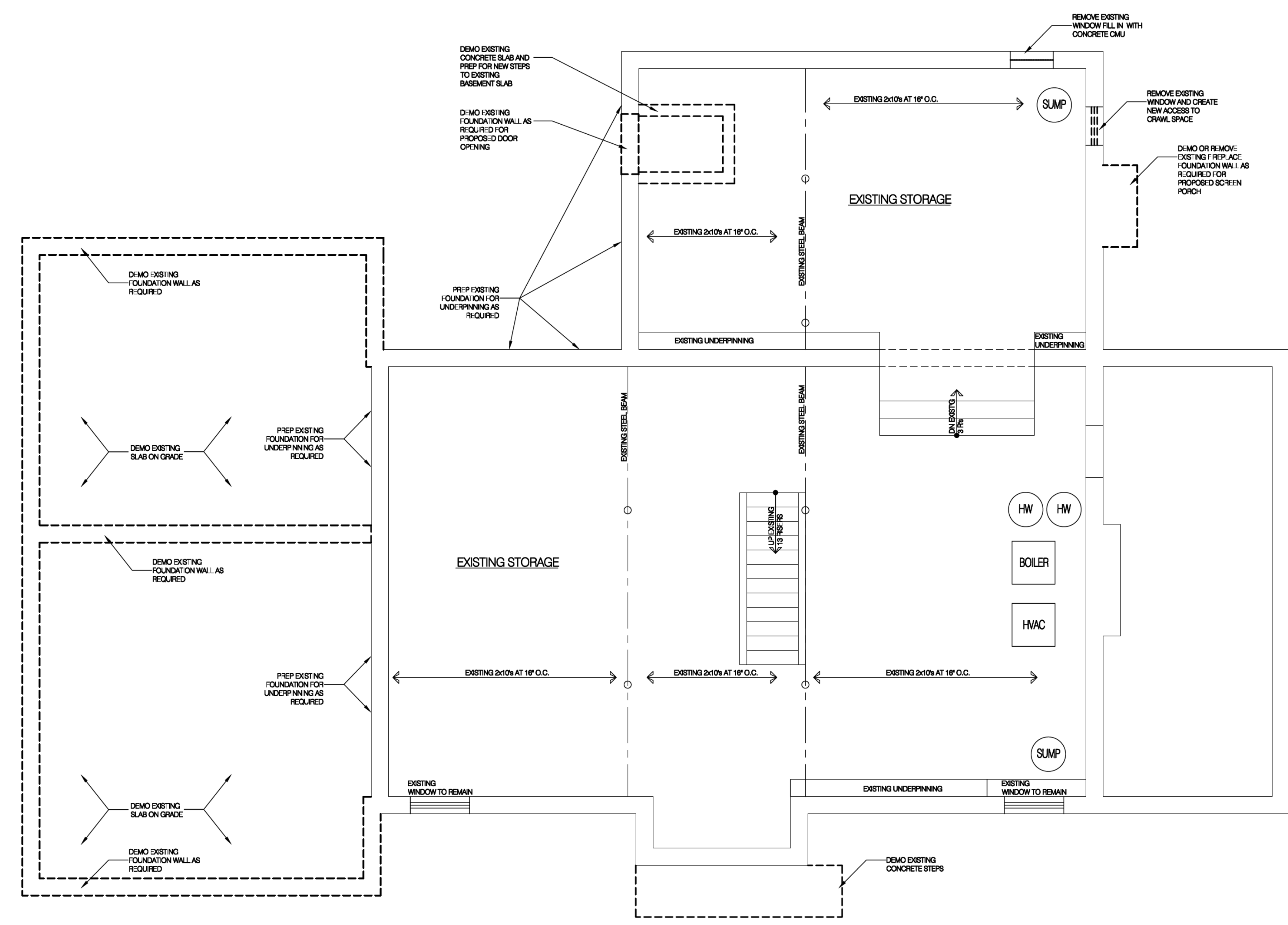


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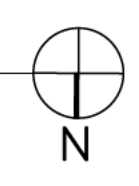
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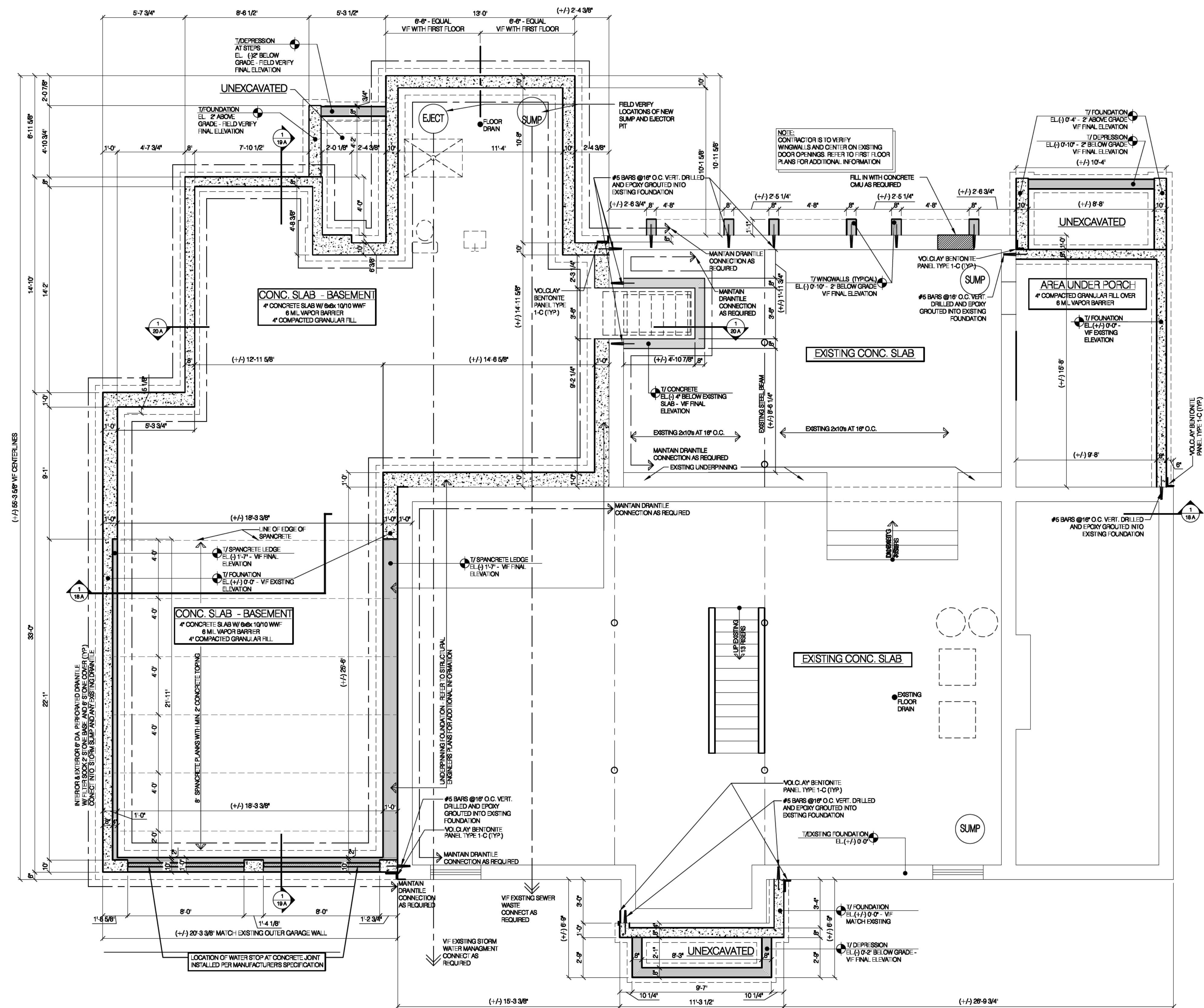
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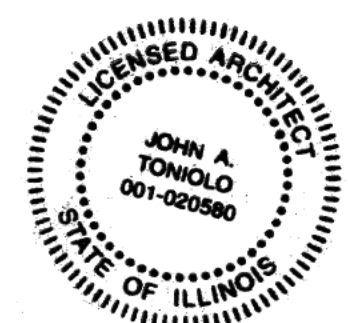
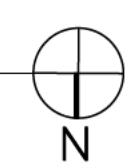


1 FOUNDATION - DEMOLITION
 Scale 1/4" = 1'-0"





1 FOUNDATION - CONSTRUCTION PLAN
 Scale 1/4" = 1'-0"



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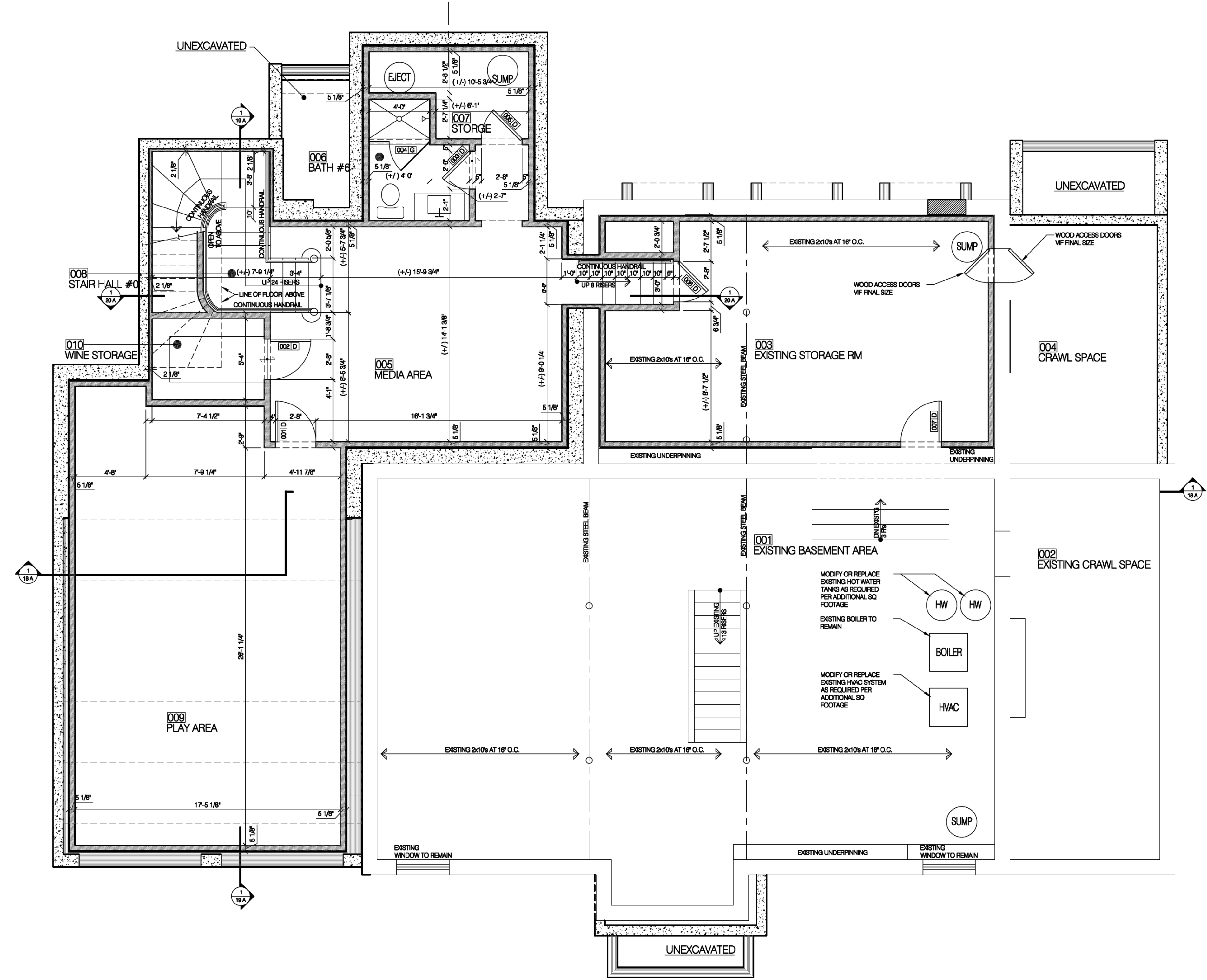
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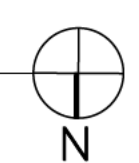
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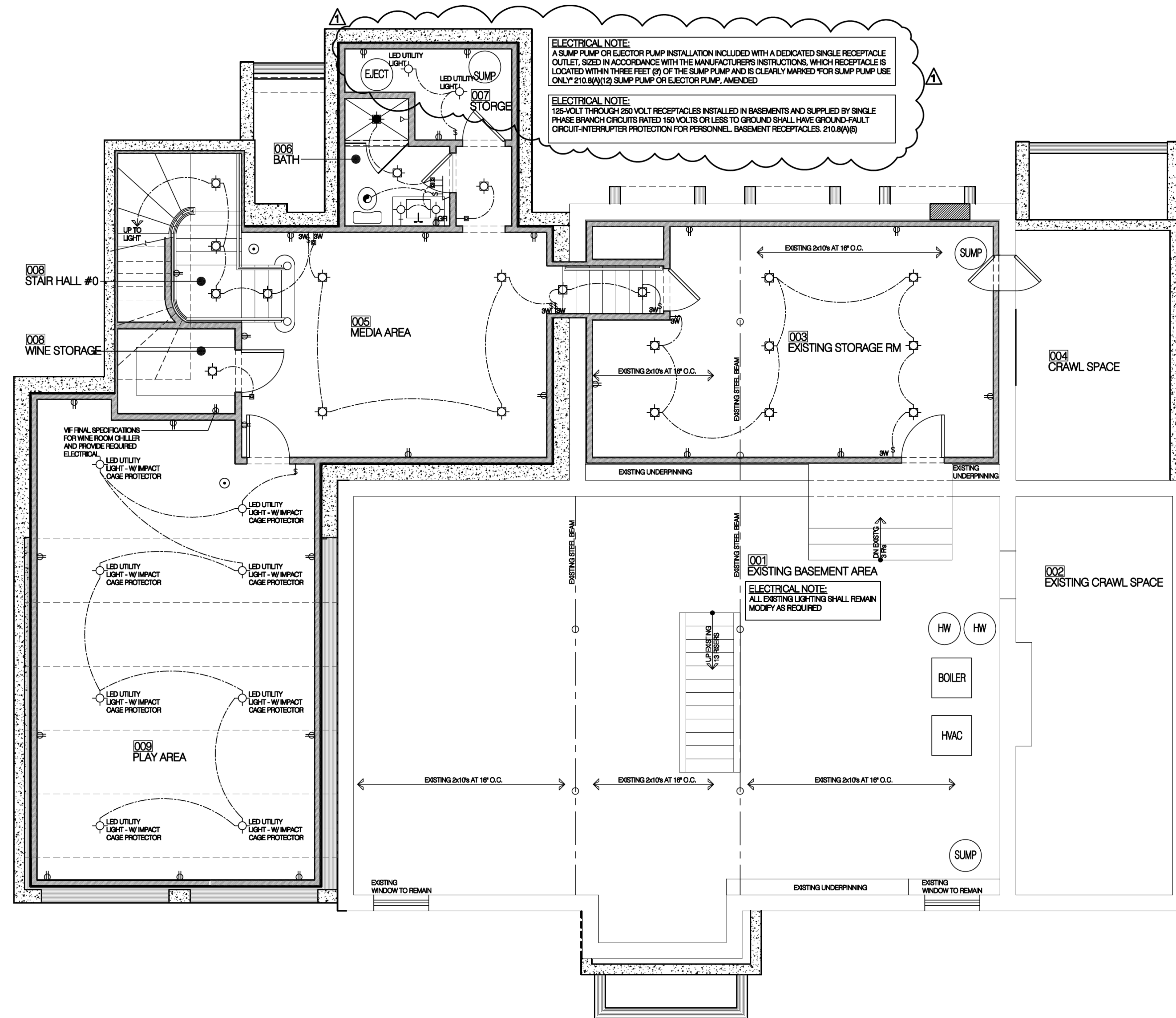
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1 FOUNDATION - BASEMENT CONSTRUCTION
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ELECTRICAL NOTE:
A SUMP PUMP OR EJECTOR PUMP INSTALLATION INCLUDED WITH A DEDICATED SINGLE RECEPTACLE OUTLET, SIZED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, WHICH RECEPTACLE IS LOCATED WITHIN THREE FEET (3') OF THE SUMP PUMP AND IS CLEARLY MARKED "FOR SUMP PUMP USE ONLY." 210.8(A)(12) SUMP PUMP OR EJECTOR PUMP, AMENDED.

