



# Village of Winnetka

## Historic Preservation Commission Meeting

---

May 5, 2025 at 7:00 PM  
Winnetka Village Hall - 510 Green Bay Road

### AGENDA

1. **Call to Order**
2. **Public Comments**
3. **Approval of Minutes**
  - a. Approval of April 7, 2025, Regular Meeting Minutes
4. **Demolition Permit Applications**
  - a. **Case No. 25-07-HPC - 829 Foxdale Avenue:** Review of the demolition permit application submitted for the single-family residence at 829 Foxdale Avenue.
5. **Historical Architectural Impact Studies (HAIS)**
  - a. **Case No. 25-03-HPC - 326 Ridge Avenue:** Review of the Historic Architectural Impact Study (HAIS) attached to the demolition permit for the single-family residence and coach house at 326 Ridge Avenue.
6. **Other Business**
  - a. June 2, 2025, Regular Meeting - Quorum Check
  - b. Monthly Communications For Historic Preservation Commission - Discussion and Content Decision
  - c. IDOT Improvements to Willow Road - Schmidt-Burnham Log House and Crow Island School
7. **Adjournment**

### NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to [planning@winnetka.org](mailto:planning@winnetka.org); or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at [www.villageofwinnetka.org/agendacenter](http://www.villageofwinnetka.org/agendacenter).

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**HISTORIC PRESERVATION COMMISSION  
APRIL 7, 2025 MEETING MINUTES**

**Members Present:** Jack Coladarci, Chairman  
Chris Enck  
Joseph Stuart  
Paul Weaver

**Members Absent:** Beth Ann Papoutsis

**Non-Voting Members Absent:** Kim Handler

**Junior Commissioner Absent:** Louis Zaranski

**Village Staff:** Scott Mangum, Community Development Director  
Christopher Marx, Associate Planner

**Call to Order & Roll Call:**

Chairman Coladarci called the meeting to order at 7:05 p.m. Roll call was taken of the Commission members present.

**Public Comment:**

No public comment was made at this time. Mr. Marx confirmed no additional written materials were received.

**Approval of Minutes:**

Chairman Coladarci asked if there were any comments or corrections for the March 3, 2025 meeting minutes. Mr. Weaver clarified his comment on page 3, line 45. No additional corrections were made.

Chairman Coladarci asked for a motion to approve the March 3, 2025 meeting minutes, as amended. A motion to approve the amended March 3, 2025 meeting minutes was made by Mr. Weaver and seconded by Mr. Enck. A vote was taken and the motion unanimously passed, 4 to 0:

AYES: Coladarci, Enck, Stuart, Weaver

NAYS: None

**Demolition Permit Applications:**

**a. Case No. 25-05-HPC - 870 Heather Lane: Review of the demolition permit application submitted for the single-family residence at 870 Heather Lane.**

Mr. Marx identified the property owners, location, size, and zoning classification with a construction date of 1954 and subsequent additions to the house. He stated the property does not appear on the Illinois Historic Structures Listing with the Winnetka Historical Society indicating that the property did not have architectural and historical significance. Mr. Marx stated one public comment was provided as written correspondence and is included as Attachment E and asked if there were any questions.

Mr. Enck referred to similar applications on the west side of the Village in the flood plain and related restrictions. Mr. Marx responded that questions about the floodplain are best answered by the Village's Engineering Department, but that the home is located near the part of the Village that has typically had problems with the floodplain and the applicant can respond to any such questions.

Matt Huff, the building contractor representing the property owners, confirmed the property is not in the flood plain with the existing home having no basement. He stated it was not feasible to build an addition. Mr. Weaver asked if the new home would be a spec home. Mr. Huff stated the home would be built for a Winnetka couple and explained the reasons why the home could not be remodeled.

1 Chairman Coladarci asked if there is any public comment. No comments were made at this time. He then called the  
2 matter in for discussion.  
3

4 Chairman Coladarci asked the Commission members if they felt an HAIS is necessary. Mr. Enck referred to the  
5 Historical Society comments and stated an HAIS should not be required. Chairman Coladarci then asked for a  
6 motion to issue the demolition permit for 870 Heather Lane without delay. A motion to issue the demolition  
7 permit was made by Mr. Enck and seconded by Mr. Weaver. A vote was taken and the motion unanimously  
8 passed, 4 to 0:

9 AYES: Coladarci, Enck, Stuart, Weaver  
10 NAYS: None  
11

12 **Landmark Nomination:**

13 a. **Case No. 25-06-HPC - 480 Oak Street: Review of local landmark designation application for the property**  
14 **at 480 Oak Street.**

15 Mr. Marx identified the owners, location, size, and zoning classification of the subject property with the application  
16 having been submitted by consultant Susan Benjamin on behalf of the property owners. He then asked if there  
17 were any questions.  
18

19 Chairman Coladarci asked if information about the main Hayes Estate home was available anywhere in the  
20 Village’s files, since it was demolished many years ago. Mr. Weaver stated that additional information relating to  
21 the estate was available for other homes in the subdivision for which HAIS reports had documented.  
22

23 Susan Benjamin provided a summary of the HAIS to the Commission including the home’s history and its features  
24 in detail as well as the home’s previous owners and their achievements. She concluded by presenting her findings  
25 on the home’s significance and asked if there were any questions.  
26

27 The Commission members agreed that the HAIS is a complete and thorough report and thanked the applicants for  
28 taking good care of the home. Ms. Benjamin then introduced the property owners of Jeff and Susan Barton. Mr.  
29 Enck questioned the garage’s positioning in terms of the way it is situated on the property. Ms. Benjamin clarified  
30 how the building was at one point rotated. She added that vehicles were not widely used at that time and vehicles  
31 that did exist were smaller than years later. The Commission members and Ms. Benjamin discussed the home  
32 which was initially built as a garage noting the home was built in 1909. No additional questions were raised at this  
33 time.  
34

35 Chairman Coladarci asked for public comment. No comments were made at this time. Mr. Marx noted no public  
36 comment was received and referred to page 81 and Attachment B which he explained to the Commission in detail.  
37

38 Chairman Coladarci then asked the Commission members if they felt the property is not appropriate for landmark  
39 status. He referred to Tier 1 and the first category of “Rarity: Architectural Type, Style and Period.” Mr. Enck  
40 suggested the home being an early car storage structure which was converted into a home should factor into the  
41 architectural category. The Commission members determined it to be extremely rare with a score of 5 and ranking  
42 of “Extremely Rare.”  
43

44 Chairman Coladarci referred to the next category of “Rarity: Method of Construction and its Application” which the  
45 Commission members determined was a score of 5 with a ranking of “Extremely Rare.” He stated the next  
46 category of “Association with a Historical Person, Event or Cultural Activity – National, State or Local.” The  
47 Commission members determined the category merited a score of 5 with “National” association ranking. Chairman  
48 Coladarci stated the next category of “Established or Familiar Visual Feature” merited a score of 4 with the ranking  
49 of “Symbol of a neighborhood or a conspicuous and familiar structure in the context of the entire Village.” The  
50 Commission members agreed. The Tier 1 scoring with the categories weighted resulted in a total score of 69.  
51

52 Chairman Coladarci then referred to Tier 2 and the first category of “Alteration of (Originality) Design Integrity.”  
53 The Commission members decided that the category merited a score of 5 with a ranking of “Excellent.” The

1 Commission members determined the "Age of Structure" category merited a score of 3 since it was built between  
 2 1900 and 1930. Chairman Coladarci referred to the category of "Alteration of Surrounding Properties (View from  
 3 Property)" which the Commission members determined merited a score of 0 with the ranking of "Major  
 4 Alterations." The Commission members determined that the next category of "Alteration of Original Site (View of  
 5 Property)" merited a score of 3 with the ranking of "Minor Alterations." The Commission members determined a  
 6 score of 5 for the last category of "Structural Condition" with the ranking of "Exceptional." The Tier 2 score  
 7 resulted in a score of 86 with an average of 17.2, as instructed by the scoring matrix. The cumulative score of Tier 1  
 8 and Tier 2 was of 86.2.

9  
 10 Chairman Coladarci confirmed the home fell into the Unique category and asked for a motion that the building and  
 11 structure met the criteria for landmark designation. The Commission members identified the specific property  
 12 features as follows: (1) the house was designed by famous twentieth century architect Benjamin Marshall; (2) the  
 13 house is an original garage from the historic Charles M. Hayes estate which was demolished; (3) the house  
 14 maintained its historic and architectural integrity; (4) the property is an important link to the history of Winnetka  
 15 and the North Shore along Sheridan Road; and (5) the past residents of the home were individuals with importance  
 16 of local, state, and national history. A motion that the application for the landmark nomination for 480 Oak Street  
 17 met the criteria set forth for such designation was made by Mr. Weaver and seconded by Mr. Stuart. A vote was  
 18 taken and the motion unanimously passed, 4 to 0:

19 AYES: Coladarci, Enck, Stuart, Weaver

20 NAYS: None



21  
 22 **Other Business:**

23 a. May 5, 2025 Meeting – Quorum Check.

24 The Commission members discussed their availability.

25  
 26 b. Monthly Communications for Historic Preservation Commission – Discussion and Content Decision.

27 Mr. Marx reminded the Commission that Mr. Enck was highlighted by Landmarks Illinois as being a landmark  
 28 influencer and a brief write-up was provided to include in the next quarterly report. He asked if there were any  
 29 changes or for the Commission to formally adopt the submission to be included in the next quarterly report. The  
 30 Commission members agreed to include the submission in the next quarterly report. Mr. Marx asked the  
 31 Commission to submit any communication ideas to him if they wanted an item to be reviewed at the May meeting.  
 32 Chairman Coladarci noted that the research function for past issues of the Winnetka Talk publication has been  
 33 greatly improved and should be included as a future communication from the Commission.

34  
 35 **Adjournment:**

36 Chairman Coladarci asked for a motion to adjourn. A motion to adjourn was made by Mr. Weaver and seconded by  
 37 Mr. Enck. A vote was taken and the motion unanimously passed, 4 to 0:

38 AYES: Coladarci, Enck, Stuart, Weaver

39 NAYS: None

40 The meeting adjourned at 8:13 p.m.

41  
 42 Respectfully submitted,

43  
 44 Antionette Johnson

45 Recording Secretary



# MEMORANDUM VILLAGE OF WINNETKA

## COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** HISTORIC PRESERVATION COMMISSION  
**FROM:** CHRISTOPHER, MARX, AICP, ASSOCIATE PLANNER  
**DATE:** MAY 1, 2025  
**SUBJECT:** 829 FOXDALE AVENUE- DEMOLITION PERMIT (CASE NO. 25-07-HPC)

|  |  |
|--|--|
| <b>INTRODUCTION</b>                            |  |
| Meeting Date                                   | May 5, 2025  |
| <b>Commission Action</b>                       | <b>Preliminary historic and architectural review to determine if a Historic Architectural Impact Study (HAIS) is necessary or if demolition may proceed without delay.</b> |
| Property Address                               | 829 Foxdale (See Attachment A – Aerial Map)  |
| Property Owner                                 | Deanna L. Nied Revocable Trust Dated October 20, 2024  |
| Application Submitted by                       | Tedd Dunn of Hackley & Associates, on behalf of the property owner   |
| Mail Notice to Property Owners within 250 feet | Completed  |
| Public Comments as of Date of Memo             | As of the date of this memo, staff has received one written comment from the public for this application. (See Attachment E – Public Correspondence)                       |
| <b>PROPERTY DESCRIPTION</b>                    |  |
| Size   | 0.17 acres   |
| Location                                       | East side of Foxdale Avenue between Eldorado Street and Tower Road   |
| Improvements                                   | Single-family residence with a detached garage   |
| Zoning   | R-5 Single Family Residential  |
| Surrounding Zoning                             | R-5 Single Family Residential to the north, south, and west; R-4 Single Family Residential to the east   |
| <b>PROPERTY HISTORY</b>                        |  |
|  | See Attachment B, Preliminary Property History Study; Attachment C, Winnetka Historical Society (WHS) Research   |
| Constructed                                    | 1921   |
| Additional Construction Activity               | 1922 - Build a one-story frame garage, 1979 - Rebuild detached frame two-car garage on existing concrete garage slab of single family residence                            |
| Illinois Historic Structure Survey Listing     | No   |
| Winnetka Historical Society (WHS)              | WHS research indicates that the property does not have architectural or historical significance. (See Attachment C - Historical Society Research)                          |

|  |   |
|--|---|
| <b>NEIGHBORHOOD CONSTRUCTION ACTIVITY</b>  |   |
| Other Permits for New Primary Structures on Same Block (either side of Foxdale Avenue) | None  |
| Director’s 60-Day Delay - Construction Activity  | Delay is not necessary to prevent undue congestion and noise impacts in the neighborhood.           |
| New Construction or Site Restoration Plans Submitted                                   | No building permit application for a new single-family home or site restoration has been submitted. |

**DEMOLITION AND HISTORIC PRESERVATION**

The Commission may order the issuance of a demolition delay of a historic or architecturally significant structure for up to but not exceeding 270 days from the date the Commission determines that an HAIS submission from the applicant is required for the structure that is applied to be demolished. Should the HPC request an HAIS for the subject property at the May 5<sup>th</sup> meeting, and after reviewing the HAIS at a future meeting, the HPC determines the structure is significant and issues a delay, the Commission may issue a demolition delay up to but not exceeding 270 days from May 5<sup>th</sup>, 2025.

**COMMISSION REVIEW**

The Commission may consider the following motions: (1) Historical Architectural Impact Study Required or (2) Building and/or Property is Not Historic or Architecturally Significant.

**Historical Architectural Impact Study Required**

The Commission finds that based upon (1) the preliminary property history study, (2) the Winnetka Historical Society comments, and (3) other information, comments, or evidence received by the HPC during its preliminary review **that the building and/or property is of sufficient historic or architectural merit to warrant conducting a Historical Architectural Impact Study (HAIS) prior to issuance of the demolition permit.** The Commission reached its conclusion based upon the property meeting the following criteria: **[The Commission must note which of the following criteria is met]**

1. **The property or structures have sufficient architectural or historical merit to warrant a full HAIS prior to issuance of a demolition permit;**
2. ~~The property or structures have been designated a landmark pursuant to Chapter 15.64 of the Village Code;~~ **(Subject Property is not a landmark)**
3. ~~The property or structures have been included in the most recent Illinois Historic Structure Survey conducted under the auspices of the Illinois Department of Conservation; and~~ **(Subject Property is not on the state survey)**
4. ~~The property or structures have been listed on the National Register of Historic Places or the Illinois Register of Historic Places.~~ **(Subject Property is not listed on either register)**

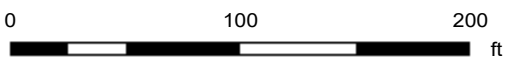
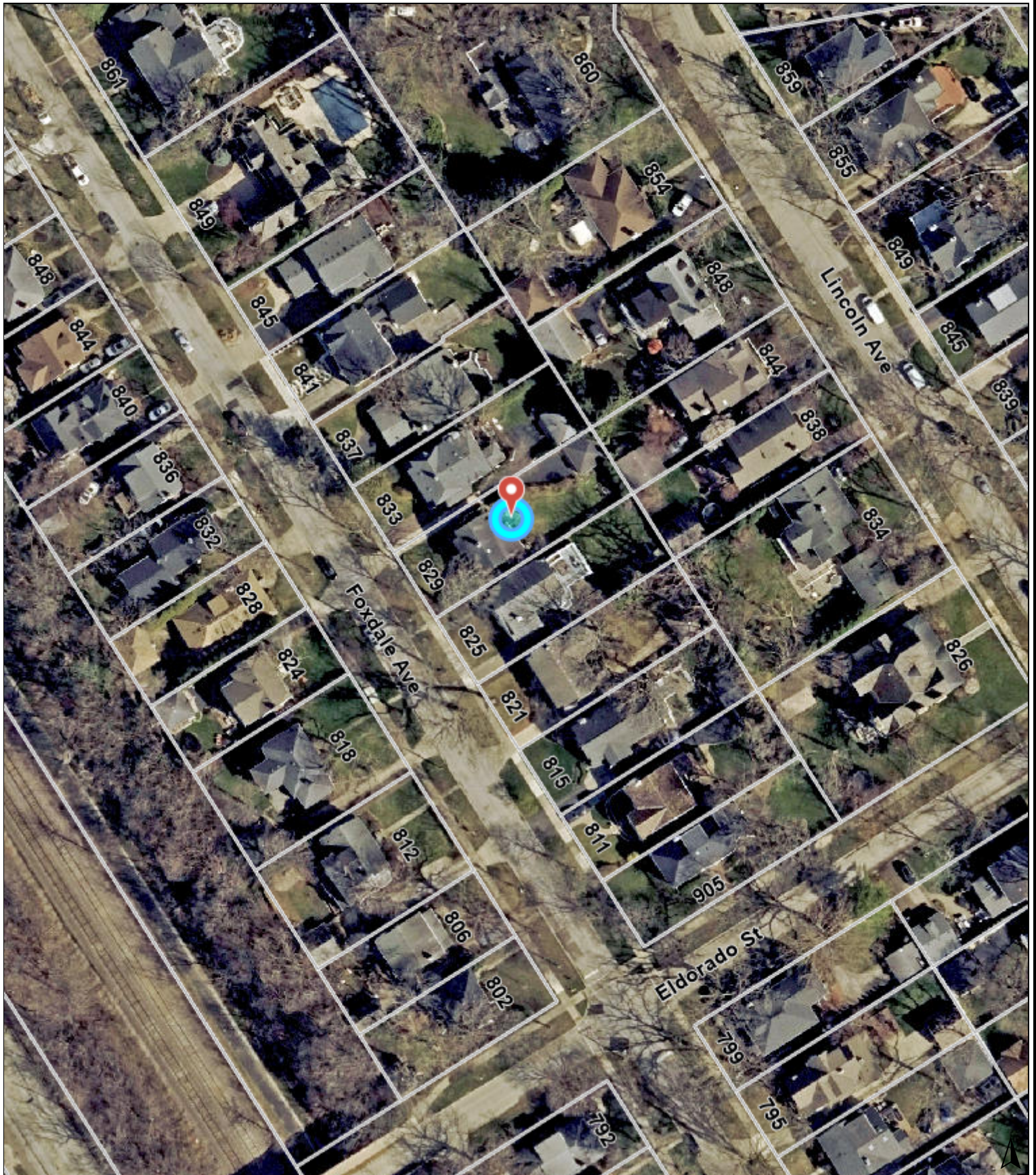
**Building and/or Property Lacks Historic or Architectural Significance**

The Commission has determined, in accordance with Section 15.52.040 of the Village Code, that the building and/or property is not of sufficient historic or architectural merit to warrant a Historic Architectural Impact Study, and the demolition of the structure may proceed without delay.

**ATTACHMENTS**

- Attachment A: GIS Aerial Map
- Attachment B: Preliminary Property History Study
- Attachment C: Historical Society Research
- Attachment D: Application Materials
- Attachment E: Public Correspondence

# ATTACHMENT A



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



**MEMORANDUM  
VILLAGE OF WINNETKA**

**COMMUNITY DEVELOPMENT DEPARTMENT**

**TO: WINNETKA HISTORICAL SOCIETY**  
**FROM: CHRISTOPHER MARX, ASSOCIATE PLANNER**  
**DATE: APRIL 14, 2025**  
**SUBJECT: CASE NO. 25-07-HPC: 829 FOXDALE AVENUE**

**INTRODUCTION**

On May 5, 2025, the Historic Preservation Commission (HPC) is scheduled to consider a request to demolish the residence at 829 Foxdale Avenue. Please return any available information regarding the architectural and historical significance of the structure to Christopher Marx by the end of the day on Tuesday, April 29, 2025. If you have any questions, please feel free to contact me at aklaassen@winnetka.org or (847) 716-3587.