ELECTRICAL NOTE:
125-VOLT THROUGH 250 VOLT RECEPTACLES INSTALLED IN BASEMENTS AND SUPPLIED BY SINGLE PHASE BRANCH CIRCUITS RATED 150 VOLTS OR LESS TO GROUND SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. BASEMENT RECEPTACLES, 210.8(A)(6)

ELECTRICAL NOTE:
AC DISCONNECTS PROVIDE MINIMUM WORK SPACE CLEARANCES FOR EQUIPMENT PER NEC 110.26 AND IRC SECTION E3405

ELECTRICAL NOTE:
A SINGLE-PHASE, 15 OR 20-A, 125 V RECEPTACLE IS REQUIRED WITHIN 25 FT. OF ANY HVAC AND REFRIGERATION EQUIPMENT. PER NEC ART. 210.63

ELECTRICAL NOTE:
RECEPTACLES SERVING THE HVAC EQUIPMENT MUST BE GFCI PROTECTED, PER 210.18

ELECTRICAL NOTE:
PROVIDE A GFCI PROTECTED RECEPTACLE FOR EACH STORM AND SANITARY SUMP PUMP, PER NEC 680.51

ELECTRICAL NOTE:
ALL 15 AND 20-AMPERE RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES, PER IRC E4002.14 AND NEC ART. 408.12

ELECTRICAL NOTE:
ALL CAN - CEILING LIGHTING AND IN - FLOOR ELECTRICAL RECEPTACLES ARE REQUIRED TO BE RATED FOR SUCH USE BY AN APPROVED TESTING AGENCY

ELECTRICAL NOTE:
ALL CAN - CEILING LIGHTING AND IN - FLOOR ELECTRICAL RECEPTACLES ARE REQUIRED TO BE RATED FOR SUCH USE BY AN APPROVED TESTING AGENCY

ELECTRICAL NOTE:
ANY JUNCTION BOX WHICH IS BEING INSTALLED IN A AREA THAT CAN ACCOMMODATE A CEILING FAN SHALL BE IDENTIFIED FOR CEILING FAN SUPPORT PER NEC ART. 314.27 (C) AND INDICATED BY RUB - REINFORCED JUNCTION BOX

ELECTRICAL NOTE:
GENERAL CONTRACTOR SHALL VERIFY FINAL LOCATION OF CABINETS AND APPLIANCES PRIOR TO ANY INSTALLATION OF ELECTRICAL ROUGH-INS

ELECTRICAL NOTE:
ALL RECEPTACLES TO BE PROTECTED BY AFCI FAULT CIRCUIT INTERRUPTER - REFER TO CODE FOR EXCEPTIONS

ELECTRICAL NOTE:
ALL OR ANY LED LIGHT SHALL BE WARM IN COLOR AND DIMMABLE. PROVIDE SAMPLE 4" CAN LIGHTING FOR ARCHITECT / OWNER TO APPROVE

ELECTRICAL KEY	
SYMBOL	REMARKS
☉	CERAMIC CEILING MOUNT LIGHT FIXTURE; RUB INDICATES REINFORCED JUNCTION BOX
⊕	DUPLEX RECEPTACLE; GFI INDICATES GROUND FAULT INTERRUPTOR CIRCUIT; AFCI INDICATES ARC FAULT INTERRUPTOR CIRCUIT - TYPICAL IN ANY SLEEPING ROOM.
⚡	POLE SWITCHES
⏏	DIMMER SWITCH
⌄	THERMOSTAT LOCATION
☉	UNNO 4" CAN LIGHT LED
☉	UNNO 6" CAN LIGHT LED
☉	UNNO 4" CAN WALL WASHER LED (NO EYEBALL TYPE TRIM)
☉	UNNO 4" WATER PROTECTED CAN LIGHT ON GFI CIRCUIT-FOR ALL WET LOCATIONS, TYP. JUNCTION BOX FOR SURFACE MOUNT LIGHT FIXTURES; HEIGHTS TBD IN FIELD.
☉	UNNO TRACK 12 UNDERCABINET LIGHTING WHERE APPLICABLE; OTHERWISE INDICATES FLUORESCENT OVERHEAD LIGHTING ON JAMB ACTIVATED SWITCH- TYP IN CLOSETS
☉	FLUSH WALL MOUNTED LED STEP LIGHTING

ADDITIONAL ELECTRICAL KEY	
☉	PANASONIC BRAND CEILING EXHAUST FAN; SEE LIGHTING SCHEDULE FOR MODEL NO.
☉	PHONE
☉	CABLE
☉	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR; ALL S.D. HARD WIRED TOGETHER
☉	HATCH INDICATES AREAS TO RECEIVE ELECTRIC IN-N FLOOR RADIANT HEAT MAT
☉	SPEAKER - AV CONSULTANT TO PROVIDE

1 FOUNDATION - BASEMENT ELECTRICAL
Scale 1/4" = 1'-0"

PROJECT:
BAKER RESIDENCE
1034 WESTMOOR ROAD
WINNETKA, ILLINOIS

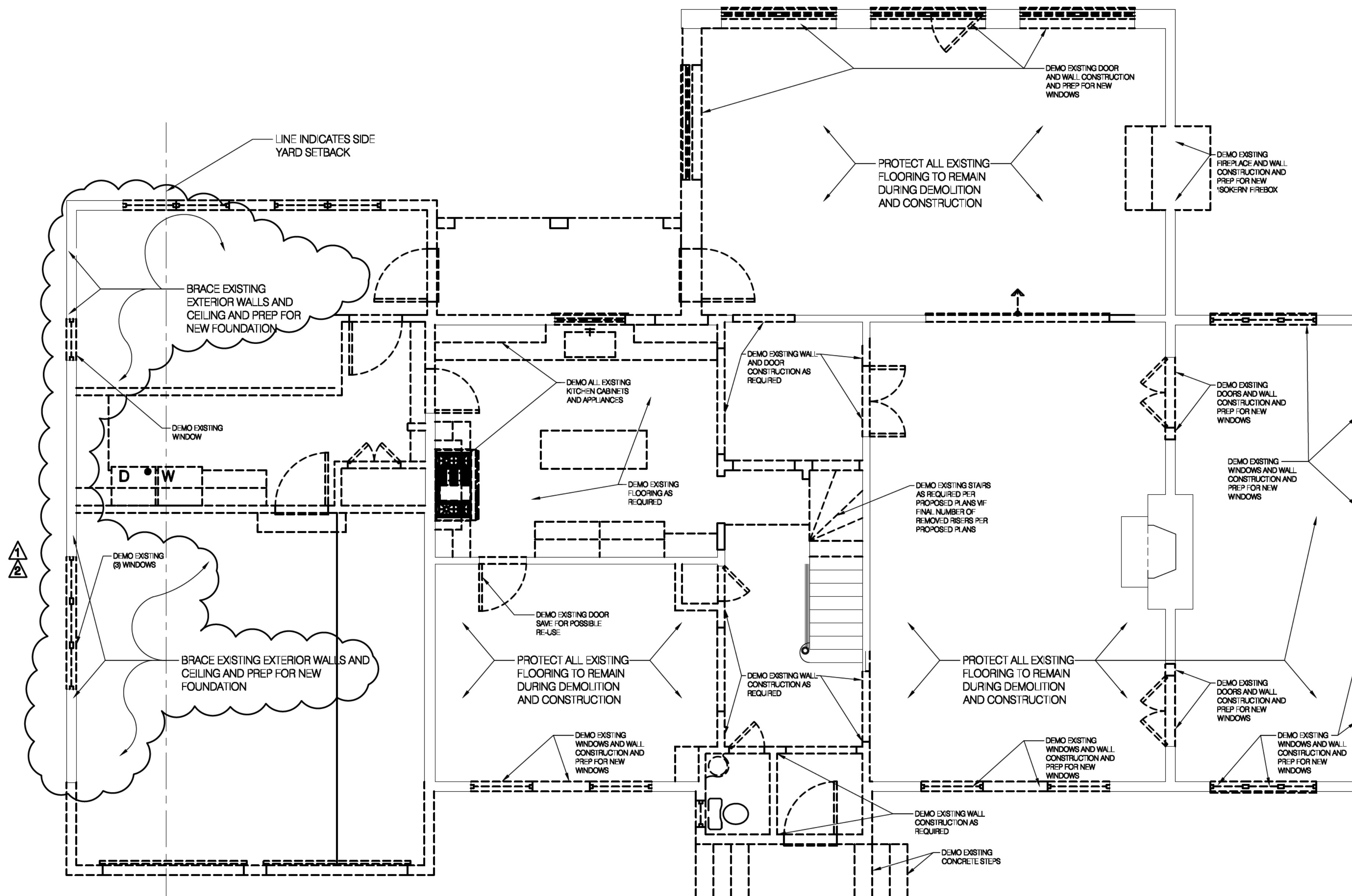
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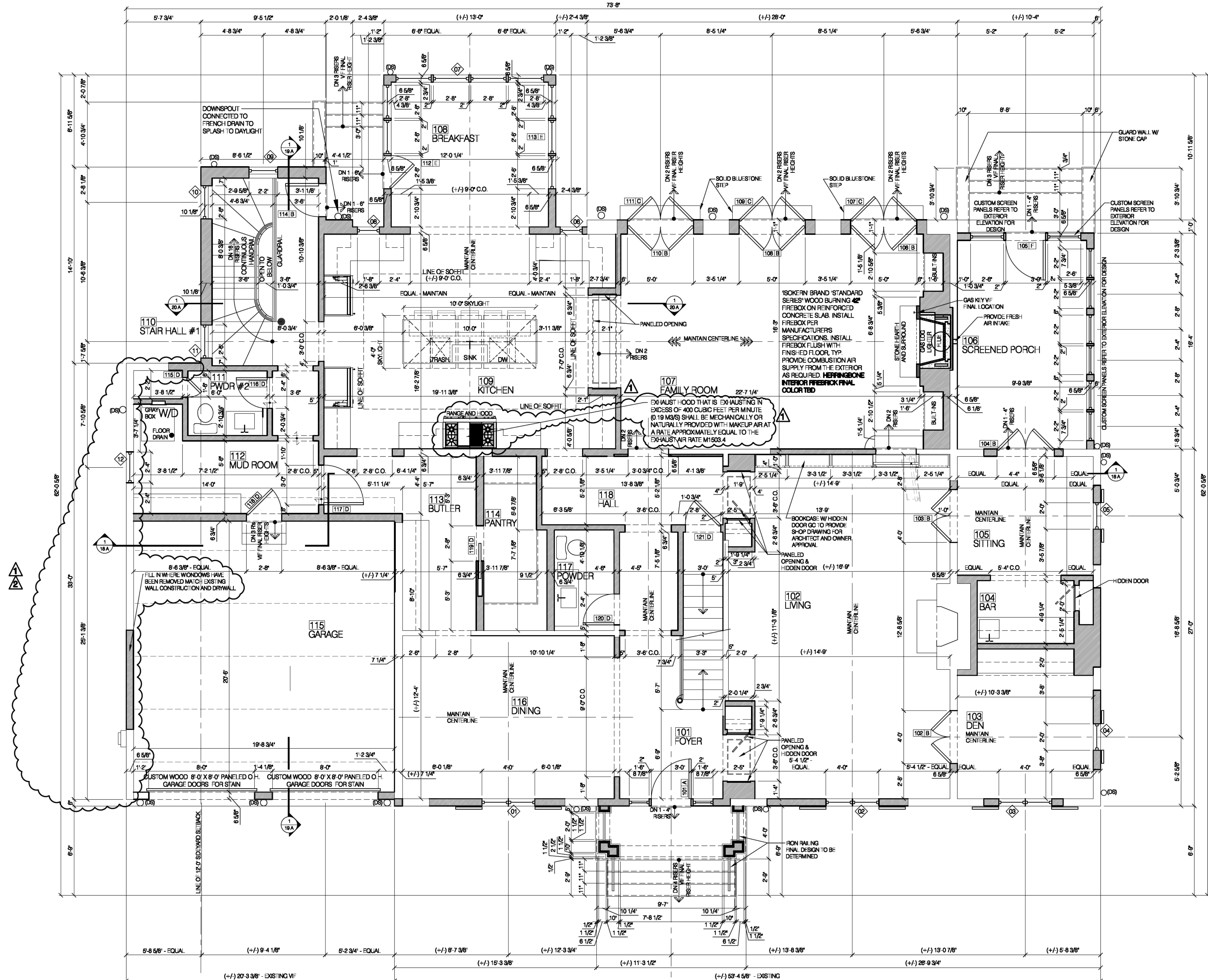
1 FRIST FLOOR - DEMOLITION PLAN
Scale 1/4" = 1'-0"