**PRELIMINARY PROPERTY HISTORY STUDY/VILLAGE HALL RECORDS**

Building Permits

| <u>Date</u> | <u>Type</u>   | <u>Owner</u>             | <u>Architect</u> |
|-------------|---|--------------------------|------------------|
| 04-21-1921  | Build one-and-one-half story stucco residence   | Leon J. Klein            | B.J. Braun       |
| 06-14-1922  | Build a one-story frame garage  | Fred W. Kaenhelfer (sp?) | Not listed       |
| 04-07-1979  | Rebuild detached frame two-car garage on existing concrete garage slab of single family residence | William L. Powell        | Not listed       |

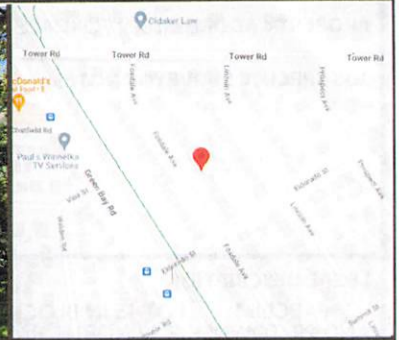
**ATTACHMENTS**

- Attachment A: Plat of Survey
- Attachment B: GIS Aerial Map
- Attachment C: 1938 Sanborn Map
- Attachment D: Current Photos
- Attachment E: Permit Copies

**WINNETKA HISTORICAL SOCIETY RESPONSE:**



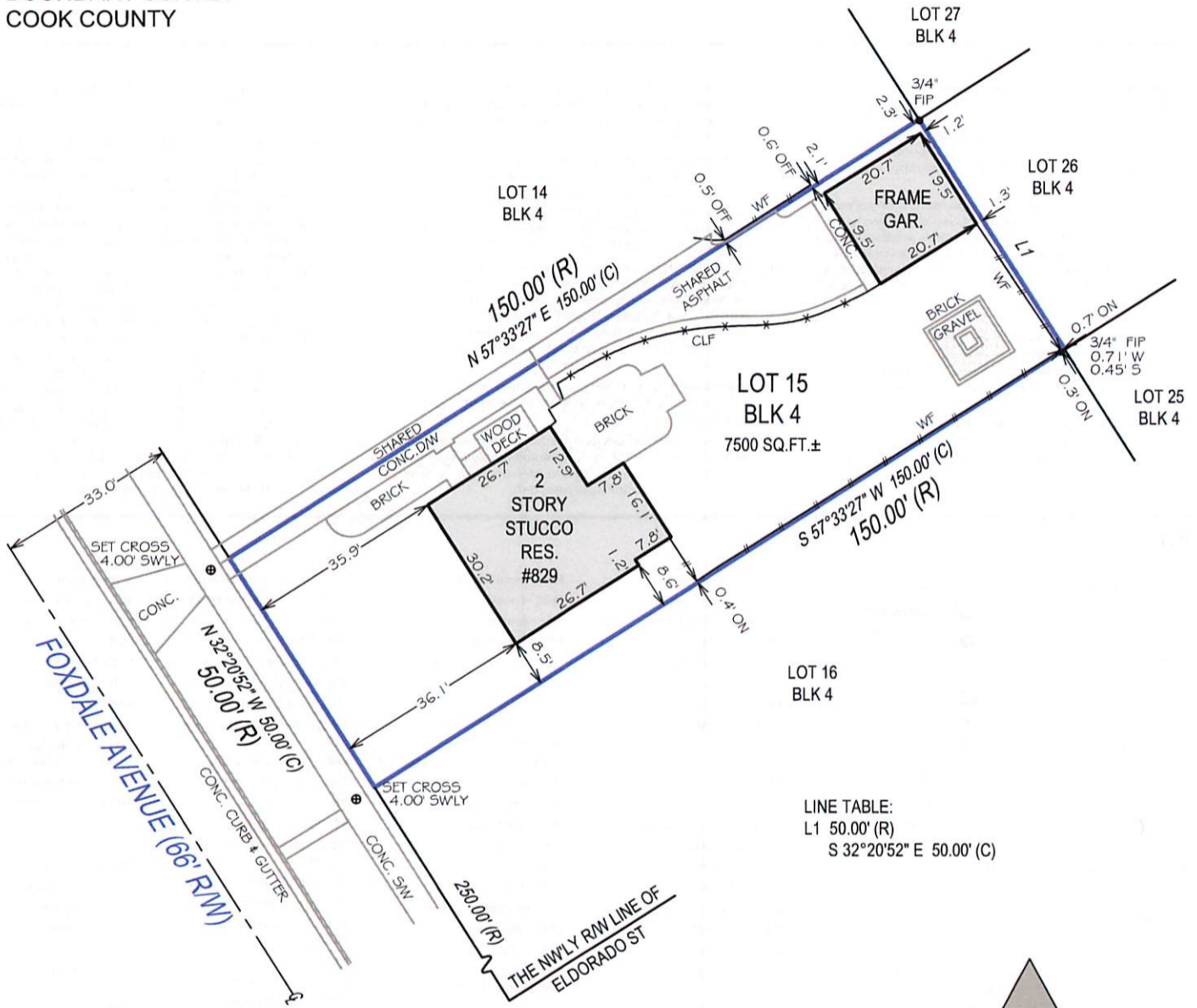
www.exactaland.com | office: 773.305.4011



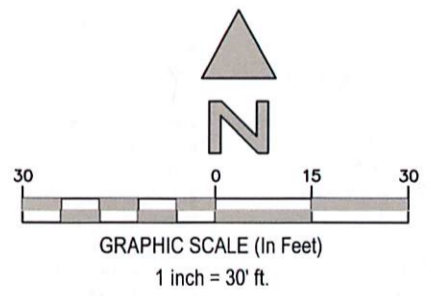
PROPERTY ADDRESS: 829 FOXDALE AVENUE, WINNETKA, ILLINOIS 60093

SURVEY NUMBER: 2406.5648

2406.5648  
BOUNDARY SURVEY  
COOK COUNTY



LINE TABLE:  
L1 50.00' (R)  
S 32°20'52" E 50.00' (C)



STATE OF ILLINOIS } SS  
COUNTY OF GRUNDY }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

*Kenneth Kennedy*  
KENNETH A. KENNEDY  
035-003403  
PROFESSIONAL  
LAND SURVEYOR  
MORRIS, IL  
STATE OF ILLINOIS

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403  
LICENSE EXPIRES 11/30/2024  
EXACTA LAND SURVEYORS, LLC  
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:  
NONE VISIBLE

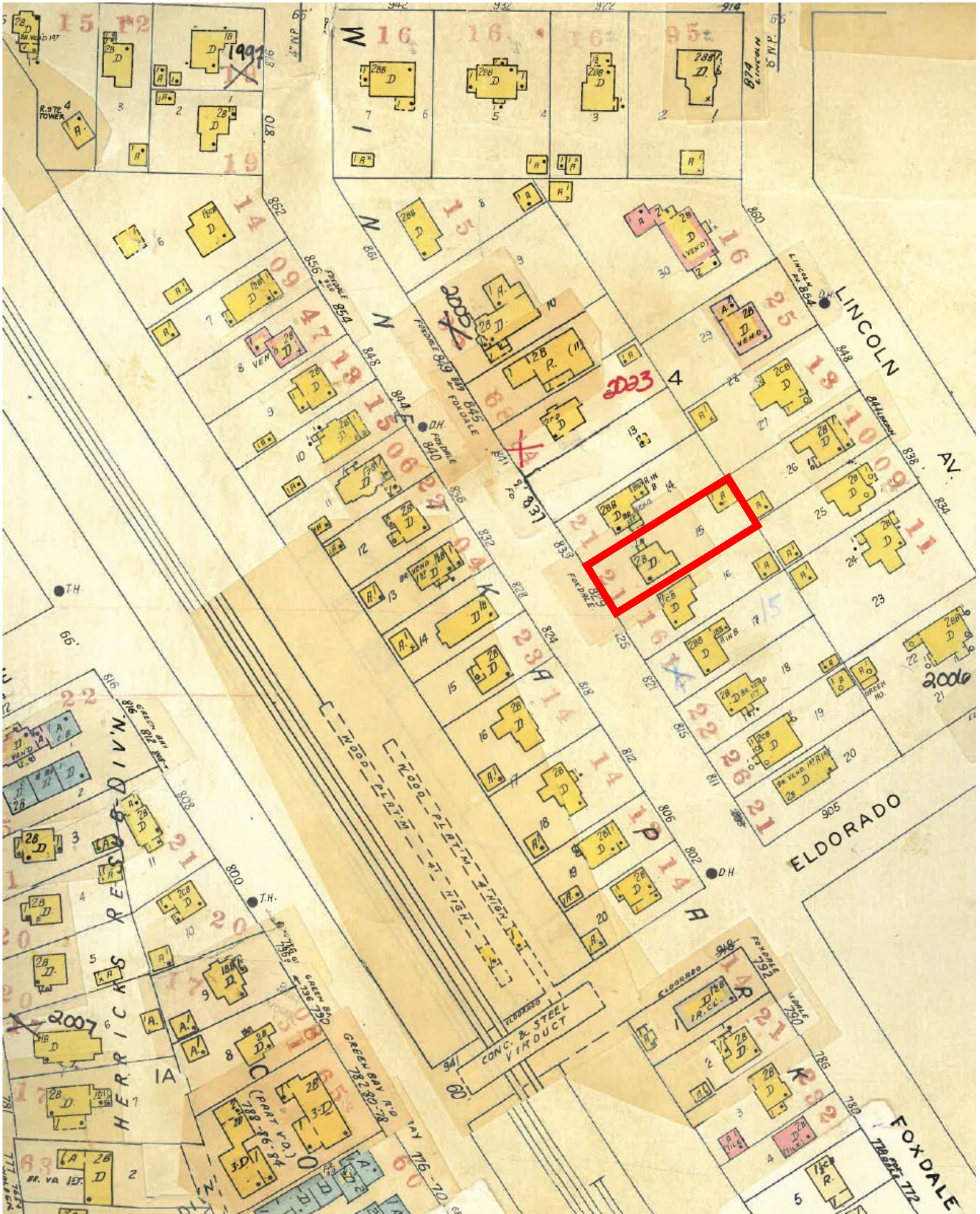


Exacta Land Surveyors, LLC  
PLS# 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 07/01/24  
FIELD WORK DATE: 6/27/2024  
REVISION DATE(S): (REV.1 7/1/2024)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



829 Foxdale – March 2025





## PROPERTY RESEARCH COVERSHEET



**Address:** 829 Foxdale

**Construction Details:**

Original construction date: 1921

Construction type: Stucco

Style: Dutch Colonial

**OWNERSHIP HISTORY:**

| OWNER/RESIDENT NAME                  | DATES OCCUPIED          | INFORMATION ATTACHED                                       | SIGNIFICANCE   |
|--------------------------------------|-------------------------|--|--|
| Leon J. Klein                        | 1921                    | Building permit application                                | Leon Klein was the builder and doesn't appear to have ever lived in the house. |
| Fred W. Kaempfer                     | 1922 – at least 1923    | Building permit application                                |  |
| Jacob B. Rittenhouse                 | By 1925 – 1934          | 1925 directory, <i>Winnetka Talk</i> article               |  |
| Perry L. and Dorothy D. Smithers     | 1934 – 1948             | <i>Winnetka Talk</i> articles                              |  |
| Mr. and Mrs. Huston H. French        | 1949 – 1954             | <i>Winnetka Talk</i> articles                              |  |
| George J. Ronan Jr.                  | 1954 – 1961             | <i>Winnetka Talk</i> articles                              |  |
| William L. Powell                    | By 1969 – at least 1979 | Building permit application, <i>Winnetka Talk</i> articles |  |
| Susan L. Boller and Mark S. Steinway | 1987                    | Cook County Recorder records                               |  |
| Karl R. Fink and Kathryn A. Hamilton | 1987 – 1994             | Cook County Recorder records                               |  |
| Midwest B&T Co Trust                 | 1994                    | Cook County Recorder records                               |  |
| David and Kristin Di Paolo           | 1994 – 1999             | Cook County Recorder records                               |  |
| Charles B. and Jennifer Lawless      | 2000 – 2005             | Cook County Recorder records                               |  |

|   |              |                              |  |
|---|--------------|------------------------------|--|
| Andrew B. Gripe and Christina Nunez-Gripe | 2005 – 2015  | Cook County Recorder records |  |
| Ebony Snow Hurr                           | 2015 – 2024  | Cook County Recorder records |  |
| Stephen D. and Deanna L. Nied Trust       | 2024-present | Cook County Recorder records |  |

**ARCHITECTS:**

| ARCHITECT NAME | DATE AND DESCRIPTION OF PROJECT               | INFORMATION ATTACHED |
|----------------|---|----------------------|
| B. J. Braun    | 1921 – build one and ½ story stucco residence |                      |

**RESEARCH SOURCES USED:** *Winnetka Talk*, Cook County Assessor records, Cook County Recorder records, historic phone books, WHS property files, WHS digital files, Ancestry.com, *Chicago Tribune*

**Findings:**

Our research does not indicate that this property maintains architectural or historical significance. While it is an attractive Dutch Colonial that is over a century old, we did not find any notable information about the original builder, owner, or architect. In addition, we did not find any information about the previous owners that warrants further research.

**Date of Research:** 4/16/2025

**Submitted by:**

Meagan McChesney, PhD  
Curator, Winnetka Historical Society

Mary Trieschmann, MS Ed  
Executive Director, Winnetka Historical Society

THE VILLAGE OF WINNETKA

DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT

Winnetka, Illinois, 4-21 1921

TO THE SUPT. OF PUBLIC WORKS.

Application is hereby made for a permit to build a 1 1/2 Story and Basement Stucco res.

PROPERTY DESCRIPTION - Lot 15, Block 4, Subdivision Winnetka Park Bluffs

STREET and NUMBER 829 Foxdale Ave

DIMENSIONS of BUILDING - Front 30 feet, Depth 26'5" feet, Height 27 feet

NUMBER of ROOMS Six

KIND of MATERIAL Frame & Stucco

TOTAL COST \$8000.00

OWNER Leon J. Klein Address 611 Ashland Block

ARCHITECT B.J. Brown " 1548 Belmont

BUILDER Leon J. Klein & Co. " 40-39 W Adams

CARPENTER " "

MASON J. Meyer " "

PLUMBER " "

ELECTRICIAN " "

REMARKS

I hereby agree to construct the above described Building in accordance with Plans and Specifications submitted herewith, and in strict compliance with all the provisions in Chapter VI of the Village Code, entitled "Buildings."

SIGNED Leon J. Klein ADDRESS Room 611 - Ashland Block 155 N. Clark St

Permit Issued 4-21 1921

Permit Number 1169

THE VILLAGE OF WINNETKA  
DEPARTMENT OF PUBLIC WORKS  
APPLICATION FOR BUILDING PERMIT

Winnetka, Illinois, June 14 1922

TO THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to build a 1 Story  
and Basement frame garage  
(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)

PROPERTY DESCRIPTION - Lot 15, Block 4  
Subdivision Winnetka Pl Bluffs

STREET and NUMBER 829 Foxdale

DIMENSIONS of BUILDING - Front 20 feet. Depth 20 feet. Height 11 feet

NUMBER of ROOMS \_\_\_\_\_  
KIND of MATERIAL frame  
TOTAL COST 430.00

OWNER F. W. Kaempfer Address 829 Foxdale

ARCHITECT \_\_\_\_\_ Address \_\_\_\_\_  
BUILDER J. Bradbury Co Address 1403 Marquette Bldg

CARPENTER N. A. Bruce Address 2037 Sedgwick

MASON \_\_\_\_\_ Address \_\_\_\_\_

SEWER BUILDER \_\_\_\_\_ Address \_\_\_\_\_

PLUMBER \_\_\_\_\_ Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_

REMARKS \_\_\_\_\_

I hereby agree to construct the above described Building in accordance with Plans and Specifications submitted herewith, and in strict compliance with all the provisions in Chapter VI of the Village Code, entitled "Buildings."  
( I OR WE )

SIGNED Fred W. Kaempfer  
ADDRESS 829 Foxdale Ave

Permit Issued June 14 1922  
Permit Number 1576  
Certificate # 127

THE VILLAGE OF WINNETKA

Department of Public Works

#12.50

APPLICATION FOR BUILDING PERMIT

and for Certificate of Occupancy and Compliance

Winnetka, Illinois, 4/7/79

(THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to RE-BUILD DETACHED FRAME 2 Car

(work to be performed)

GARAGE ON THE EXISTING CONCRETE GARAGE SLAB. of a single

(Type of Building Such as Residence, Garage, Etc.)

family residence.

PROPERTY DESCRIPTION Lot 15, BLK 4, WINNETKA PARK BLUFFS, A SUB by WM. CAIRNDUFF, SECT. 16, 17, 20, T-42 N, R 13, EAST OF 3RD PR. MER, COOK CTY., ILL.

| REAL ESTATE INDEX NUMBER |    |      |     |
|--------------------------|----|------|-----|
| 05                       | 17 | 401  | 009 |
| Vol. 99                  |    | ITEM |     |

STREET and NUMBER 829 FOYDALE

DIMENSIONS of BUILDING Front 20 feet. Depth 20 feet. Height 12' feet.

NUMBER of ROOMS 1

EST. CONST. COST \$4,000.00 KIND of MATERIAL FRAME PHONE NO.

OWNER WM. POWELL & Co. Address 11 S. LASALLE, CHGO. 346-7170

ARCHITECT Address

BUILDER S.G.C. CONSTR. CO. Address 10508 UNITED PKWY 451-1500

CARPENTER " " " Address SCHILLER PARK, ILL DICK WELLBANK

MASON Address

SEWER BUILDER Address

PLUMBER Address

ELECTRICIAN Address

REMARKS

Date Job Completed

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

I hereby certify that I AM the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

I hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and I hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued June 25, 1979 by Hugs SIGNED

Building Permit Number 9965 ADDRESS 11 S. LaSalle Chicago, Ill.

Occupancy Permit Number

C. B. No. 71728 PHONE NO. 451-1500

Address of House **829 Foxdale** **Winnetka** Size of Lot **50x150** Rooms **7-3** Baths **1 1/2** Porches **2**

30,500  
27,500  
30  
MCO

Continuance of Listing Confirmed  
7/22

Situated between How house may be seen  
Garage **2 car** Living quarters  
State exactly how we came to have this listing

Fronts ft. alley at  
When available **to be arranged**  
How heated  
Date **6/3/48** Listed by **JBA**

Owner **OP**  
Whom to notify regarding prospective purchaser **Appleton**

Address  
Ph: Res. Ofc.  
Address  
Ph: Res. Ofc. **Uni 1102**

Tenant  
Abstract or Guaranty policy  
Terms  
1st Mortgage  
Prepayment privileges  
2nd Mortgage  
Prepayment privileges  
Restrictions  
Insurance { Fire Tornado

Rate **J.A.P.** Maturity  
Rate **J.B.A.** Maturity  
Rate **L.B.G.** Maturity  
Rate **E.H.** Maturity  
Rate **J.L.W.** Maturity

Lease expires  
Taxes **200**  
Special Assessments

Construction **stucco Dt. Col.**  
Heating **HW oil**

Hot water Lighting Architect Zoning Use Height Area  
Hardwood Floors

Remarks  
Basement  
1st floor **LDK hea ted sunrm**  
2nd floor **3 bedrms, 1 tile bath heated slp pch 1/2 ba**  
3rd floor

0552 06/15/82 29 DAYS LB-28 SB-8104 L-120,000 S-105,000



Address: 829 Foxdale Avenue, City: Winnetka, Area: 40, L# 8203954  
Dir: East of Green Bay, South of Tower Road.  
Rms 8 Bdrms 3 Baths 1 1/2 T/H Owner of record. T. Ins.  
Const: Stucco Str 2 Blt Gar 2 det. Sp/As None known.  
Approx. Room Sizes: FI Tax 1982 HE Poss Lot Heat HW GAS  
DR 12.5 x 29 1 [x] Ring [x] Dishw [ ] Porch [ ] M/B [ ] C/A [ ] Water Soft [ ] Own [ ] Rent  
Kt 9 x 13 1 [x] Ref [ ] Dsp [x] Patio [x] Fpl [ ] W/WAC Water: [ ] Wall [ ] Pri [x] Mum  
BR 7.5 x 12 1 Sewer: [x] San [x] St [ ] Septic [ ] Bmnt yes [ ] Trans CNW RR; Bus  
BRs 11 x 13+ 2 Schs Greeley, Washburne, New Trier  
Sitting Rm. 7.5x15 2 Remarks Spacious rooms - light and airy Dutch Colonial  
12.5 x 14.5 2 in popular young family neighborhood. FINANCING  
12 x 14 2 AVAILABLE. Shared driveway. tenant occupied.  
Flood Hazard Insurance may be required by Lender  
Sip John E. Townsend, GRI, CRS No 463 Ph 446-6031  
NO CONTINENTAL - WINNETKA No 28 446-5010 Co-op 3% on closing

#00172 L-\$148,500 S-NOREPORT CONV  
01/02/84 7 DAYS LB-8104 SB-6108



Ad 829 FOXDALE City WINNETKA Ar 40 L# 83 11582  
Dir EAST OF GREEN BAY, SOUTH OF TOWER RD. Zip 60093  
Rms 7 Br 3 Bth 1.5 Fp Y Bsm Y Blt 1921 UFFI U  
Sty COLONIAL Str 2 Ext STUCCO Gar 2 CAR, DETACH\*  
Ltr Tax 1982 2521 Ho Y Hs N Inc Y  
Heat GAS, HW A/C 2 \* Poss MARCH 1984  
Elec Sewer SAN/STRM Water MUNICIPAL Spa NONE  
Appl RNG & O. DISHWASHR. DISPOSAL  
Schools GREELEY, WASHBURNE, NEW TRIER, SACRED HEART  
Transp NORTHWESTERN, RTA C 3/100+2.5  
Liv 1Y 29 X 12.5 Mbr 2Y 14.5 X 12.5 Fam  
Din 1 13 X 13 Br 2 2Y 13 X 11 SIT 2Y 15 X 7.5  
Comb N Sep Y L N Br 3 2Y 14 X 12 Y  
Kit 1 13 X 9 Br 4  
Mbb N Xrm  
Brokers Opinion BRIGHT AND CHARMING DUTCH COLONIAL IN  
MOVE-IN CONDITION. FRESHLY DECORATED AND CARPETED IN  
CONVENIENT AND POPULAR LOCATION. MANY IMPROVEMENTS:  
FURNACE, H.W. HTR., ROOF, PATIO, GUTTERS, LOVINGLY MAINT' E.  
Brk QUINLAN AND TYSON, INC No 8104 Ph 446-4500  
Sisp MARTIN No 2398 Ph 441-8184  
REFINISHED HARDWOOD FLRS. REMODELED PODER RM. W/ CEDAR  
CLOSET, PARTIALLY FINISHED PLAYRM., CHIMNEY RETUCKPOINTED  
EXCLUDE: DR WALL SCONCES, WASHER & DRYER, KIT. FRIG.  
AND WAC UNITS. INCLUDES REFRIG. IN BASEMENT.