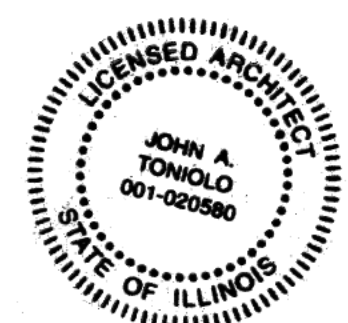
No.	Date	Issue
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	11/23/2024	CLIENT REVISION - BASEMENT
1	2/17/2025	VILLAGE OF WINNETKA - REVISIONS
2	4/5/2025	ZONING REVISIONS

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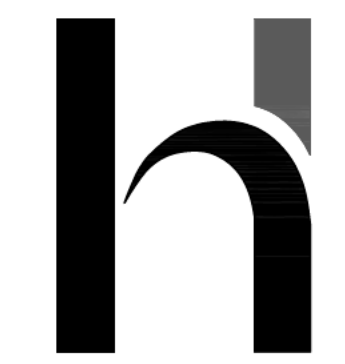
1 FRIST FLOOR - CONSTRUCTION PLAN
Scale 1/4" = 1'-0"



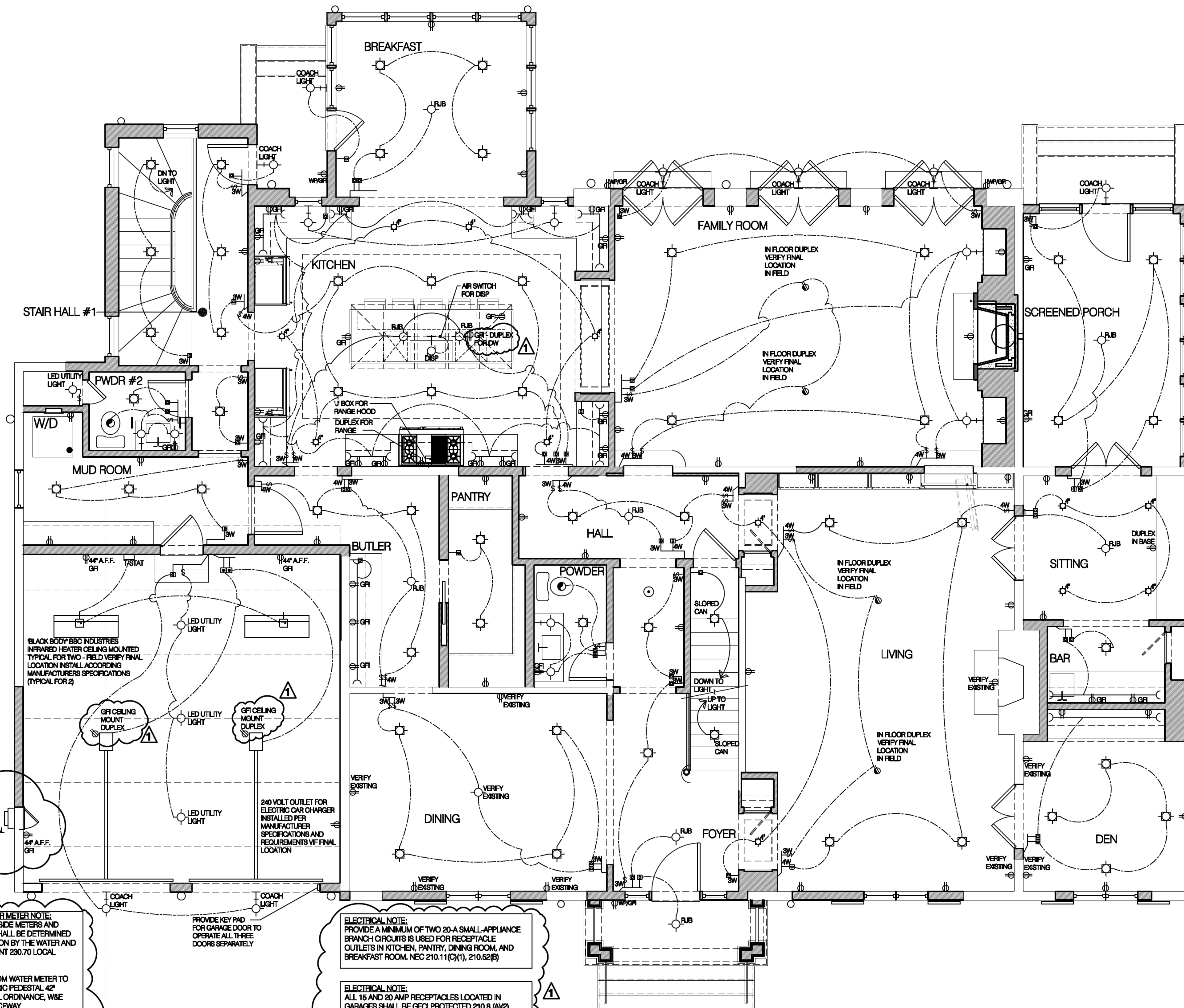
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ELECTRICAL NOTE:
 AC DISCONNECTS PROVIDE MINIMUM WORK SPACE CLEARANCES FOR EQUIPMENT PER NEC 110.28 AND IFC SECTION 530.5

ELECTRICAL NOTE:
 A SINGLE-PHASE, 15 OR 20-A, 125 V RECEPTACLE IS REQUIRED WITHIN 25 FT. OF ANY HVAC AND REFRIGERATION EQUIPMENT. PER NEC ART. 210.88

ELECTRICAL NOTE:
 RECEPTILES SERVICING THE HVAC EQUIPMENT MUST BE GFCI PROTECTED. PER 210.18

ELECTRICAL NOTE:
 PROVIDE A GFCI PROTECTED RECEPTACLE FOR EACH STORM AND SANITARY SUMP PUMP. PER NEC 680.51

ELECTRICAL NOTE:
 ALL 15 AND 20-AMPERE RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. PER IFC 4002.14 AND NEC ART. 408.12

ELECTRICAL NOTE:
 ALL CAN - CEILING LIGHTING AND IN - FLOOR ELECTRICAL RECEPTACLES ARE REQUIRED TO BE RATED FOR SUCH USE BY AN APPROVED TESTING AGENCY

ELECTRICAL NOTE:
 ALL CAN - CEILING LIGHTING AND IN - FLOOR ELECTRICAL RECEPTACLES ARE REQUIRED TO BE RATED FOR SUCH USE BY AN APPROVED TESTING AGENCY

ELECTRICAL NOTE:
 ANY JUNCTION BOX WHICH IS BEING INSTALLED IN A AREA THAT CAN ACCOMMODATE A CEILING FAN SHALL BE IDENTIFIED FOR CEILING FAN SUPPORT PER NEC ART. 314.27 (C) AND INDICATED BY RUB - REINFORCED JUNCTION BOX

ELECTRICAL NOTE:
 GENERAL CONTRACTOR SHALL VERIFY FINAL LOCATION OF CABINETS AND APPLIANCES PRIOR TO ANY INSTALLATION OF ELECTRICAL ROUGH-IN'S

ELECTRICAL NOTE:
 ALL RECEPTACLES TO BE PROTECTED BY AFC FAULT CIRCUIT INTERRUPTER - REFER TO CODE FOR EXCEPTIONS

ELECTRICAL NOTE:
 ALL OR ANY LED LIGHT SHALL BE WARM IN COLOR AND DIMMABLE. PROVIDE SAMPLE 4" CAN LIGHTING FOR ARCHITECT / OWNER TO APPROVE

ELECTRICAL KEY
 SYMBOL REMARKS
 CERAMIC CEILING MOUNT LIGHT FIXTURE;
 RUB INDICATES REINFORCED JUNCTION BOX
 DUPLEX RECEPTACLE; GFI INDICATES
 GROUND FAULT INTERRUPTOR CIRCUIT; AF
 INDICATES ARC FAULT INTERRUPTOR
 CIRCUIT - TYPICAL IN ANY SLEEPING ROOM.
 POLE SWITCHES
 DIMMER SWITCH
 THERMOSTAT LOCATION
 JUNO 4" CAN LIGHT LED
 JUNO 6" CAN LIGHT LED
 JUNO 4" CAN WALL WASHER LED
 (NO EYEBALL TYPE TRIM)
 JUNO 4" WATER PROTECTED CAN LIGHT ON
 GFI CIRCUIT FOR ALL WET LOCATIONS, TYP.
 JUNCTION BOX FOR SURFACE MOUNT
 LIGHT FIXTURES; HEIGHTS TBD IN FIELD.
 WHERE APPLICABLE; OTHERWISE INDICATES
 FLUORESCENT OVERHEAD LIGHTING ON
 JAMB ACTIVATED SWITCH - TYP IN CLOSETS
 FLUSH WALL MOUNTED LED STEP LIGHTING

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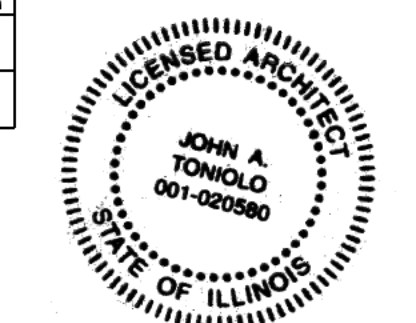
ADDITIONAL ELECTRICAL KEY

	PANASONIC BRAND CEILING EXHAUST FAN - SEE LIGHTING SCHEDULE FOR MODEL NO.
	CABLE
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR; ALL S.D. HARD WIRED TOGETHER
	HATCH INDICATES AREAS TO RECEIVE ELECTRIC IN-FLOOR RADIANT HEAT MAT
	SPEAKER - AV CONSULTANT TO PROVIDE

ELECTRICAL & WATER METER NOTE:
 1. LOCATION OF OUTSIDE METERS AND METER PEDESTALS SHALL BE DETERMINED PRIOR TO INSTALLATION BY THE WATER AND ELECTRO DEPARTMENT 230.70 LOCAL AMENDMENT
 2. RUN RACEWAY FROM WATER METER TO WITHIN 120" ELECTRIC PEDESTAL 4" ABOVE GRADE LOCAL ORDINANCE, WISE MAXIMUM 100' OF RACEWAY
 3. AN OUTDOOR, READILY ACCESSIBLE EMERGENCY DISCONNECT SHALL BE INSTALLED WITH ALL SERVICE CONDUCTORS TERMINATING IN A DISCONNECTING MEANS HAVING A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT. THIS OUTDOOR EMERGENCY DISCONNECT(S) MUST BE MARKED OR LABELED PROPERLY. NEC 230.85

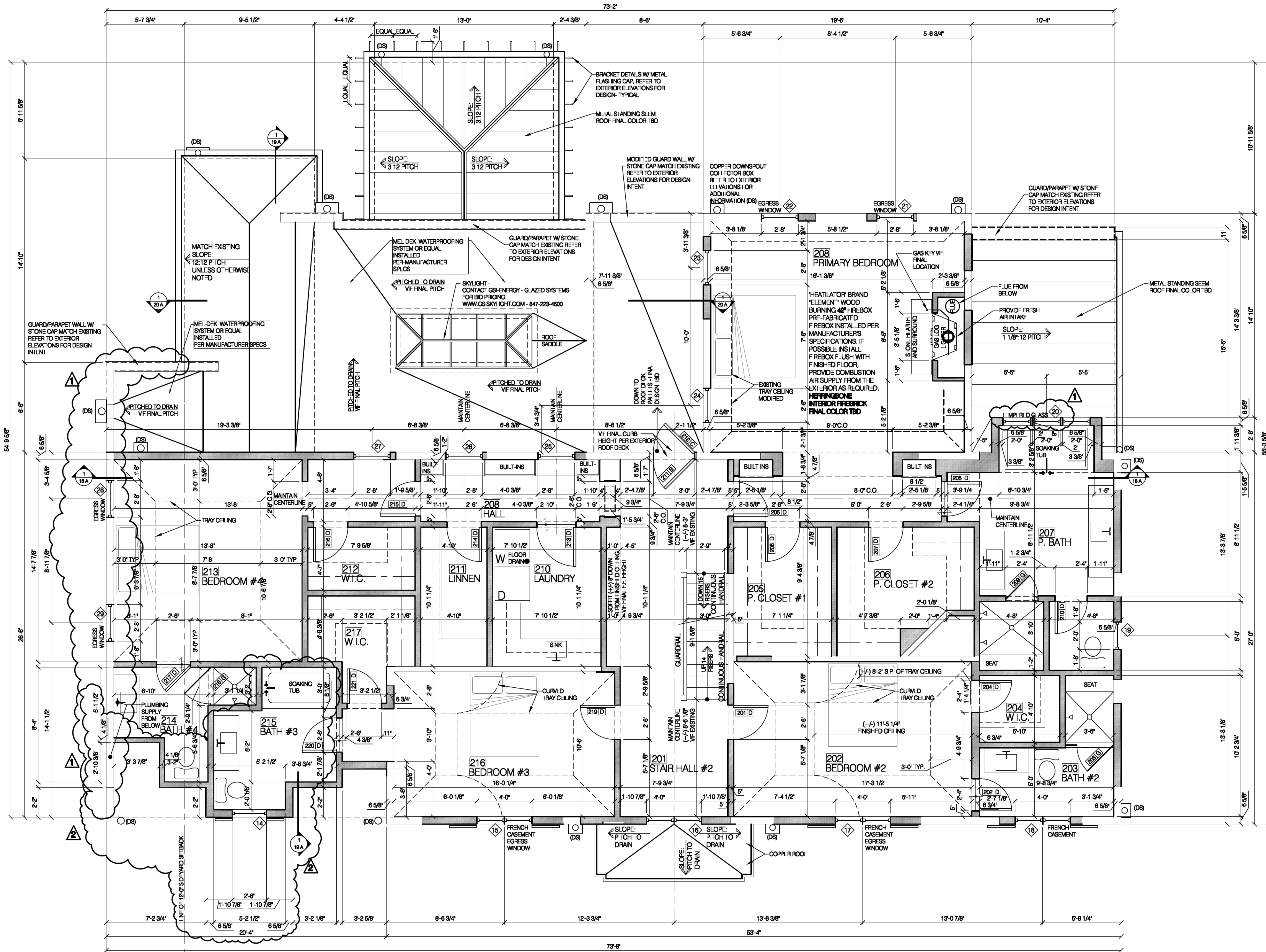
ELECTRICAL NOTE:
 PROVIDE A MINIMUM OF TWO 20-A SMALL-APPLIANCE BRANCH CIRCUITS IS USED FOR RECEPTACLE OUTLETS IN KITCHEN, PANTRY, DINING ROOM, AND BREAKFAST ROOM. NEC 210.11(C)(1), 210.62(B)
ELECTRICAL NOTE:
 ALL 15 AND 20 AMP RECEPTACLES LOCATED IN GARAGES SHALL BE GFCI PROTECTED 210.8 (A)(2) THIS INCLUDES GARAGE DOOR OPENERS WITH ACCESSIBLE RESET
ELECTRICAL NOTE:
 RECEPTACLE OUTLETS WITHIN 6" OF THE EDGE OF A BAR SINK SHALL HAVE GROUND FAULT PROTECTION. NEC 210.8 (A) (7) BUTLERS PANTRY

1 FRIST FLOOR - ELECTRICAL PLAN
 Scale 1/4" = 1'-0"

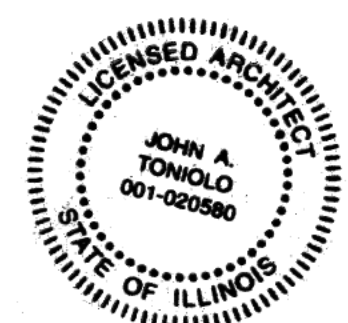


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PROJECT:
BAKER RESIDENCE
 1034 WESTMOOR ROAD
 WINNETKA, ILLINOIS



1 SECOND FLOOR - CONSTRUCTION PLAN
 Scale 1/4" = 1'-0"

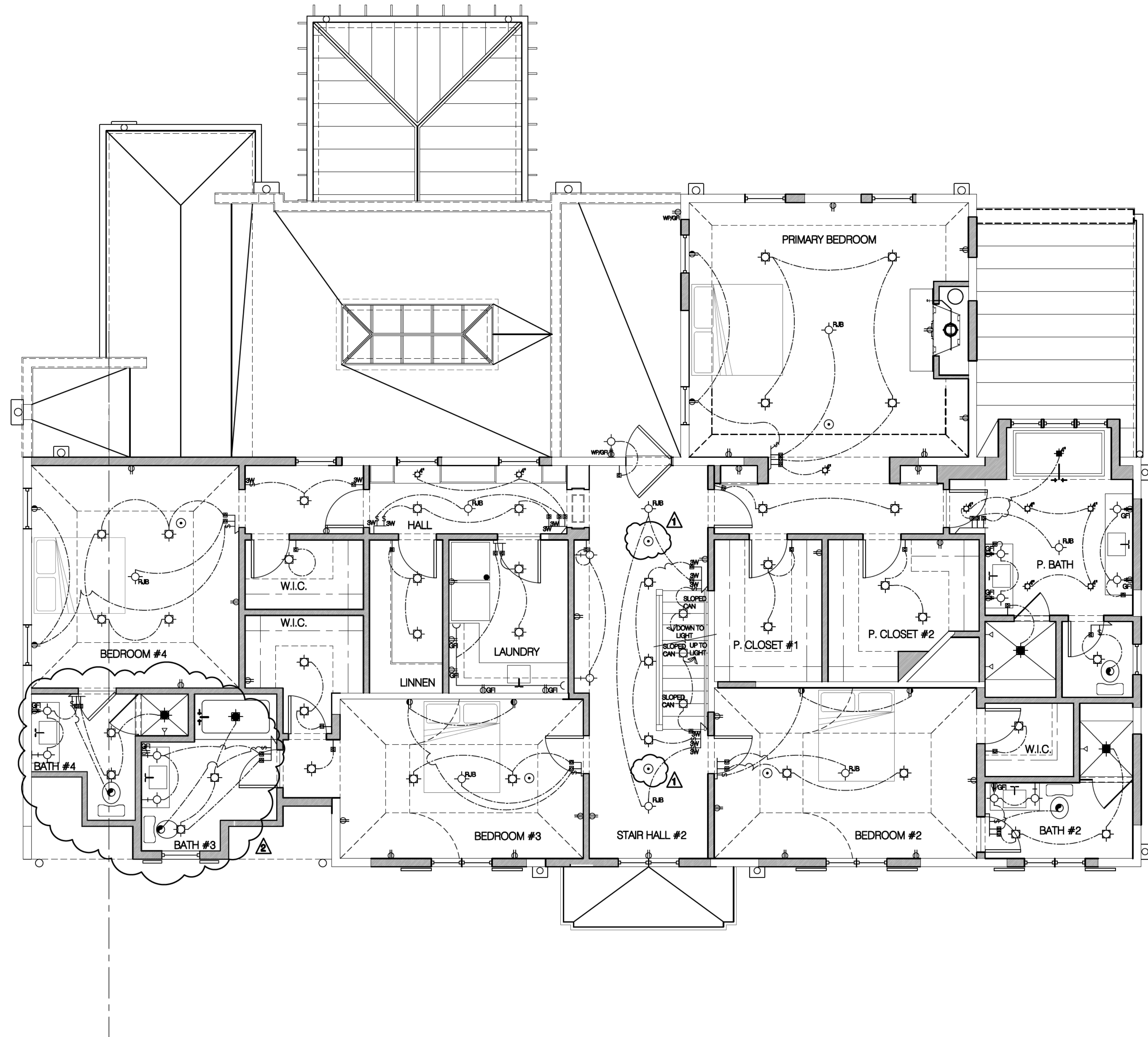


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BAKER RESIDENCE
1034 WESTMOOR ROAD
WINNETKA, ILLINOIS

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1 SECOND FLOOR - ELECTRICAL PLAN
Scale 1/4" = 1'-0"

ELECTRICAL NOTE:
AC DISCONNECTS PROVIDE MINIMUM WORK SPACE CLEARANCES FOR EQUIPMENT PER NEC 110.26 AND IRC SECTION E3405

ELECTRICAL NOTE:
A SINGLE-PHASE, 15 OR 20-A, 125 V RECEPTACLE IS REQUIRED WITHIN 25 FT. OF ANY HVAC AND REFRIGERATION EQUIPMENT. PER NEC ART. 210.63

ELECTRICAL NOTE:
RECEPTACLES SERVICING THE HVAC EQUIPMENT MUST BE GFCI PROTECTED, PER 210.18

ELECTRICAL NOTE:
PROVIDE A GFCI PROTECTED RECEPTACLE FOR EACH STORM AND SANITARY SUMP PUMP. PER NEC 680.51

ELECTRICAL NOTE:
ALL 15 AND 20-AMPERE RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES, PER IRC E4002.14 AND NEC ART. 408.12

ELECTRICAL NOTE:
ALL CAN - CEILING LIGHTING AND IN - FLOOR ELECTRICAL RECEPTACLES ARE REQUIRED TO BE RATED FOR SUCH USE BY AN APPROVED TESTING AGENCY

ELECTRICAL NOTE:
ALL CAN - CEILING LIGHTING AND IN - FLOOR ELECTRICAL RECEPTACLES ARE REQUIRED TO BE RATED FOR SUCH USE BY AN APPROVED TESTING AGENCY

ELECTRICAL NOTE:
ANY JUNCTION BOX WHICH IS BEING INSTALLED IN A AREA THAT CAN ACCOMMODATE A CEILING FAN SHALL BE IDENTIFIED FOR CEILING FAN SUPPORT PER NEC ART. 314.27 (3) AND INDICATED BY RJB - REINFORCED JUNCTION BOX

ELECTRICAL NOTE:
GENERAL CONTRACTOR SHALL VERIFY FINAL LOCATION OF CABINETS AND APPLIANCES PRIOR TO ANY INSTALLATION OF ELECTRICAL ROUGH-INS

ELECTRICAL NOTE:
ALL RECEPTACLES TO BE PROTECTED BY AFCI FAULT CIRCUIT INTERRUPTER - REFER TO CODE FOR EXCEPTIONS

ELECTRICAL NOTE:
ALL OR ANY LED LIGHT SHALL BE WARM IN COLOR AND DIMMABLE. PROVIDE SAMPLE 4" CAN LIGHTING FOR ARCHITECT / OWNER TO APPROVE

ELECTRICAL KEY

SYMBOL	REMARKS
[Symbol]	CERAMIC CEILING MOUNT LIGHT FIXTURE
[Symbol]	RJB INDICATES REINFORCED JUNCTION BOX
[Symbol]	OUTLET RECEPTACLE; GFI INDICATES GROUND FAULT INTERRUPTOR CIRCUIT; AFCI INDICATES AFCI FAULT INTERRUPTOR CIRCUIT - TYPICAL IN ANY SLEEPING ROOM.
[Symbol]	POLE SWITCHES
[Symbol]	DIMMER SWITCH
[Symbol]	THERMOSTAT LOCATION
[Symbol]	1/2" JUNO 4" CAN LIGHT LED
[Symbol]	1/2" JUNO 6" CAN LIGHT LED
[Symbol]	1/2" JUNO 4" CAN WALL WASHER LED (NO EYEBALL TYPE TRIM)
[Symbol]	1/2" JUNO 4" WATER PROTECTED CAN LIGHT ON GFI CIRCUIT-FOR ALL WET LOCATIONS, TYP.
[Symbol]	JUNCTION BOX FOR SURFACE MOUNT LIGHT FIXTURES; HEIGHTS TIED IN FIELD.
[Symbol]	JUNO TRACK 12 UNDERCABINET LIGHTING WHERE APPLICABLE; OTHERWISE INDICATES FLUORESCENT OVERHEAD LIGHTING ON JAMB ACTIVATED SWITCH-TYP IN CLOSETS
[Symbol]	FLUSH WALL MOUNTED LED STEP LIGHTING

ADDITIONAL ELECTRICAL KEY

[Symbol]	PANASONIC BRAND CEILING EXHAUST FAN; SEE LIGHTING SCHEDULE FOR MODEL NO.
[Symbol]	PHONE
[Symbol]	CABLE
[Symbol]	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR; ALL S.D. HARD WIRED TOGETHER
[Symbol]	HATCH INDICATES AREAS TO RECEIVE ELECTRIC IN-FLOOR RADIANT HEAT MAT
[Symbol]	SPEAKER - AV CONSULTANT TO PROVIDE

PROJECT:
BAKER RESIDENCE
1034 WESTMOOR ROAD
WINNETKA, ILLINOIS

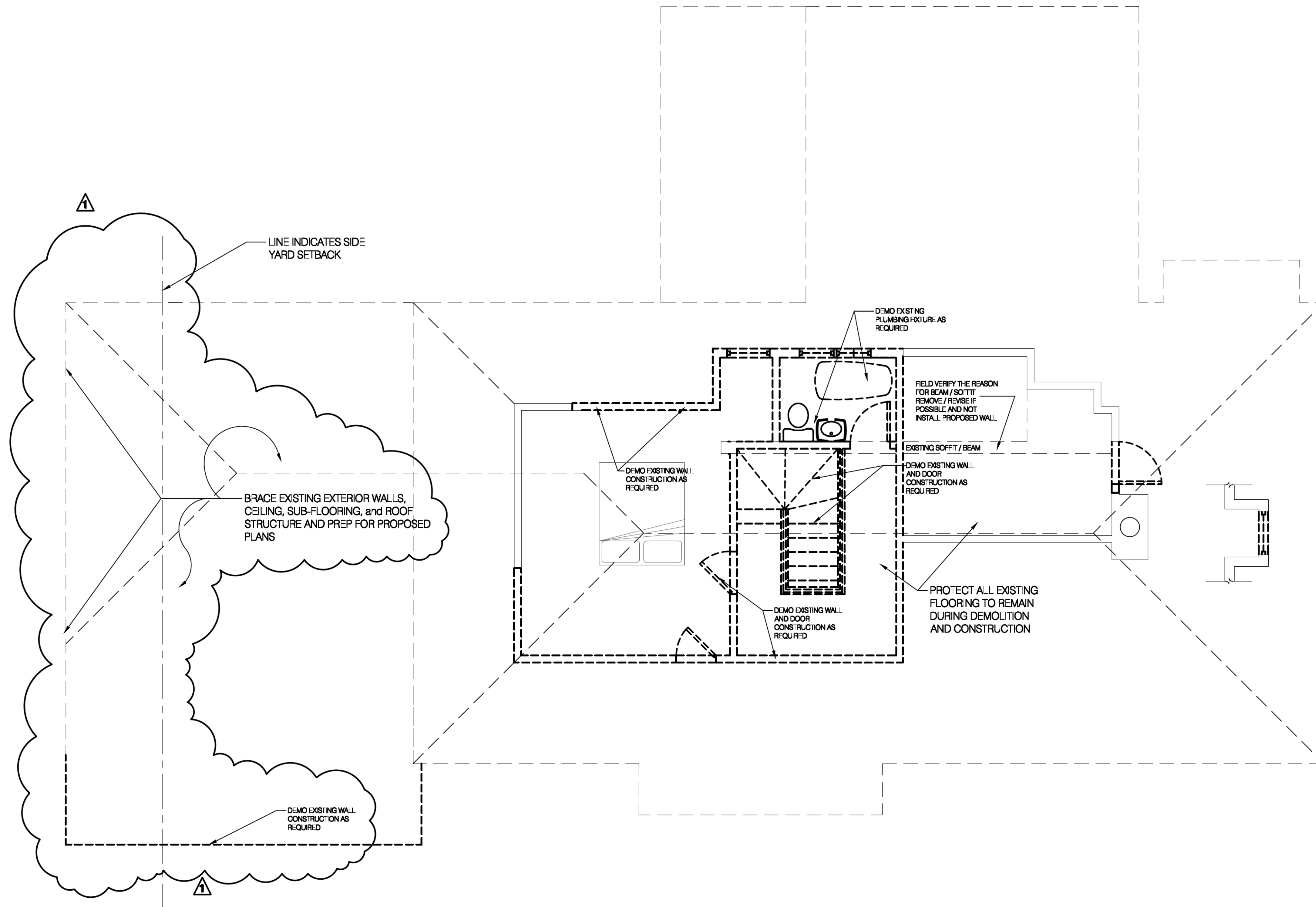
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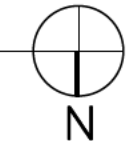
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1 ATTIC FLOOR - DEMOLITION PLAN
Scale 1/4" = 1'-0"