Equip STRMS/SCRNS, TV ANTENNA, SMOKE DETCT  
Out PATIO  
Info APPT ONLY, CALL AGT, KEY  
Bsmt FULL, PART FIN  
Imprv CTY SAN SEW, STORM SEW, MUNI WATER  
Faces WEST Roof ASPH SHINGL Fp WOOD # 1  
Lot Desc LANDSCAPED  
Terms  
Title Holder THOMSON, JAMES & CHRISTINA  
Coordinates N 0 S 0 E 0 W 0

|  |   |   |   |                |                  |   |
|--|---|---|---|----------------|------------------|---|
| Code<br><b>2154</b>  | Address<br>829 Foxdale, Winnetka<br>West  | Size of Lot<br>50 x 150   | Rooms - Bed<br>7-4                                | Baths<br>1 1/2 | Porches<br>2     | Price<br><del>27,500</del><br>incl. <i>26,500</i><br>carpeting. |
| Open House Date  | Const. & Style<br>Dutch Colonial  | Roof  | Built Arch.                                       |                | Terms:           |   |
| Listing Date<br>10/16/53   | 1st Floor<br>L,D, mod. kit. w/dishwasher & disposal, pan. TV rm.  | 2nd Floor 3 Bedrms., encl. ht'd pch. makes small bedrm. or study room, 1 1/2 tile baths |   |                |                  |   |
| Check Dates<br><i>3/54</i><br><i>4/54</i>  | 3rd Floor Storage   | Basement Play room and bar, T & L   |   |                |                  |   |
| <i>FSB</i><br><i>JT</i><br><i>JAP</i><br><i>PV</i><br><i>JCM</i><br><i>EH</i><br><i>MW</i><br><i>ACL</i><br><i>SLW</i> | Heat<br>HW Oil (1 yr. old)  | Cost<br>\$198 approx.   | Hot Water<br>Gas                                  |                | <i>Ased 4/54</i> |   |
|  | Garage: No. Cars<br>2   | Det. <del>OK</del>  | 1000 gal. storage tank, double oil line.          |                |                  |   |
|  | Poss. Reasonable, prefer 90 days  |   | Title Form  |                |                  |   |
|  | Mortgage Existing mtg. approx. 11,700   |   | 1st Fed. Wilmette 5%, \$13 1/4 per mo. incl.      |                |                  |   |
|  | Taxes<br>\$320 approx.  |   | Taxes, interest, prin., 15 yrs. <i>can get it</i> |                |                  |   |
|  | Tenant  | Lease Exp.  | Rent  |                |                  |   |
|  | Restrictions, if any, and Remarks<br>Electric stove, 9' deep freeze, auto. laundry equipment can be purchased. <i>washer &amp; dryer incl + carpeting</i><br>Insulated. |   |   |                |                  |   |
|  | Owner   | Address   |   |                | Bus. Ph.         | Res. Ph.  |
|  | Exclusive of<br>JUNILAN AND TYSON, INC.   |   |   | Phone          | WI. 6-0177       |   |
|  | Mrs. H. W. Starr  |   |   | Home Phone     | WI. 6-1755       |   |

INFORMATION IS CONSIDERED ACCURATE BUT WE CAN ACCEPT NO LIABILITY FOR ERRORS THE LISTING MAYBE WITHDRAWN OR PRICE CHANGED WITHOUT NOTICE.

Q & T\*Winn

|  |   |   |  |                |                     |  |
|--|---|---|--|----------------|---------------------|--|
| Code<br><b>2154</b>  | Address<br>829 Foxdale, Winnetka<br>West  | Size of Lot<br>50 x 150   | Rooms - Bed<br>7-4                           | Baths<br>1 1/2 | Porches<br>2        | Price<br>27,500<br>incl. carpeting.<br><i>26,500</i> |
| Open House Date  | Const. & Style<br>Dutch Colonial  | Roof  | Built Arch.                                  |                | Terms:              |  |
| Listing Date<br>10/16/53   | 1st Floor<br>L,D, mod. kit. w/dishwasher & disposal, pan. TV rm.  | 2nd Floor 3 Bedrms., encl. ht'd pch. makes small bedrm. or study room, 1 1/2 tile baths |  |                |                     |  |
| Check Dates<br><i>ok</i><br><i>1/11/54</i><br><i>3/12/54</i><br><i>3/19</i><br><i>5/15</i> | 3rd Floor Storage   | Basement Play room and bar, T & L   |  |                |                     |  |
|  | Heat<br>HW Oil (1 yr. old)  | Cost<br>\$198 approx.   | Hot Water<br>Gas                             |                | <i>sold 5/10/54</i> |  |
|  | Garage: No. Cars<br>2   | Det. <del>OK</del>  | 1000 gal. storage tank, double oil line.     |                |                     |  |
|  | Poss. Reasonable, prefer 90 days  |   | Title Form                                   |                |                     |  |
|  | Mortgage Existing mtg. approx. 11,700   |   | 1st Fed. Wilmette 5%, \$13 1/4 per mo. incl. |                |                     |  |
|  | Taxes<br>\$320 approx.  |   | Taxes, interest, prin., 15 yrs.              |                |                     |  |
|  | Tenant  | Lease Exp.  | Rent   |                |                     |  |
|  | Restrictions, if any, and Remarks<br>Electric stove, 9' deep freeze, auto. laundry equipment can be purchased. <i>included</i><br>Insulated. <i>Poss. 30 das. if neces.</i> |   |  |                |                     |  |
|  | Owner   | Address   |  |                | Bus. Ph.            | Res. Ph.   |
|  | Exclusive of<br>JUNILAN AND TYSON, INC.   |   |  | Phone          | WI. 6-0177          |  |
|  | Mrs. H. W. Starr  |   |  | Home Phone     | WI. 6-1755          |  |

*Bill & Midge Powell 446-7977*

INFORMATION IS CONSIDERED ACCURATE BUT WE CAN ACCEPT NO LIABILITY FOR ERRORS THE LISTING MAYBE WITHDRAWN OR PRICE CHANGED WITHOUT NOTICE.

Q & T\*Winn



1923 directory

1618 Sherman av.....Evanston-5637  
 Kaehler Walter G r 2142 Asbury. Evanston-3282-J  
 Kaempfer F W r 829 Foxdale av. Winnetka-364  
 Kaen Rohf P r 2145 Maple av. .... Evanston-8594  
 Kaeser A E r 2247 Ridge av. .... Evanston-3117-J

1925 directory

Ristow Richard O r 966 Linden av. .... Winnetka-430  
 Ritchie John r 565 Arbor Vitae rd. .... Winnetka-1579  
 Ritchie Thos Weston r 35 Indian Hill rd. Winnetka-2159  
 Rittenhouse Jacob B r 829 Foxdale av. Winnetka-1551  
 Rittenhouse R r 1356 Scott av. .... Winnetka-2276  
 Ritter Louis S r 875 Burr av. .... Winnetka-1948

Cook County Recorder records

[Back](#)
[Add Document to Cart](#)
[Add Certified Document to Cart](#)

Viewing Document: T3610574

[Submit Correction](#)
[View Document in New Window](#)

**Document not found. Please redo the operation or contact Cook County Clerk's Office**

|                              |                           |
|------------------------------|---------------------------|
| <b>Document Number:</b>      | T3610574                  |
| <b>Document Type:</b>        | WARRANTY DEED             |
| <b>Date Recorded:</b>        | 4/24/1987                 |
| <b>Date Executed:</b>        | 4/14/1987                 |
| <b># of Pages:</b>           |                           |
| <b>Address:</b>              | 829 FOXDALE AVE, WINNETKA |
| <b>Consideration Amount:</b> | \$0.00                    |

**Grantors**

| Name                            | Trust# |
|---------------------------------|--------|
| <a href="#">BOLLER SUSAN L</a>  |        |
| <a href="#">STEINWAY MARK S</a> |        |

**Grantees**

| Name                               | Trust# |
|------------------------------------|--------|
| <a href="#">FINK KARL R</a>        |        |
| <a href="#">HAMILTON KATHRYN A</a> |        |

RELEASE OF MORTGAGE  
**UNOFFICIAL COPY**

KNOW ALL MEN BY THESE PRESENTS

That THE NORTHERN TRUST COMPANY, a corporation duly organized and existing under and by virtue of the laws of the State of Illinois, located at CHICAGO, for and in consideration of One Dollar, and other good and valuable considerations, the receipt whereof is hereby acknowledged, does hereby release, convey and quitclaim unto KATHRYN A. HAMILTON, SINGLE WOMAN, NEVER MARRIED AN KARL H. FINE, SINGLE PERSON, NEVER MARRIED

93466076

93466076

of the County of COOK and State of Illinois, all the right, title, interest, claim or demand whatsoever which said corporation may have acquired in, through or by a certain Mortgage, bearing date of 4/14/87 and recorded in the Recorder's Office of COOK County, in the State of Illinois, on 4/24/87 as Document Number 3610575 in, as or to the premises therein described as follows, to-wit: MODIFICATION AGREEMENT RECORDED 4/1/92 AS DOCUMENT #92380789

LOT FIFTEEN (15) IN BLOCK FOUR (4), IN WINNETKA PARK BLUFFS, BEING A SUBDIVISION BY WILLIAM H. CAIRNDUFF, OF PART OF SECTIONS 16, 17 AND 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN.

51345076  
Dwg as Rec'd # 93380789

93466076

DEPT-01 RECORDING 822.00  
11/22/93 TRAM 1944 06/16/93 09:27:50  
M-2-466076  
COOK COUNTY RECORDER

PROPERTY ADDRESS: 829 FOXDALE, WINNETKA, IL 60093

located in the County of COOK and State of Illinois, together with all the appurtenances and privileges thereto belonging and appertaining.

IN WITNESS WHEREOF THE NORTHERN TRUST COMPANY has hereunto caused its corporate name to be set by its authorized officer, this date JUNE 3, 1993

03-17-401-009-0000  
Permanent real estate tax sales number

*Christine Pristo*  
Vice President

FOR THE PROTECTION OF THE OWNER THIS RELEASE SHALL BE FILED WITH THE RECORDER OF DEEDS IN WHOSE OFFICE THE MORTGAGE OR DEED OF TRUST WAS FILED.

THIS INSTRUMENT WAS PREPARED BY:  
THE NORTHERN TRUST COMPANY  
50 S. LA SALLE STREET  
CHICAGO, IL 60675  
ATTN: CHRISTINE PRISTO, ESQ.