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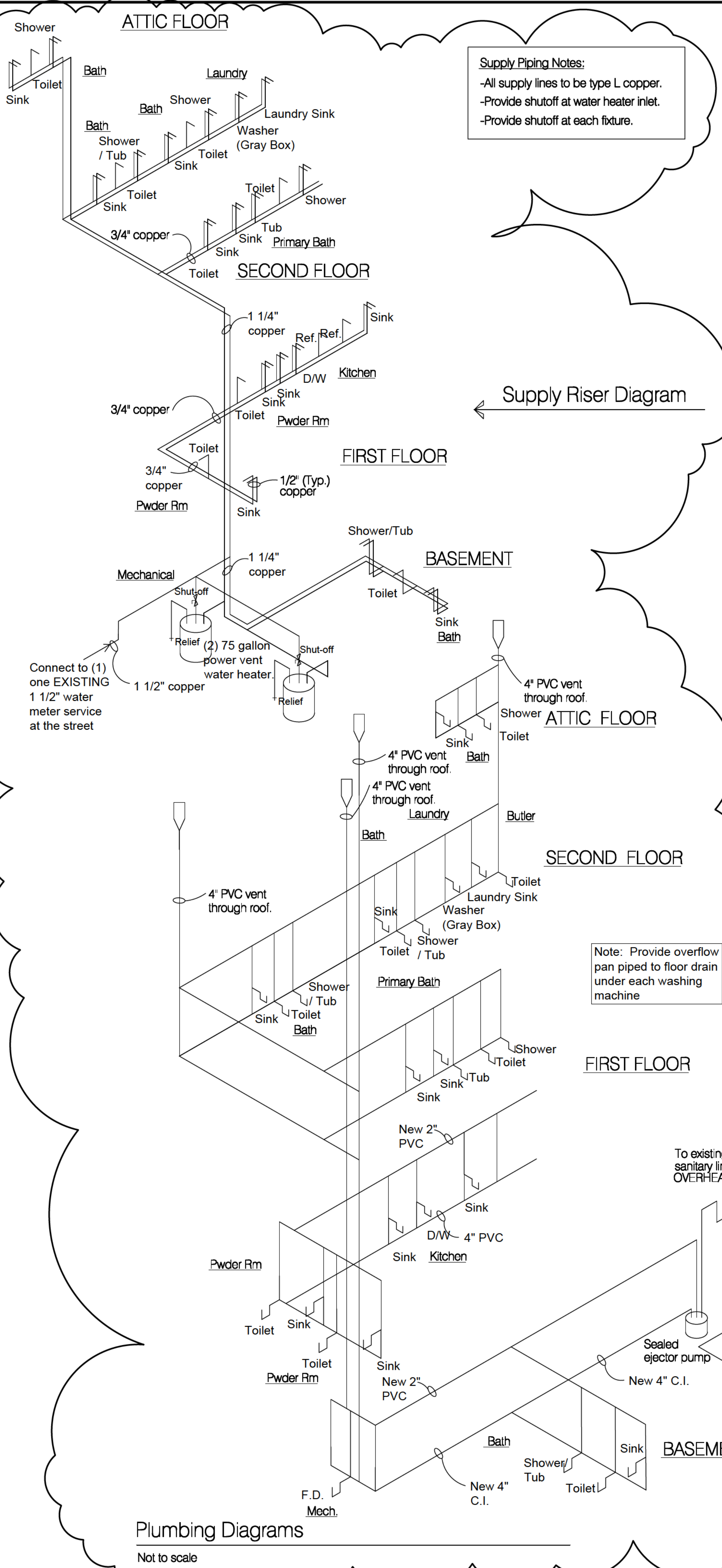
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1034 WESTMOOR ROAD
WINNETKA, ILLINOIS

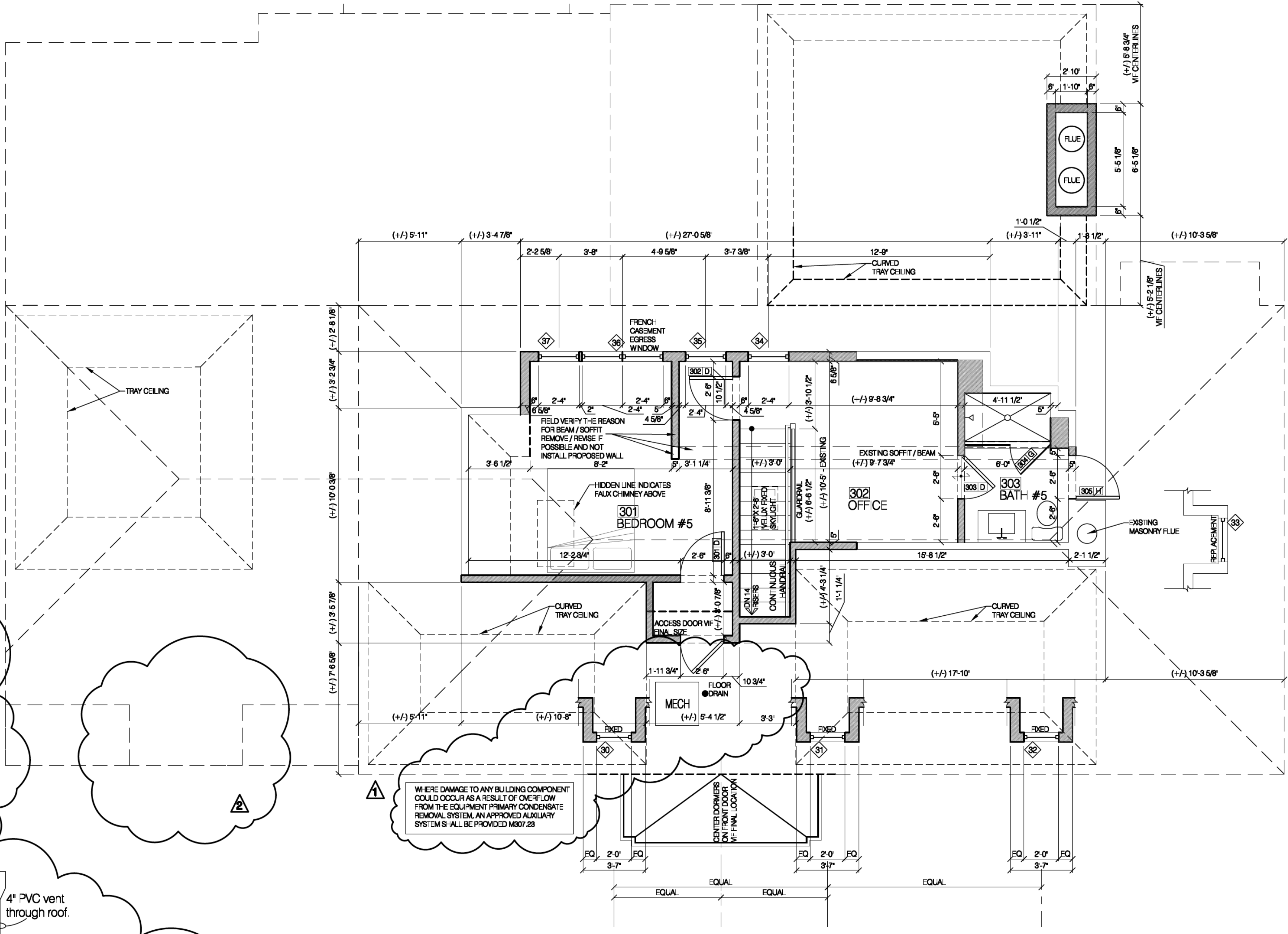
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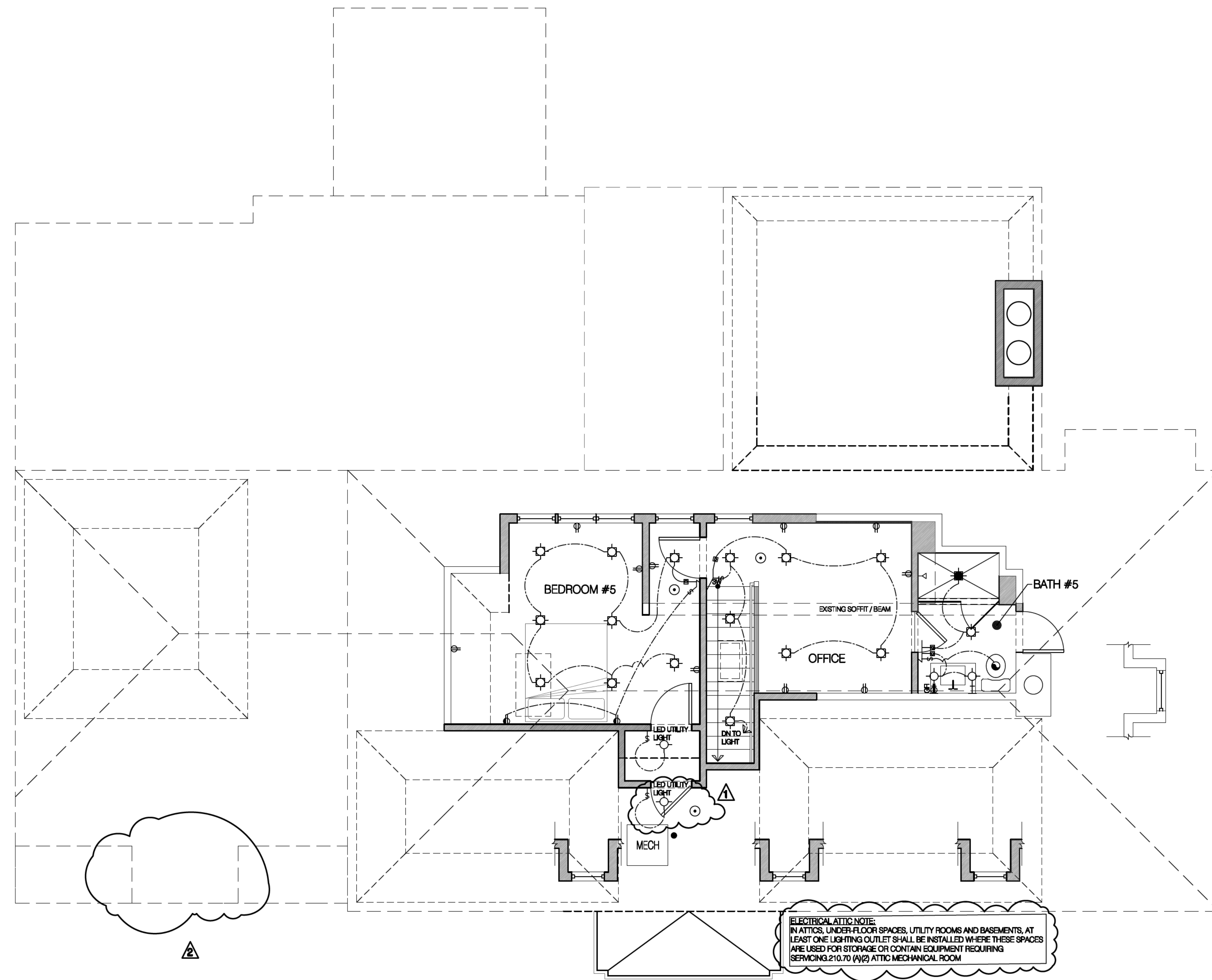
Sloped Ceiling Requirement
 For rooms with sloped ceilings, the required floor area of the room shall have a ceiling height of not less than 5 feet and not less than 50 percent of the required floor area shall have a ceiling height of not less than 7 feet R905.1.1 Attic



AUTOMATIC SPRINKLER NOT REQUIRED PER THE FOLLOWING REQUIREMENTS:

- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR NEW BUILDINGS OR CONSTRUCTION WHEN ALL OF THE FOLLOWING CONDITIONS ARE MET: A. WHEN SOLID DIMENSIONAL LUMBER IS USED TO CONSTRUCT THE FLOOR/ROOF/WALL-FRAMING SYSTEMS (I.E. 2X MEMBERS), THE FRAMING SYSTEM SHALL BE PROTECTED BY AT LEAST ONE LAYER OF 5/8-INCH GYPSUM WALL BOARD ON ALL CEILINGS AND WALLS.
 - WHEN ENGINEERED STRUCTURAL COMPONENTS SUCH AS JOISTS, GLUE LAMINATED LUMBER AND OPEN-WEB FLOOR AND ROOF TRUSSES, TO CONSTRUCT ANY PORTION OF A FLOOR/ROOF/WALL-FRAMING SYSTEM OR ASSEMBLY, THE ENTIRE FRAMING SYSTEM SHALL BE PROTECTED BY AT LEAST ONE LAYER OF 5/8-INCH FIRECODE (TYPE C OR X) GYPSUM WALL BOARD. SEE DEFINITION OF "ENGINEERED STRUCTURAL COMPONENTS" IN CHAPTER 2, SECTION R202 AS AMENDED.
 - FLOOR FRAMING CONSTRUCTED OF COMBUSTIBLE TRUSS-TYPE OPEN-WEB PERFORATED MEMBERS SHALL HAVE DRAFTSTOPS INSTALLED SO THE AREA OF CONCEALED SPACE SHALL NOT EXCEED 500 SQ. FT., PER SECTION R302.12 - DRAFTSTOPPING, AS AMENDED BY THIS CODE.
 - SOLID WOOD CORE DOORS NOT LESS THAN 1-3/8 INCHES IN THICKNESS OR 20-MINUTE RATED DOORS SHALL BE USED FOR DOORS TO BEDROOMS, DENS, STUDIES, OFFICES WITH CLOSETS, MECHANICAL ROOMS, LAUNDRY ROOMS, AND BASEMENTS. 313.2 EXCEPTION 2