STATE OF ILLINOIS  
County of Cook

I, [Redacted], a Notary Public in and for said County, in the State of Illinois, do hereby certify that ELAINE COUCH, Vice President of THE NORTHERN TRUST COMPANY, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Vice President and personally known to me to be such Vice President, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his free and voluntary act as such Vice President, as aforesaid, and as the free and voluntary act of [Redacted] for the uses and purposes therein set forth.

My Commission Expires [Redacted]

OFFICIAL SEAL  
ADRIENNE MICHARD  
Notary Public, State of Illinois  
My Commission Expires on 08/18/97

8-NYC003 8-10

ELECTRONIC LASER FORM, INC. • (708) 637-9100 • (800) 327-2648

Bob 23P

TRUSTEE'S DEED

94969025 UNOFFICIAL COPY

The Grantor, **MIDWEST TRUST SERVICES, INC.**, as Successor Trustee to Midwest Bank and Trust Company, a corporation duly organized and existing under the laws of the State of Illinois, and duly authorized to accept and execute trusts within the State of Illinois, her personally, has solely as Trustee under the provisions of a Deed or Deeds in Trust duly executed and delivered to said corporation in pursuance of a certain Trust Agreement dated the 31st day of July 1987 AND known as Trust Number 87-07-5280

in consideration of Ten and No/100ths Dollars (\$10.00), and other valuable considerations paid, conveyed and given claims to **David DiPaolo and Kristin DiPaolo, his wife, as joint tenants**

of Cook County the following described real estate in COOK County, Illinois:

Lot 15 in Block 4 in Winnetka Park Bluffs, being a Subdivision by William H. Cairnduff of part of Sections 16, 17 and 20, Township 42 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 2 Easement Appurtenant to and for the benefit of Parcel 1, aforesaid as mentioned in agreement registered January 13, 1950 as LB1278028, over and upon a part of Lot 14 in Winnetka Park Bluffs, aforesaid, for driveway purposes, in Cook County, Illinois.

PIN# 05-17-401-000-0000

TO HAVE AND TO HOLD the above granted premises unto the grantees forever, not as tenants in common, but as joint tenants with right of survivorship

COMMONLY KNOWN AS: 829 FOXDALE, WINNETKA, ILLINOIS 60093

together with the appurtenances attached thereto:

IN WITNESS WHEREOF, Grantor has caused to be signed and sealed by its President and Secretary and attested by its True Administrator of said corporation on the 26th day of September 1994

MIDWEST TRUST SERVICES, INC.  
as Trustee as aforesaid, and her personally

SEAL

BY: [Redacted]

ATTY: [Redacted]

County of Cook

State of Illinois

Emily S. Mentone

Deanna M. Quinn

Land Title Administrator of said instrument, personally known to me or by the name printed thereon and authorized to the foregoing instrument as such, Successor Trust President and True Administrator of said corporation, respectively, appeared before me this day of [Redacted] and acknowledged that they signed and delivered the within instrument as their own free and voluntary act, and in full and lawful discharge of all obligations, to the Trust for the use and purposes therein set forth and the said True Administrator of said instrument did also declare under oath and knowledge that for her as executor of the instrument and of said corporation she affixes the seal of said corporation to said instrument as required by law and voluntarily act, and under full and sufficient knowledge, as Trustee for the said and purposes therein set forth.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 26th day of September 1994

Notary Public

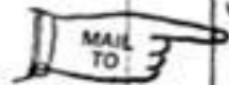
829 Foxdale, Winnetka, IL

829 Foxdale, Winnetka, IL

This instrument was Prepared by:

Deanna M. Quinn

Midwest Trust Services, Inc.  
1000 North Harbor  
Evanston Park, Illinois 60115



WHEN RECORDED MAIL TO:  
SBI TITLE, INC.  
1821 Walden Office Square  
Suite 120  
Schaumburg, Illinois 60173

94969025

COOK COUNTY RECORDER  
JESSE WHITE  
ROLLING MEADOWS  
REC. OF THE REAL ESTATE ACT.

SB194-00273

10. 89- 92-38174

139

UNOFFICIAL COPY 99143040

When recorded return to:  
TICOR TITLE INSURANCE CO  
900 SKOKIE BLVD., STE 103  
NORTHBROOK, IL 60062  
L#:0004603273

1/15/0044 82 000 Page 1 of 2  
1999-02-11 09:34:05  
Cook County Recorder 23.50



COOK COUNTY  
RECORDER

BRIDGEVIEW OFFICE

SATISFACTION/  
DISCHARGE OF MORTGAGE

*Doll*

The undersigned certifies that it is the present owner of a mortgage made by DAVID DI PAOLO AND KRISTIN DI PAOLO to LASALLE TALMAN BANK, FSB bearing the date 08/25/95 and recorded in the Recorder or Registrar of Titles of COOK County, in the State of Illinois in Book Page as Document Number 95580422. The above described mortgage is, with the note accompanying it, fully paid, satisfied, and discharged. The recorder of said county is authorized to enter this satisfaction/discharge of record. To the property therein described as situated in the County of COOK, State of Illinois as follows, to wit:  
SEE EXHIBIT A ATTACHED.

353444

commonly known as: 829 FOXDALE AVE  
WINNETKA, IL 60093 pin#05-17-401-009-0000  
The undersigned hereby warrants that it has full right and authority to Release said mortgage either as original mortgagee, as successor in interest to the original mortgagee, or as attorney-in-fact under a duly recorded power of attorney.  
dated 01/14/99  
LASALLE BANK, FSB

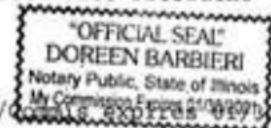
TICOR TITLE

By: James M. Dolan Asst. Vice President

STATE OF ILLINOIS COUNTY OF COOK  
The foregoing instrument was acknowledged before me on 01/14/99 by James M. Dolan the Asst. Vice President of LASALLE BANK, FSB on behalf of said CORPORATION.

[Redacted Signature]

Doreen Barbieri  
LASL1 WL 205WL



*ap*

UNOFFICIAL COPY

00422763

2000-06-09 11:01:48  
Cook County Recorder 23.00

TRUSTEE'S DEED

7/6/00  
2002-06-04  
M.T.I.C.



The above space is for the recorder's use only

The Grantor, MIDWEST BANK AND TRUST COMPANY, as Successor Trustee to Midwest Trust Services, Inc., a corporation duly organized and existing under the laws of the State of Illinois, and duly authorized to accept and execute trusts within the State of Illinois, not personally, but solely as trustee under the provisions of a Deed or Deeds in Trust duly recorded and delivered to said corporation in pursuance of a certain Trust Agreement dated the 31st day of July 20th 1987, AND known as Trust Number 07-07-5280, in consideration of Ten and no/100 Dollars (\$10.00), and other valuable considerations paid, conveys and quit claims to Charles B. Lawless and Jennifer S. Lawless, Husband and Wife, not as tenants in common, not as joint tenants, but as tenants by the entirety, of 1095 Merrill St. Winnetka, IL 60093 of Cook County, Illinois, the following described real estate in Cook County Illinois.

PARCEL 1:  
LOT 15 IN BLOCK 4 IN WINNETKA PARK BLUFFS, BEING A SUBDIVISION BY WILLIAM H. CAIRNDUFF OF PART OF SECTIONS 16, 17, AND 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:  
EASEMENTS APPURTENANT TO AND FOR THE BENEFIT OF PARCEL 1, AFORESAID, AS MENTIONED IN AGREEMENT REGISTERED JANUARY 13, 1950 AS LR1278028, OVER AND UPON A PART OF LOT 14 IN WINNETKA PARK BLUFFS, AFORESAID, FOR DRIVEWAY PURPOSES, IN COOK COUNTY, ILLINOIS.

SUBJECT TO: Covenants, conditions and restrictions of record; private, public and utility easements and roads and highways, if any; party wall rights and agreements, if any; existing leases and tenancies; special taxes or assessments for improvements not yet completed; any unconfirmed special tax or assessments; installments not due at the date hereof of any special tax or assessment for improvements heretofore completed; general taxes for the year 1999 and subsequent years including taxes which may accrue by reason of new or additional improvements during the year 2000; and to encroachment at South property line.

P.I.N. 05-17-401-009-0000

together with the appurtenances attached hereto:

IN WITNESS WHEREOF, Grantor has caused its corporate seal to be hereunto affixed, and name to be signed by its ~~Authorized Vice President~~ Trust Officer and attested by its ~~Trust Administrator~~ Trust Officer of said corporation, this 7th day of June 20 00.

BOX 333-611

UNOFFICIAL COPY



Chicago Title Insurance Company

WARRANTY DEED  
ILLINOIS STATUTORY  
TENANTS BY THE ENTIRETY

STEFANIA JAC /  
2500220470



Doc#: 0504002294  
Eugene "Gene" Moore Fee: \$28.00  
Cook County Recorder of Deeds  
Date: 02/09/2005 11:30 AM Pg: 1 of 3

THE GRANTOR(S), JENNIFER S. LAWLESS, AS TRUSTEE OF THE JENNIFER LAWLESS TRUST, DATED FEBRUARY 2, 2004, and CHARLES B. LAWLESS, husband and wife, of the Village of WINNETKA, County of COOK, State of Illinois for and in consideration of TEN & 00/100 DOLLARS, and other good and valuable consideration in hand paid, CONVEY(S) and Warrant(s) to ANDREW B. CRIPE and CHRISTINA A. NUNEZ-CRIPE, husband and wife, not as joint tenants or tenants in common but as tenants by the entirety, (GRANTEE'S ADDRESS) 1350 WEST BYRON, CHICAGO, Illinois 60613 of the County of COOK, all interest in the following described Real Estate situated in the County of COOK in the State of Illinois, to wit:

See Exhibit 'A' attached hereto and made a part hereof

SUBJECT TO:

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois. TO HAVE AND TO HOLD said premises as husband and wife, not as joint tenants or tenants in common but as tenants by the entirety forever.

Permanent Real Estate Index Number(s): 05-17-401-009-0000  
Address(es) of Real Estate: 829 FOXDALE, WINNETKA, Illinois 60093

Dated this 1<sup>ST</sup> day of February, 2005

JENNIFER S. LAWLESS

CHARLES B. LAWLESS

UNOFFICIAL COPY



Warranty Deed

ILLINOIS

Doc#: 1512850042 Fee: \$42.00  
RSDP Fee: \$9.00 RP/RF Fee: \$1.00  
Karen A. Yarbrough  
Cook County Recorder of Deeds  
Date: 05/08/2015 10:03 AM Pg. 1 of 3

1514284 1/2  
REC'D  
COOK COUNTY CLERK  
MAY 11 2015  
1514284  
MAY 11 2015

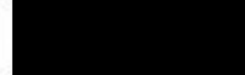
Above Space for Recorder's Use Only

THE GRANTOR(s) Andrew B. Cripe and Cristina A. Nunez-Cripe, Husband and Wife, as Tenants by the Entirety, of the City of Winnetka, County of Cook, State of Illinois for and in consideration of TEN and 00/100 DOLLARS, and other good and valuable considerations in hand paid, CONVEY(s) and WARRANT(s) to Ebony Snow Hunt, CO-MANAGING PARTNER, of 600 Cedar St., Winnetka, Illinois, 60093 the following described Real Estate situated in the County of Cook in the State of Illinois to wit: (See page 2 for legal description attached hereto and made part hereof), hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

SUBJECT TO: General taxes for Second Installment of 2014 and All of 2015 and subsequent years; Covenants, conditions and restrictions of record, if any;

Permanent Real Estate Index Number(s): 05-17-401-409-0100

Address(es) of Real Estate:  
829 Foxdale Avenue Winnetka Illinois 60093



The date of this deed of conveyance is 05/01/2015.