1 ATTIC FLOOR - ELECTRICAL PLAN
Scale 1/4" = 1'-0"

ELECTRICAL NOTE:
AC DISCONNECTS PROVIDE MINIMUM WORK SPACE CLEARANCES FOR EQUIPMENT PER NEC 110.26 AND IFC SECTION E3405

ELECTRICAL NOTE:
A SINGLE-PHASE, 15 OR 20-A, 125 V RECEPTACLE IS REQUIRED WITH IN 25 FT. OF ANY HVAC AND REFRIGERATION EQUIPMENT. PER NEC ART. 210.63

ELECTRICAL NOTE:
RECEPTABLES SERVING THE HVAC EQUIPMENT MUST BE GFCI PROTECTED, PER 210.18

ELECTRICAL NOTE:
PROVIDE A GFCI PROTECTED RECEPTACLE FOR EACH STORM AND SANITARY SUMP PUMP, PER NEC 680.51

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ALL 15 AND 20-AMPERE RECEPTABLES SHALL BE LISTED AS TAMPER-RESISTANT RECEPTABLES, PER IFC E4002.14 AND NEC ART. 408.12

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ELECTRICAL NOTE:
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ELECTRICAL NOTE:
GENERAL CONTRACTOR SHALL VERIFY FINAL LOCATION OF CABINETS AND APPLIANCES PRIOR TO ANY INSTALLATION OF ELECTRICAL ROUGH-INS

ELECTRICAL NOTE:
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ELECTRICAL NOTE:
ALL OR ANY LED LIGHT SHALL BE WARM IN COLOR AND DIMMABLE. PROVIDE SAMPLE 4" CAN LIGHTING FOR ARCHITECT / OWNER TO APPROVE

ELECTRICAL KEY

SYMBOL	REMARKS
⊙	CERAMIC CEILING MOUNT LIGHT FIXTURE
RUB	INDICATES REINFORCED JUNCTION BOX
⊕	DUPLEX RECEPTACLE, GFI INDICATES GROUND FAULT INTERRUPTER CIRCUIT, AF INDICATES AFC FAULT INTERRUPTER CIRCUIT - TYPICAL IN ANY SLEEPING ROOM.
⚡	POLE SWITCHES
⊞	DIMMER SWITCH
⊞	THERMOSTAT LOCATION
⊕	4" CAN LIGHT LED
⊕	6" CAN LIGHT LED
⊕	4" CAN WALL WASHER LED AND EYEBALL TYPE TRIM
⊕	4" WATER PROTECTED CAN LIGHT ON GFI CIRCUIT - FOR ALL WET LOCATIONS, TYP.
⊕	JUNCTION BOX FOR SURFACE MOUNT LIGHT FIXTURES, HEIGHTS TBD IN FIELD
⊕	UNO TRACK 12 UNDERCABINET LIGHTING WHERE APPLICABLE; OTHERWISE INDICATES FLUORESCENT OVERHEAD LIGHTING ON JAMB ACTIVATED SWITCH - TYP IN CLOSETS
⊕	FLUSH WALL MOUNTED LED STEP LIGHTING

ADDITIONAL ELECTRICAL KEY

⊕	PANASONIC BRAND CEILING EXHAUST FAN; SEE LIGHT/VENT SCHEDULE FOR MODEL NO.
☎	PHONE
—	CABLE
⊕	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR; ALL S.D. HARD WIRED TOGETHER
⊕	HATCH INDICATES WIRING TO REDEFINE ELECTRIC IN-FLOOR RADIANT HEAT MAT
⊕	SPEAKER - AV CONSULTANT TO PROVIDE

PROJECT:
BAKER RESIDENCE
1034 WESTMOOR ROAD
WINNETKA, ILLINOIS

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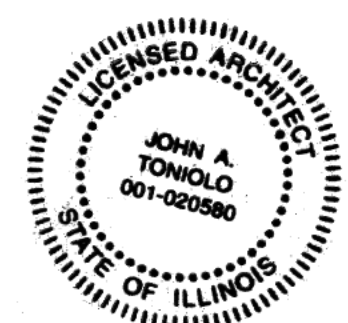
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ROOF NOTE:
 RE-SINGLE EXISTING ROOF ONLY AND REPAIR EXISTING SUB-ROOFING AS REQUIRED REFER TO ADDITIONAL ROOFING NOTES

ROOF VENTING NOTE:
 CLOSED CELL FOAM INSULATION SHALL BE USED FOR THE ENTIRE ROOF INSULATION. ROOF VENTING IS NOT REQUIRED. NOTIFY OWNER / ARCHITECT IF THERE ARE ANY SUBSTITUTIONS.

ROOFING NOTES:

ASPHALT ROOFING - ARCHITECTURAL SERIES 3-AP, 3-INCHES ON 42 LB. ROOFING FELT OVER 3/4" EXT. GRADE PLYWOOD SHEATHING.

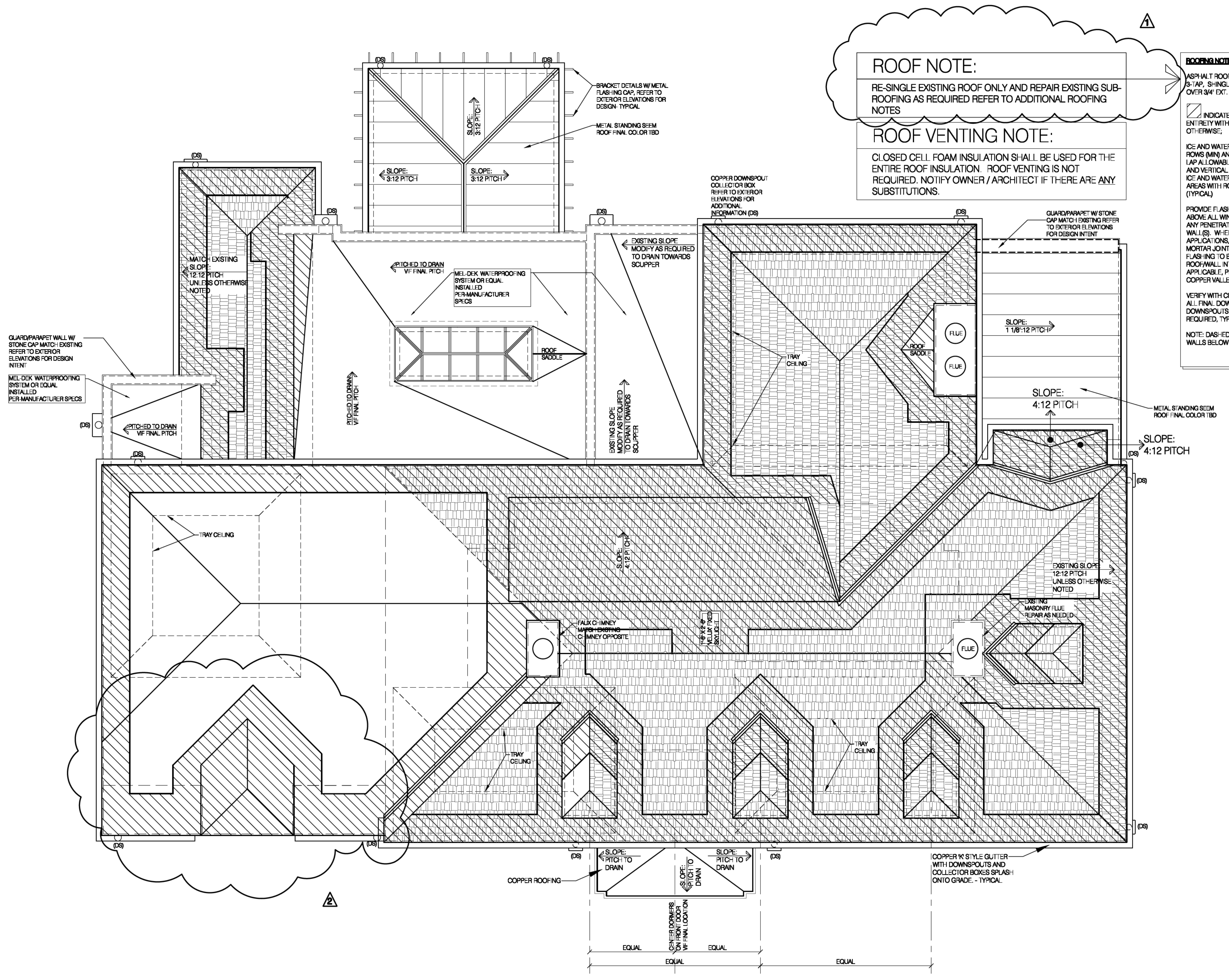
INDICATES AREAS TO BE COVERED IN ENTIRETY WITH ICE AND WATER SHIELD OTHERWISE:

ICE AND WATER SHIELD TO BE LAPPED (2) ROWS MIN AND 8" AWAY FROM ALL EAVES. 1 LAP ALLOWABLE AT VALLEYS, HIP ROOF(S), AND VERTICAL WALL INTERSECTIONS. PROVIDE ICE AND WATER SHIELD OVER ALL ROOFED AREAS WITH ROOF PITCH LESS THAN 4:12 (TYPICAL).

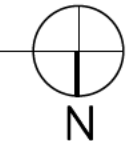
PROVIDE FLASHING AND COUNTER FLASHING ABOVE ALL WINDOW/DOOR OPENINGS AND ANY PENETRATION THROUGH THE EXTERIOR WALL(S). WHERE APPLICABLE IN MASONRY APPLICATIONS, REGLET ALL FLASHING INTO MORTAR JOINTS. FLASHING AND COUNTER FLASHING TO BE PROVIDED AT ALL ROOF/WALL INTERSECTIONS, TYPICAL. WHERE APPLICABLE, PROVIDE 6" WIDE EXPOSED COPPER VALLEY FLASHING AS REQUIRED.

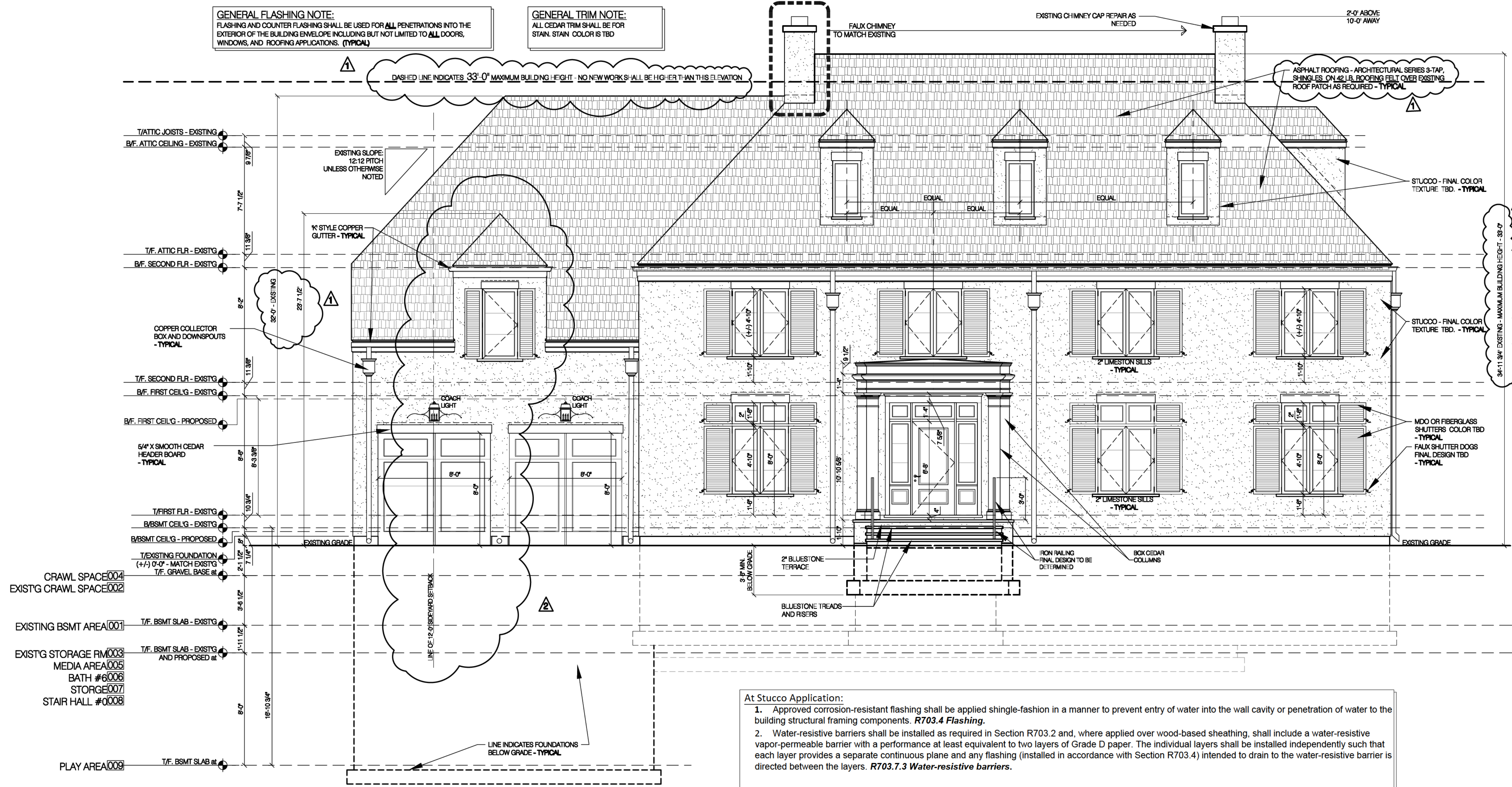
VERIFY WITH CIVIL ENGINEERING DRAWINGS ALL FINAL DOWNSPOUT LOCATIONS. ALL NEW DOWNSPOUTS TO TIE INTO STORM SEWER AS REQUIRED, TYPICAL.

NOTE: DASHED LINE INDICATES EXTERIOR WALLS BELOW



1 ROOF - CONSTRUCTION PLAN
 Scale 1/4" = 1'-0"





GENERAL FLASHING NOTE:
FLASHING AND COUNTER FLASHING SHALL BE USED FOR ALL PENETRATIONS INTO THE EXTERIOR OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO ALL DOORS, WINDOWS, AND ROOFING APPLICATIONS. (TYPICAL)

GENERAL TRIM NOTE:
ALL CEDAR TRIM SHALL BE FOR STAIN. STAIN COLOR IS TBD

DASHED LINE INDICATES 33'-0" MAXIMUM BUILDING HEIGHT. NO NEW WORKS SHALL BE HIGHER THAN THIS ELEVATION

- CRAWL SPACE 004
- EXIST'G CRAWL SPACE 002
- EXISTING BSMT AREA 001
- EXIST'G STORAGE RM 003
- MEDIA AREA 005
- BATH #6006
- STORAGE 007
- STAIR HALL #0008
- PLAY AREA 009

1 NORTH ELEVATION
Scale 1/4" = 1'-0"

At Stucco Application:

- Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. **R703.4 Flashing.**
- Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier with a performance at least equivalent to two layers of Grade D paper. The individual layers shall be installed independently such that each layer provides a separate continuous plane and any flashing (installed in accordance with Section R703.4) intended to drain to the water-resistive barrier is directed between the layers. **R703.7.3 Water-resistive barriers.**

Exception: Where the water-resistive barrier that is applied over wood-based sheathing has a water resistance equal to or greater than that of 60-minute Grade D paper and is separated from the stucco by an intervening, substantially nonwater-absorbing layer or designed drainage space.

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PROJECT:
BAKER RESIDENCE
1034 WESTMOOR ROAD
WINNETKA, ILLINOIS

No.	Date	Issue
	11/04/2024	PLANS FOR PERMIT
	11/23/2024	CLIENT REVISION - BASEMENT
1	2/17/2025	VILLAGE OF WINNETKA - REVISIONS
2	4/5/2025	ZONING REVISIONS

GTI No. R22012

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Checked JAT

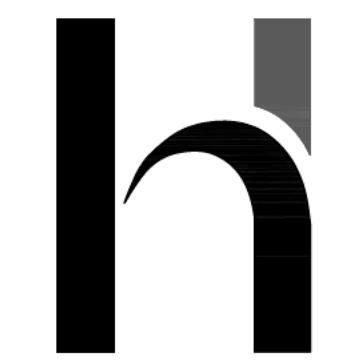
Date 10/7/2024

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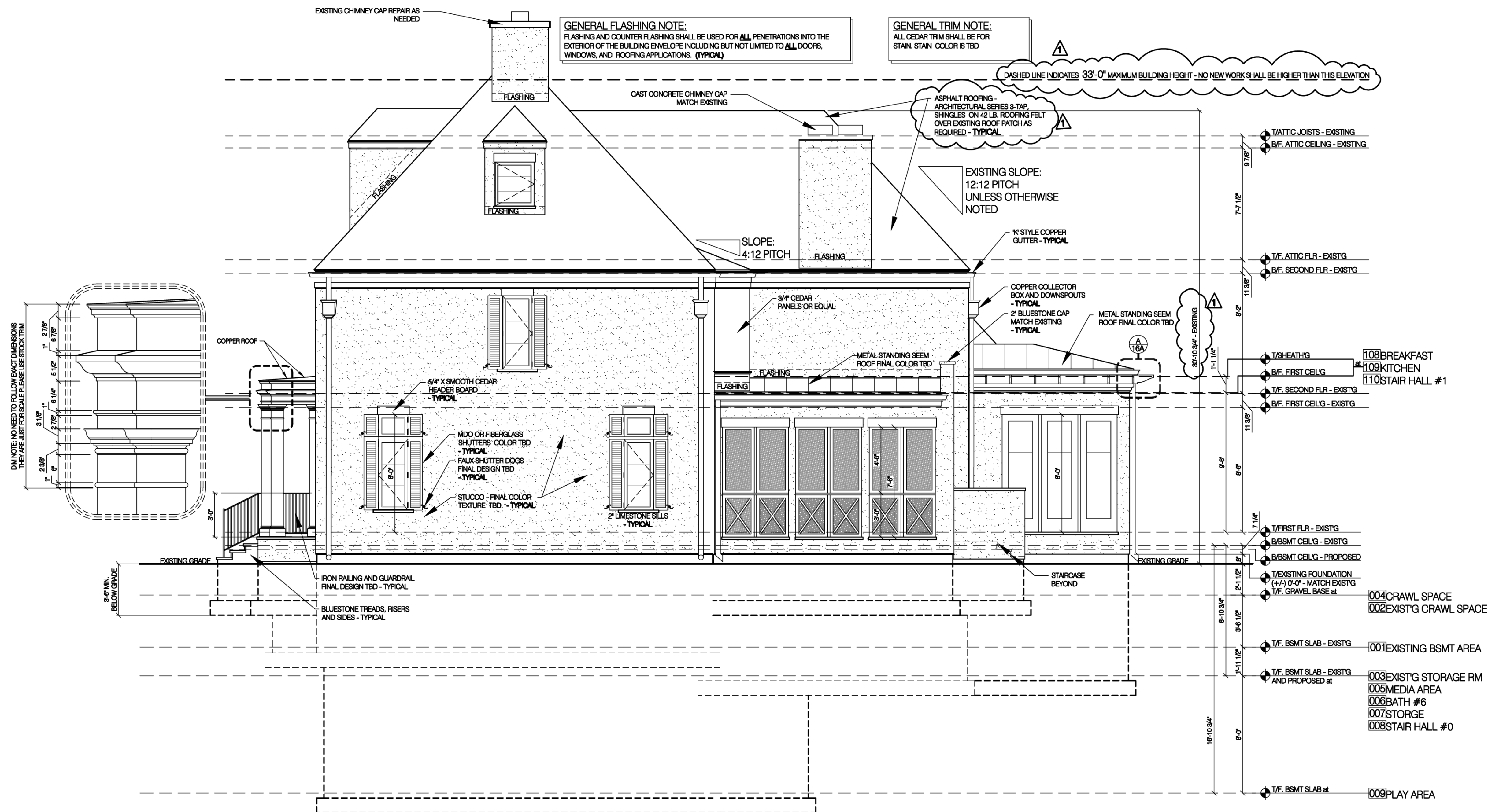
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At Stucco Application

- Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. **R703.4 Flashing.**
- Water-resistive barriers shall be installed as required in Sect on R703.2 and, where applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier with a performance at least equivalent to two layers of Grade D paper. The individual layers shall be installed independently such that each layer provides a separate continuous plane and any flashing (installed in accordance with Section R703.4) intended to drain to the water-resistive barrier is directed between the layers. **R703.7.3 Water-resistive barriers.**

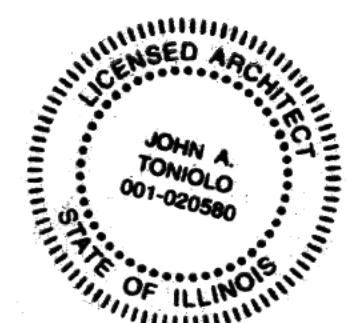
Exception: here the water-resistive barrier that is applied over wood-based sheathing has a water resistance equal to or greater than that of 60-minute Grade D paper and is separated from the stucco by an intervening, substantially nonwater-absorbing layer or designed drainage space.

1 WEST ELEVATION
 Scale 1/4" = 1'-0"

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WINNETKA, ILLINOIS

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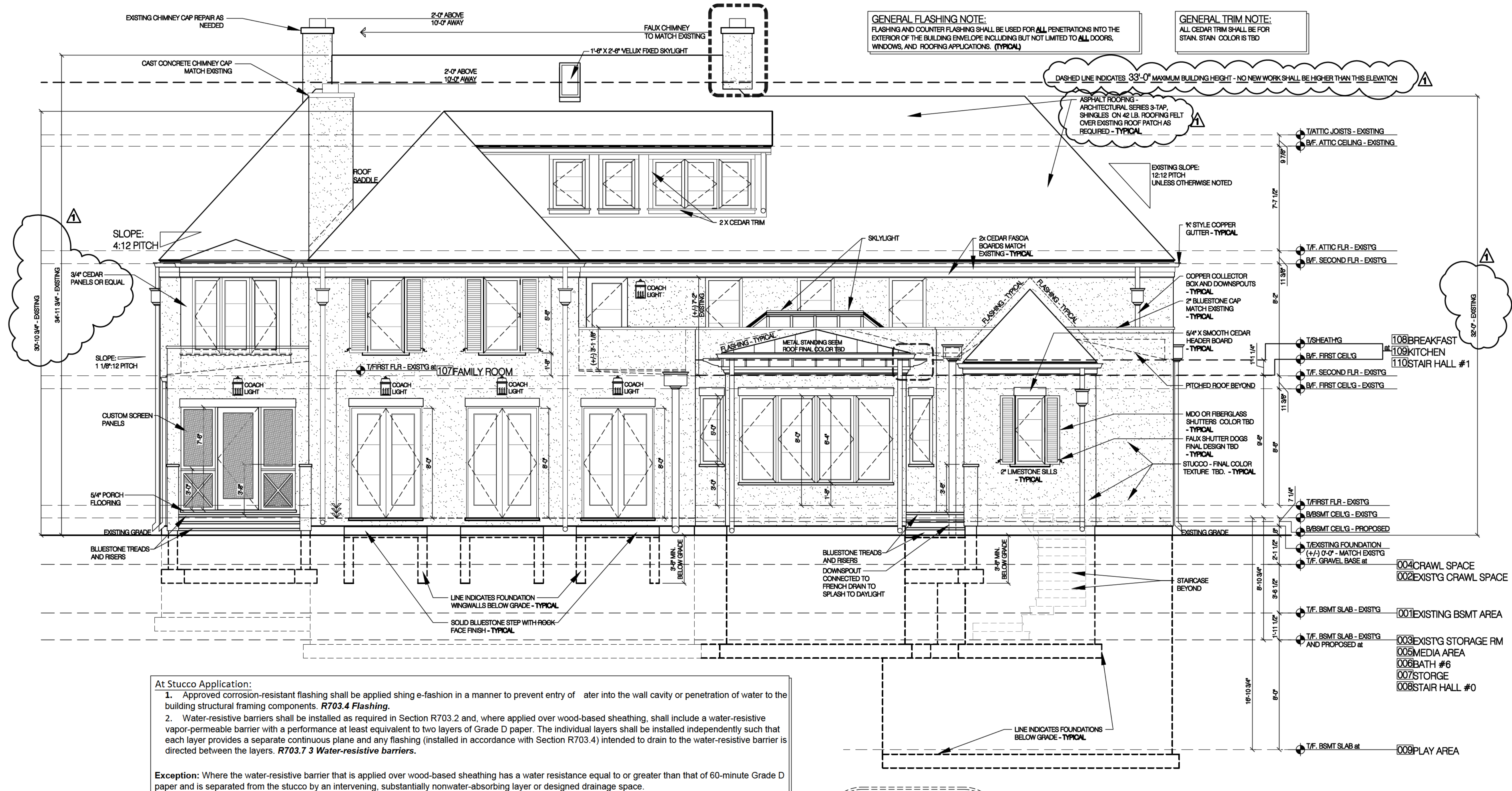
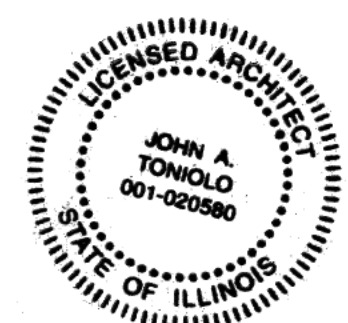


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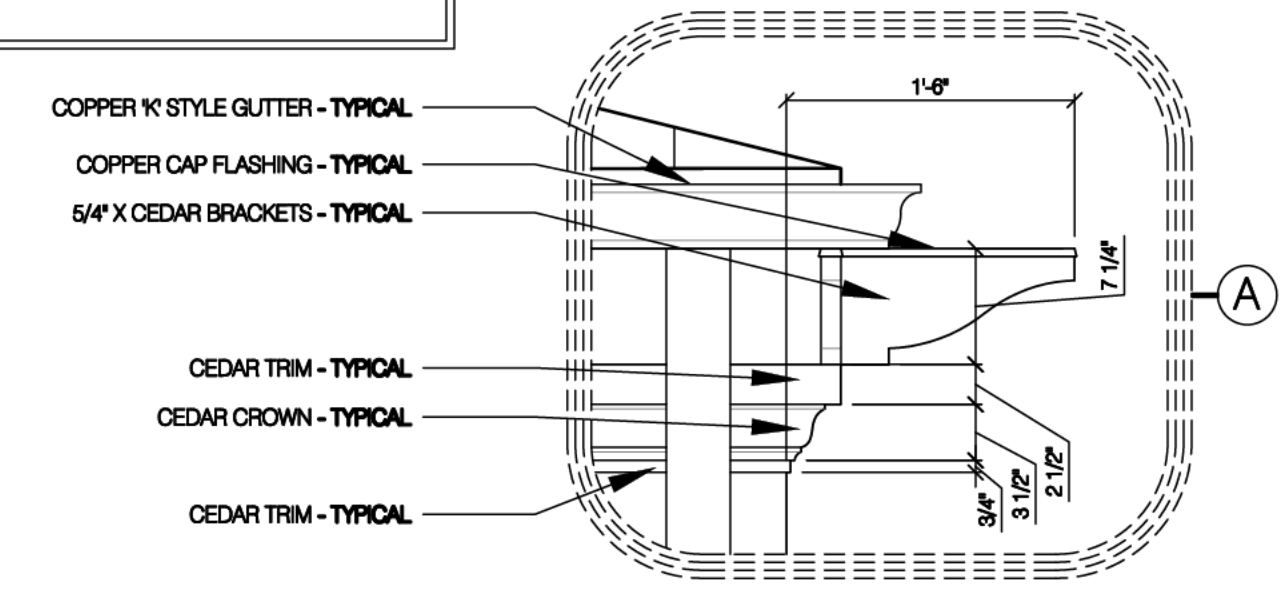
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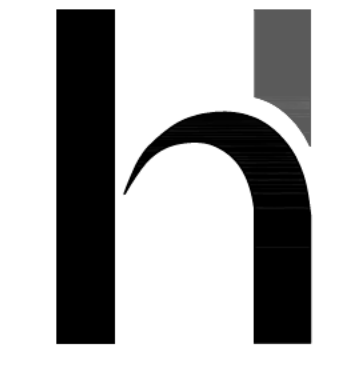
At Stucco Application:

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Exception: Where the water-resistive barrier that is applied over wood-based sheathing has a water resistance equal to or greater than that of 60-minute Grade D paper and is separated from the stucco by an intervening, substantially nonwater-absorbing layer or designed drainage space.