(SEAL) Andrew B Cripe

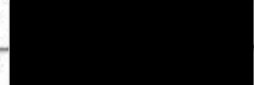
(SEAL) Christina A Nunez-Cripe

State of Illinois, County of COOK, I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Andrew B Cripe and Christina A Nunez-Cripe personally known to me to be the same person(s) whose name(s) is (are) subscribed to the foregoing instrument, appeared before me this day in person, said acknowledged that he/she/they signed, sealed and delivered the said instrument as his/her/their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

(Impress Seal Here)



Given under my hand and official seal 05/01/2015.



Notary Public

## COMMUNITY HOUSE CALENDAR

### WEEK OF APRIL 25

The outstanding events of the week in Community House are the Annual dinner of the "Winnetka association, Reserve Militia of Illinois," on Monday evening, in the Assembly room, the Annual Dance of the Choir of the Congregational church, on Friday, April 29. On Monday evening the Modern Woodmen of America hold their meeting and on Thursday evening, the teachers of Winnetka will enjoy a social evening in the Assembly room. The Four Corners Dancing club holds its regular dance in the gym. on Saturday evening, and the North Shore British American society has its social evening in the Assembly room the same evening.

#### Monday, April 25

Afternoon—Gym.—Two classes for girls, as usual, from 3:45 to 5:15 Assembly room—"S. F. B. P." Club of girls, with Miss Langworthy, from 3:45 to 4:30; Neighborhood room—"P. S." Club of girls with Mrs. Paul Starr at 4 o'clock; Room 6—Camp Fire Girls of Mrs. Robertson's group at 4 o'clock.

Evening—Assembly Room—Winnetka Association Reserve Militia of Illinois; Men's Classes of gymnasium; Modern Woodmen of America—Meeting in rooms 6 and 7 at 8 o'clock.

#### Tuesday, April 26

Afternoon—Gym.—Two classes for boys from 3:45 to 5:15; meeting of Camp Fire Council in room 9 at 4 o'clock; meeting of Camp Fire Guardians with Mrs. Moody at 2:15 o'clock.

Evening—Gym. Young Ladies' class at 7:30; Friendship Circle in Gym. and Neighborhood room at 8 o'clock; classes in English for Foreigners at 8 o'clock. Women meet in rooms 9, 10, 11 with Mrs. Moulton and Miss Matz; men meet in room 2, with Mr. Moulton.

#### Wednesday, April 27

Afternoon—Meeting of the Missionary society in the Assembly room at 2:30 for a talk with lantern; meeting of Camp Fire Group with Mrs. Marshall in room 4 at 4 o'clock; meeting of Miss E. Matz' Group in room 6 at 4 o'clock.

Evening—Gym. Men's classes.

#### Thursday, April 28

Morning—Meeting of the Community House Sewing classes at 9 o'clock.

Afternoon—Meeting of the Community House Sewing class, Group 2, at 1:30 p. m.

Evening—Boy Scouts, Troop No. 1, at 7:15 in Assembly room; Social meeting of Winnetka Public School teachers in Neighborhood room at 8 o'clock.

#### Friday, April 29

Afternoon—Meeting of Camp Fire Groups at 4 o'clock. Mrs. Kennicott's Group in room 9; Miss Ruth Matz in room 5.

Evening—Gym. Motion Pictures; Assembly room, 8 o'clock, Choir dance.

#### Saturday, April 30

Evening—Gym. "Four Corners Dancing club," 8 o'clock; North Shore British American society in Assembly room at 8 o'clock.

#### "MARY'S ANKLE"

McLean and May will hold the attention of Winnetka movie fans Friday, April 26, appearing at Community House Motion Pictures in "Mary's Ankle." Other features of the evening's program will be motion pictures of "The Monkey Cage" at the Horace Man school, an Andy Gump cartoon comedy and Selznick News reels.

#### BASEMENT FIRE

Fire, which threatened serious damage to the Merritt Lum residence at 672 Lincoln avenue, late Saturday night, was extinguished in the "nick of time" by the Winnetka firemen, summoned by a night watchman who, in passing the home noticed a blaze in the basement. Somebody forgot to turn off the gas under a boiler.

#### BRISK SELLING

The Winnetka Motor company enjoyed a week of brisk selling. Paul Bleser, of Gross Point, purchased a Willys-Knight touring, H. H. Barbour of Kenilworth, bought a Willys-Knight sedan, and Henry Boyin, of Evanston, purchased a Buick roadster.

### PERMITS FOR BUILDING HIT \$63,250 FOR WEEK

Building permits totalling a valuation of \$63,250 were issued this week by Superintendent Gibbon of the Winnetka Department of Public Works. In the majority of instances the permits were for construction of new residences. Permits issued follow:

William Aitken, frame residence at Oak street and Sheridan road, \$25,000.

Franklin Rogers, brick veneer residence at 503 Elder lane, \$10,000.

L. J. Klein, brick residence at 833 Foxdale avenue, \$8,250; stucco residence at 829 Foxdale avenue, \$8,000; residence at 700 Foxdale avenue, \$7,750.

W. G. Struggles, reconstruction on frame residence at 609 Cherry street, \$2,000.

Alteration on Hufton residence, 462 Provident avenue, \$2,000.

G. F. Spaulding, garage at 889 Cherry street, \$250.

### NOTED EDUCATORS SPEAK AT PARENT-TEACHER MEET

Francis G. Blair, superintendent of Public Instruction for the state of Illinois, and Mrs. Ira Couch Wood, well known in Winnetka, will be the speakers at a meeting of the Winnetka Parent-Teacher association at the Winnetka Woman's club Thursday evening, May 5. All teachers and parents of Winnetka school children are invited to attend the meeting.

Mrs. Philemon B. Kohlsaet will lead in Community singing and a double quartet will furnish special music.

### SOCCER CLUB DANCE

The North Shore Soccer club announces a dance to be given at Winnetka Community House, Friday evening, May 13, at 8 o'clock.

### RECOVERING FROM ILLNESS

Mrs. William B. Kruse, 897 Spruce street, is recovering at her home from a severe attack of bronchitis.

First Church of Christ, Scientist, of Glencoe, holds regular services Sunday mornings at 11 o'clock. Wednesday evenings at 8 o'clock. Sunday school convenes at 10:00 a. m. The services are held in Masonic Hall, corner Vernon and Hazel Avenues.

The public is cordially invited to be present.

### Children's Gingham Dresses

Sizes 3 to 14. PRICED \$1.25 TO \$2.75  
Hose, Corsets and Lingerie

### UNIQUE STYLE SHOP

B. COPLAN, Proprietor

1126 CENTRAL AVENUE  
WILMETTE Phone Wilmette 2403



## Spring Rug Cleaning

### Kashian Bros.

1145 Greenleaf Avenue, Wilmette  
Telephone Wilmette 1200

### EDUCATOR LAUDS LOCAL SYSTEM OF INSTRUCTION

Professor Harold Rugg, director of research in the Lincoln School of Teachers' College, Columbia University, was among the visitors to the Winnetka schools this last week. Professor Rugg, who is president of the National Council of Directors of Educational Research, stated that the Winnetka schools were the only public school system in the country as far as he knew which was basing its curriculum and activities on scientific investigations and conducting such investigations.

Professor Rugg has been interested in the Winnetka schools for over a year and has been co-operating with Superintendent Washburne and some of the teachers in their research. But this is the first time that he has actually been on the ground to conduct a personal study of the schools.

### SKOKIE TEAM VICTORIOUS

The fifth grade teams of Skokie and Horace Mann schools battled in an indoor baseball tussle Thursday afternoon in the park near the railre station. Skokie's representative nine won 13 to 6.

### NEW DEMONSTRATOR

The Hubbard Woods Garage this week acquired a new Auburn Six demonstrator car which is attracting no small amount of attention.



## Efficient Handling Of Your Car

Every man in this establishment understands automobiles. When you bring your car in for the night you need not fear that it may be abused or mishandled.

### HOSTETTER'S GARAGE

Day and Night Service

806 Oak Street Phone Winnetka 188

Mr. and Mrs. M. H. Lieber of 985 Elm street, are moving on May 3, to 468 Ridge avenue. Their home has been sold to Mr. Carl Hanson.

The North Shore Dancing club will hold its annual business meeting next Wednesday evening at the Winnetka Woman's club.

It's  
Time  
for  
These  
Things.



Haberdashery is the most conspicuous part of a man's attire. Nothing is more noticeable than an ill fitting collar or a wrong scarf. When we sell to you we do so with the idea of bringing you back for more of our correct information on what is what for men to wear these days.