1 SOUTH ELEVATION
 Scale 1/4" = 1'-0"



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PROJECT:
BAKER RESIDENCE
 1034 WESTMOOR ROAD
 WINNETKA, ILLINOIS

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TYPICAL ROOF CONST
 ASPHALT ARCHITECTURAL SERIES 3-TAB ROOF SHINGLES ON
 #30 ASPHALT FLOORING FELT OVER
 2" WATER SHIELD
 (2) ROWS W/ 6" LAP @ EAVES
 (1) ROW @ VALLEYS & HIPS
 (1) ROW @ ROOF AND VERTICAL WALLS
 3/4" PLYWOOD ROOF SHEATHING
 2x RAFTERS & C.J. (REFER TO STRUCTURAL PLANS FOR SPACING & SIZE)
 OPEN CELL FOAM INSULATION R-60
 5/8" DRYWALL TAPED & SANDED W/ VAPOR BARRIER PRIMER SEALER
 T.F. ATTIC FLR - EXISTING

TYPICAL SECOND FLR WALL CONSTRUCTION
 5/8" & 3/4" CLEAR SMOOTH CDX OVER TYPICAL HOUSE WRAP
 1/2" PLYWOOD SHEATHING ON 2x6 STUDS AT 16" O.C.
 WR-30 OPEN CELL SPRAY FOAM INSULATION
 5/8" DRYWALL TAPED & SANDED W/ VAPOR BARRIER PRIMER SEALER
TYPICAL SECOND FLOOR
 REFER TO PLANS FOR FINISHED FLOOR MATERIAL
 5/8" DRYWALL UNDERLAYMENT AT TILE APPLICATIONS
 3/4" PLYWOOD T&G UNDERLAYMENT
 WR-30 OPEN CELL SPRAY FOAM INSULATION
 FLOOR FRAMING JOISTS REFER TO STRUCTURAL PLANS FOR SPACING & SIZE
 2" BATT INSULATION FOR SOUND REDUCTION ON 5/8" DRYWALL CEILING

TYPICAL FIRST FLR WALL CONSTRUCTION
 5/8" & 3/4" CLEAR SMOOTH CDX OVER TYPICAL HOUSE WRAP
 1/2" PLYWOOD SHEATHING ON 2x6 STUDS AT 16" O.C.
 WR-30 OPEN CELL SPRAY FOAM INSULATION
 5/8" DRYWALL TAPED & SANDED W/ VAPOR BARRIER PRIMER SEALER

TYPICAL GARAGE FLOOR CONSTRUCTION
 MIN. 4" PLUS CONCRETE SLAB PITCHED TO DRAIN (MIN) 2" CONCRETE COVER (REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION) RUBBERIZED W/P. MEMBRANE
 8" SPANCRETE PLANKING W/ MIN 4" BRG EACH END
 2x6 AT 12" O.C. R-19 SOLID FILL CLOSED CELL SPRAY FOAM INSULATION
 GC TO VERIFY AND PROVIDE ALL V-LAGE REQUIRED & APPROVED DOCUMENTATION TO VERIFY (MIN) R-19 INSULATE VALUES, TYPICAL
 5/8" HUMITEK DRYWALL TAPED AND SANDED

TYPICAL CONCRETE SLAB
 4" CONCRETE SLAB WITH 1010 @6 W/W/ ON 4" M. V.B. OVER OVERLAP COMPACTED GRAVEL FILL (MIN)

TYPICAL FOUNDATION WALL AT GARAGE W/ SPANCRETE
 2" RIGID INSULATION, ASPHALT DAMPROOFING
 CONCRETE FOUNDATION WALL REFER TO PLANS FOR SIZE AND STRUCTURAL PLANS FOR RE-BAR SIZE AND CONFIGURATION
 4" BRG 2x6 STUD WALLS WR-19 UNFACED FIBERGLASS BATT INSULATION 5/8" HUMITEK DRYWALL TAPED AND SANDED
 1/2" EXPANSION JOINT

ENERGY CODE REQUIREMENTS:
 Insulation SHALL BE values per table R402.1.3 IECC 2021 OR EQUAL

1 BUILDING SECTION
 Scale 3/8" = 1'-0"

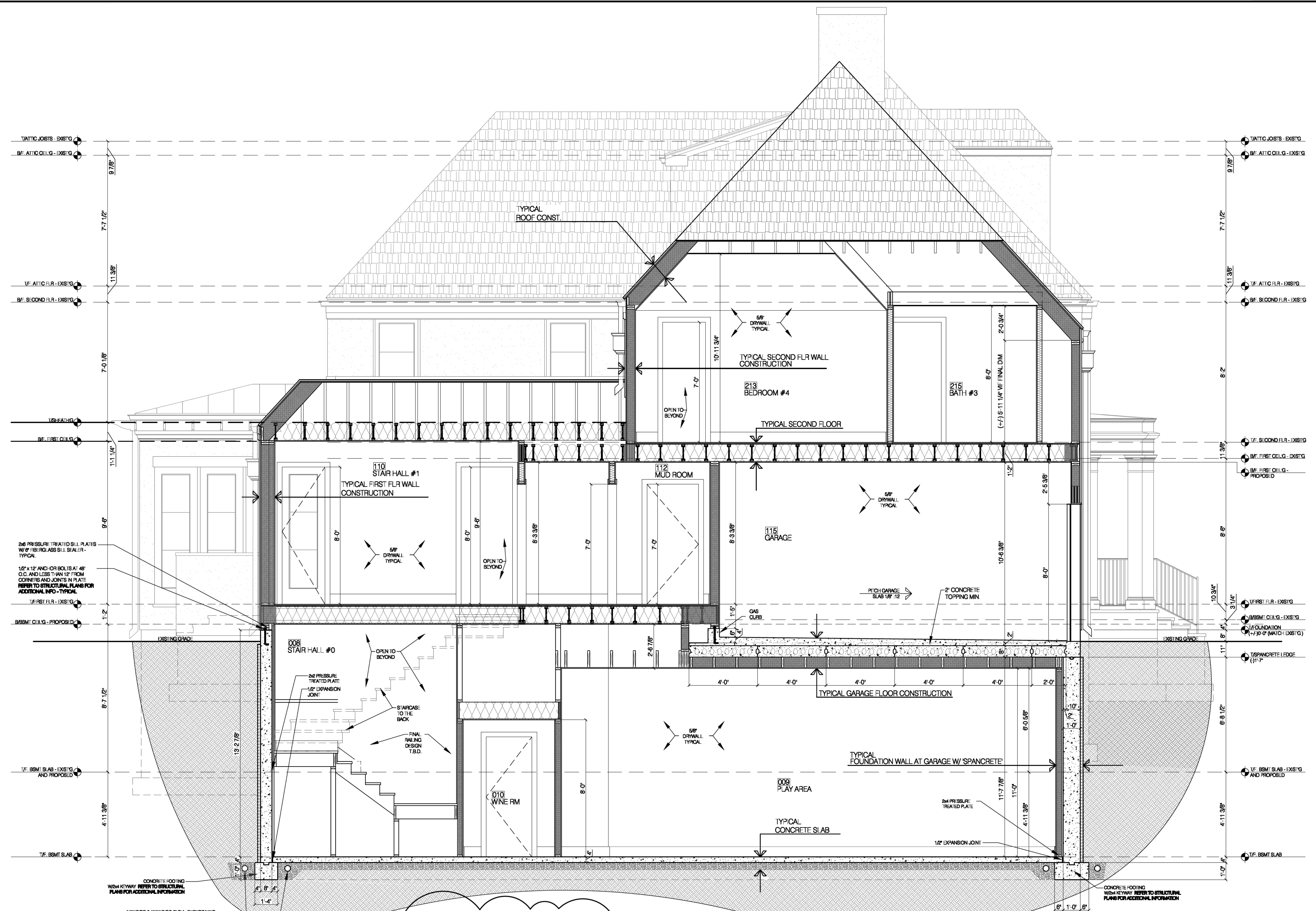


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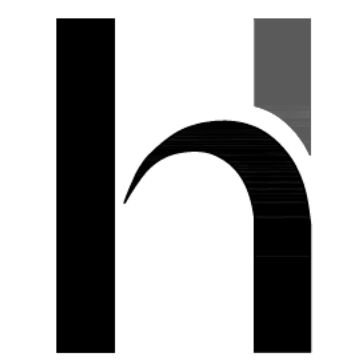
7/ ATTIC JOISTS - EXIST'G
 6/ ATTIC CEILING - EXIST'G
 5/ ATTIC FLOOR - EXIST'G
 4/ SECOND FLOOR - EXIST'G
 3/ FIRST CEILING - EXIST'G
 2/ FIRST FLOOR - EXIST'G
 1/ BSM. CEILING - PROPOSED
 7/ BSM. SLAB - EXIST'G AND PROPOSED
 7/ BSM. SLAB

7/ ATTIC JOISTS - EXIST'G
 6/ ATTIC CEILING - EXIST'G
 5/ ATTIC FLOOR - EXIST'G
 4/ SECOND FLOOR - EXIST'G
 3/ FIRST CEILING - EXIST'G
 2/ FIRST FLOOR - EXIST'G
 1/ BSM. CEILING - PROPOSED
 7/ BSM. SLAB - EXIST'G AND PROPOSED
 7/ BSM. SLAB

2x6 PRESSURE TREATED SILL PLATES W/ 6" FIBERGLASS SILL SEALER - TYPICAL
 1/2" x 1/2" ANCHOR BOLTS AT 48" O.C. AND LESS THAN 12" FROM CORNERS AND JOINTS IN PLATE REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFO - TYPICAL
 2x6 PRESSURE TREATED PLATE
 1/2" EXPANSION JOINT
 STAIRCASE TO THE BACK
 FINAL RAILING DESIGN T.B.D.
 CONCRETE FOOTING W/ 4" KEYWAY REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION
 INTERIOR & EXTERIOR 6" DIA. PERFORATED DRAINAGE W/ FILTER SOCK 2" STONE BASE AND 6" STONE COVER (TYP) CONNECT INTO STORM SUMP

ENERGY CODE REQUIREMENTS:
 Insulation SHALL BE values per table R402.1.3 IECC 2021 OR EQUAL

1 BUILDING SECTION
 Scale 3/8" = 1'-0"



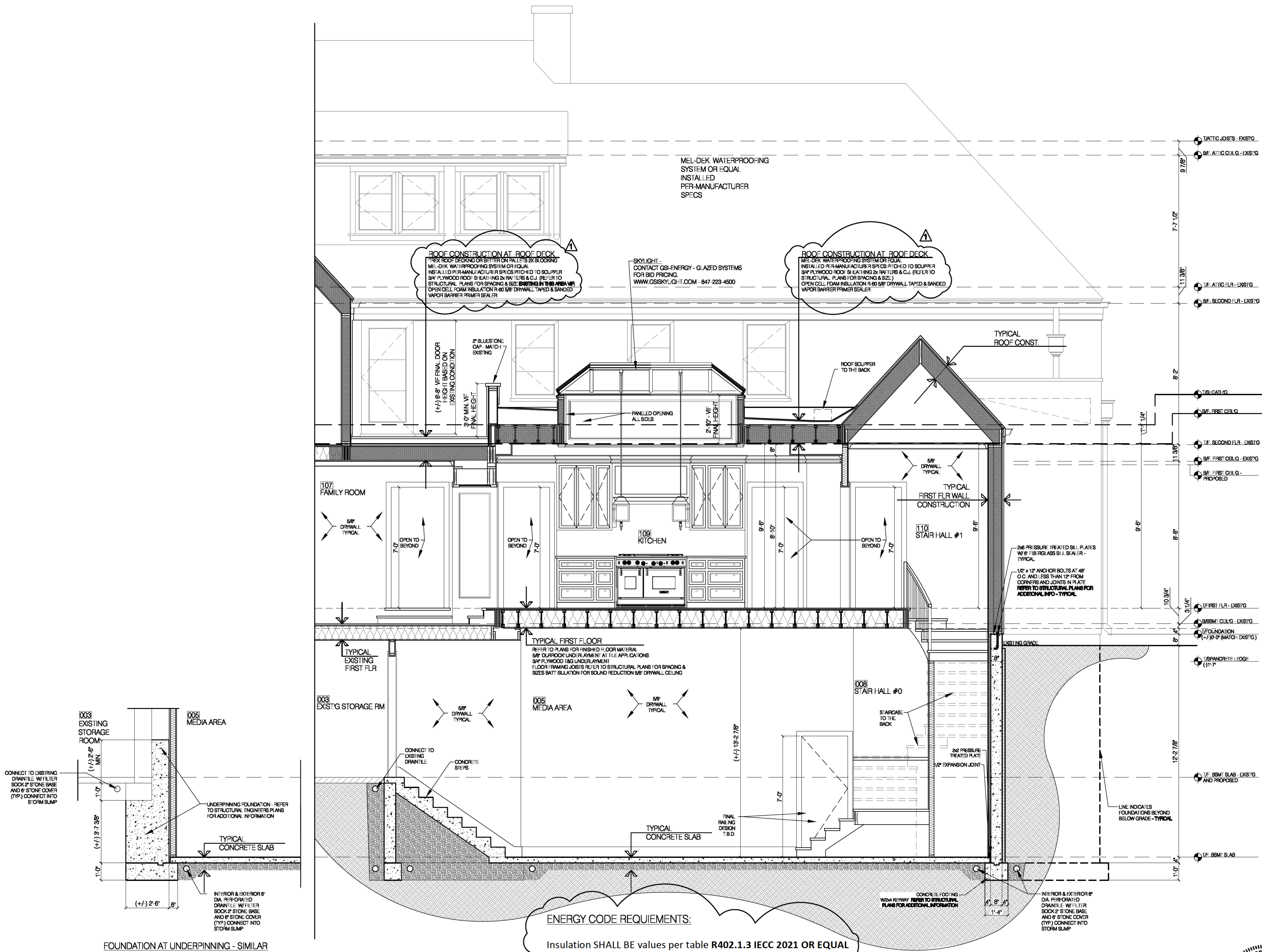
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1 BUILDING SECTION
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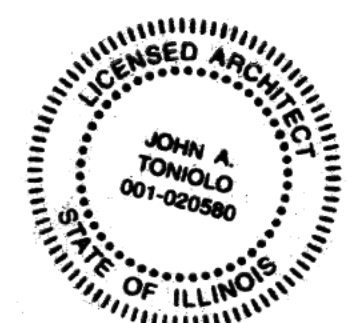
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