**J. H. DETHLOFF**  
Gents' Furnishings and Shoes  
786 Elm St., Winnetka Phone Winnetka 1077

## CHANDLER STEPHENS DORT

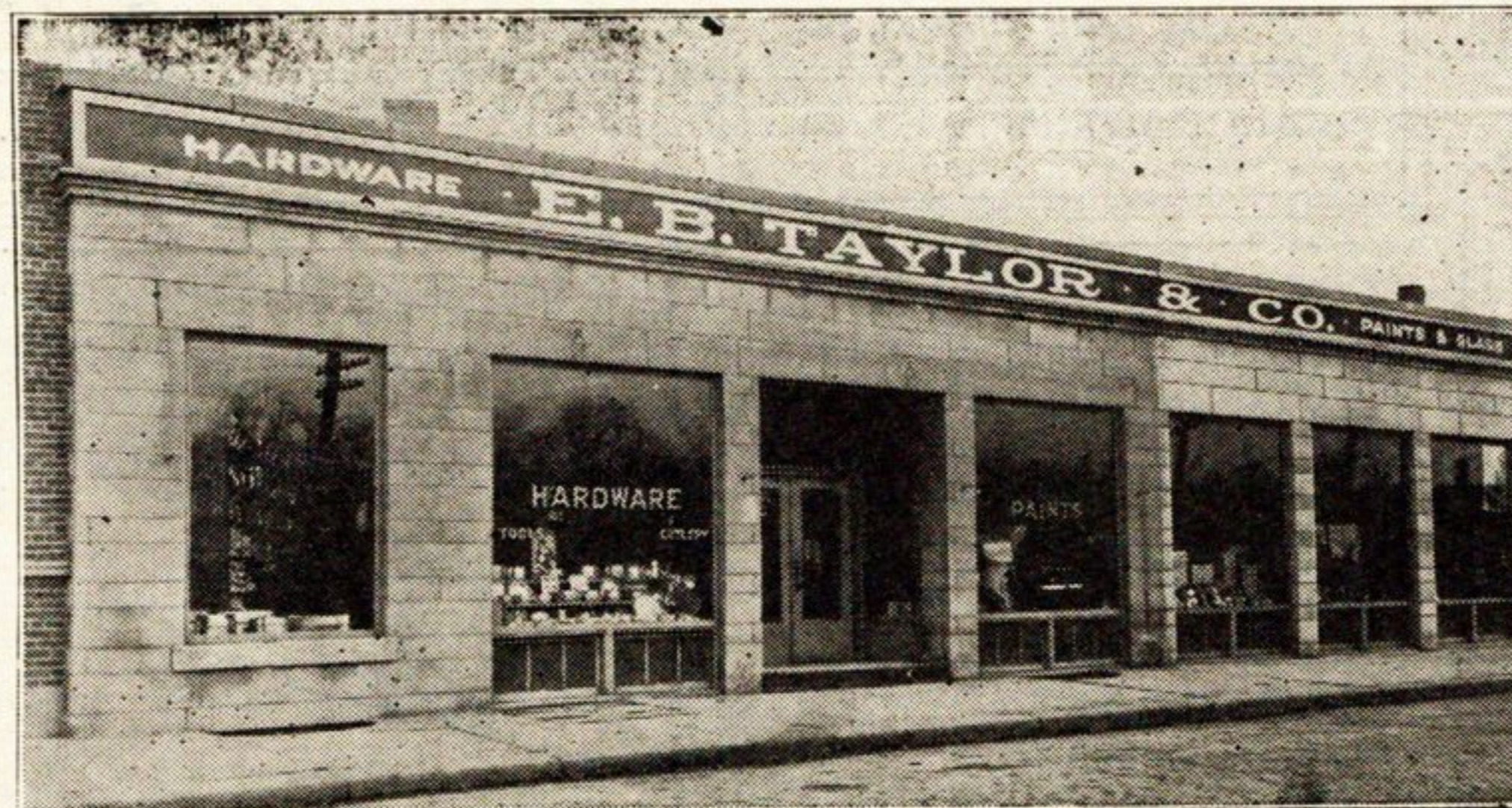
Sold and Serviced By

**EARL COAL MOTOR CO.**

1019 Davis Street, Evanston

USED CARS THAT ARE RIGHT

Phones 578 and 579



**Garden  
Goods--  
A Most  
Complete  
Stock**

This last part of April is the busy time for the gardener. Seeds must go in now, and must be properly put in. The right equipment is necessary for this work. We have in stock at all times, every implement necessary for the amateur as well as the professional, always at the right prices.

### For Instance

Why waste your time shopping around the loop when you may buy a good steel Rake here for

**60c**

Shovels, Trowels, Rakes, Hoes, Spades, all of the best grade, may be delivered to you upon order. A complete line of Seeds, both the Vaughan and Ferry stocks, is at your service. This includes every variety of vegetable and flower seed and all are new and of the best quality.

## E. B. TAYLOR & COMPANY

HARDWARE

546 Center Street

WINNETKA, ILLINOIS

Phones 998 and 999

WE SPECIALIZE IN THE BEST OF  
Electrical Appliances

## North Shore Electric Shop

JOHN C. WELTER, Proprietor

554 Railroad Ave., Winnetka Tel. Winnetka 44

★ Because IT LUBRICATES

... D-X provides needed lubrication and protection to valves, pistons, rings, upper cylinder walls. The result is smoother, faster running motors with a minimum of carbon deposits and of motor wear ... and greatly increased mileage!

YOUR MONEY BACK... Under Terms of the DIAMOND TRIAL BOND... if any Gasoline at any Price gives Quicker Starting or Greater Mileage



Quicker STARTING plus Maximum MILEAGE

MID-CONTINENT PETROLEUM CORPORATION

D-X and Diamond Products are distributed by

D. X. SERVICE

600 Green Bay Road (Railroad Avenue)

TOM WHITE

Phone Kenilworth 5496

RUDY JANSEN

CHRISTMAS GIFT SUGGESTION



Myra Hess



Ninon Vallin



Sigrid Onegin



Emanuel Feuermann



Nathan Milstein

Four concerts remain of the five programs arranged this season for the Artist-Recital series sponsored by the Winnetka Music club, and the suggestion has come from those interested in these outstanding artistic ventures that a season ticket, providing for the quartet of programs would constitute a pleasantly unique Christmas gift for some member of the family or friend.

Such a Christmas gift would permit the fortunate recipient to hear the notable artists pictured here. Sigrid Onegin, contralto, who appears Monday, November 26; Ninon Vallin, soprano, and Emanuel Feuermann, 'cellist, who will present a joint recital on December 10; Nathan Milstein, world renowned violinist, who appears January 28, and Myra Hess, famous pianist, who will conclude the series with a concert on March 11.

This eleventh season of Artist-Recitals measures up fully to the lofty standard established by the Winnetka Music club when, more than a decade ago, it fostered the idea of bringing the leading artists of the world to the north shore at a moderate cost to the concert patrons of this vicinity. The recitals are held in the New Trier High school auditorium.

John Macy Takes Part in Play at Wesleyan

John W. Macey of 966 South Private road, Hubbard Woods, a freshman at Wesleyan university, Middletown, Conn., was a member of the cast of "The Last Mile," the play given recently by the Paint and Powder club at the university. The play, a condensed version of a Broadway success, was the season's initial production by the dramatic society, and was well received by the audience, according to an announcement from the university. Mr. Macy is a graduate of North Shore Country Day school and a member of Phi Nu Theta fraternity.

Bank Makes Six Loans for Home Improvements

Six loans totalling \$2,300 have been made by the State Bank of Winnetka under the plans of the Federal Housing Act. Three of the loans will be used for the repair and painting of property; two for installing oil burners and one for a heating plant. There has been an increase in the number of applications for loans of this nature during the past few weeks, it is announced. The bank, in each case, it is explained, is making a careful investigation of all applications to determine that various requirements are complied with.

Motion Pictures in Color Will Show World's Fair

A showing of motion pictures in color, with a discussion of the process by which they are made, is to be given Tuesday evening, November 20, at the Winnetka Masonic temple, 708 Elm street. Winnetka Lodge No. 1078, A. F. and A. M., invites all persons interested to attend.

The pictures and discussion will be presented by Alfred Herz of Chicago, well known research engineer and amateur photographer. His pictures have been shown by request before several prominent organizations.

The showing will include motion pictures in color, by day and night, of A Century of Progress. Mr. Herz has spent much time in the past two years to record on celluloid the colorings of the fair to capture views which were missed by the casual observer. He will also show pictures—including views of Florida—which he took on his recent southern trip. Mr. Herz entertained Winnetka lodge some time ago with a display of his other work.

Mrs. Ogden Cook, 561 Glendale avenue, was hostess to her luncheon bridge club on Wednesday.

Mr. and Mrs. Perry L. Smithers, Jr., have moved from 1152 Hampton-dale road to 829 Foxdale avenue.

—\$—\$—"SAVE YOUR BUCKS!"—\$—\$—

147 FOR SALE—HOUSES

- BAUMANN-COOK**  
 1. EAST KENILWORTH — A NEW LISTING — a perfect house. Red Brick Georgian Colonial, 1 block to lake, close to village and schools, on 100x175 ft. lot. 6 bedrooms, 3½ tile baths, screened terrace overlooking lovely enclosed garden, sunrm. and 2nd floor sitting room. House is in beautiful condition. Call Miss Cook.  
 2. EAST GLENVIEW: A WHITE BRICK English cottage on wooded lot in Glen Oak Acres Section. Large pine panelled living room, dining room, 3 bedrms., 2 baths (1 has shower stall), oil heat. Immediate occupancy. Price \$19,500.  
 3. SUNSET RIDGE: COMPACT WHITE Brick Colonial on lovely wooded 1 2/3 acres, entirely fenced in. Very large square living room, 4 bedrms., 2 baths, gas heat and 2-car att. garage. A house with charm and in a secluded neighborhood, yet close to schools. Price \$38,000. Call Miss Hedberg.  
 4. WINNETKA: 859 BURR. DIGNIFIED living in this attractive home on smartly landscaped 156 ft. lot. 5 bedrms., 3½ baths, brk. room. Excellent heating system, complete Johns-Manville insulation. Call Mrs. Templeton.  
 5. SOUTH EAST WINNETKA: CLOSE to New Trier, Greeley Schools and the lake. Lovely white clapboard colonial on trimly landscaped lot. Lovely panelled library, screen pch., 6 bedrms., 3 tile baths and efficient gas heat and 2-car garage. A charming house with everything in it for comfortable living. Price \$45,000. Call Mrs. Olmsted.  
 6. WINNETKA: ON THE LAKE. A stately Georgian brick on 162x500 ft. 5 master bedrms., all overlooking lake. The appointments are charming and in keeping with the architecture of the house. Conveniently located in the center of Winnetka close to transportation and shopping center. Call Miss Hedberg.

**BAUMANN-COOK**  
 551 Lincoln Avenue Winnetka 3450

**VERY ATTRACTIVE HOME NEAR**  
 New Trier High school has a large living rm., nice din. rm., extra room on 1st floor for a den or bedrm., a "St. Charles" kitchen, porch; 4 bedrms. on 2nd floor, 2 baths; oil B.; 1 car garage. \$27,500.

**A BEAUTIFUL BRICK AND STONE**  
 Beautiful home is in a secluded location with a wonderful view from only 4 blocks from "L" trans. From the attractive foyer are steps down to a lovely living room, and a large library on the other side makes the private extra sitting room so desirable and hard to find. There is also a sun room with a polished slate floor, a brkfst. rm., a scr. porch and a stone terrace overlooking a lovely landscp. yard. The 4 bedrms., on the 2nd floor are spacious and with good closet space. 3 tiled baths; oil B., rec. rm., attach. garage.

**IF NEIGHBORHOOD IS IMPORTANT**  
 then you will like this attractive older home on one of Lake Bluff's loveliest winding roads just one-half block from the lake. There is a large living rm., with a fireplace, a dining rm., kitchen, 3 bedrms. and a bath and the surroundings well warrant enlarging if needed. This house has just been completely redecorated and is ready to move into. \$13,500.

Exclusive Agent  
**FRANCES J. WINSCOTT**  
 414 Linden St. Winnetka 1267

**BRACKETT REALTY**  
 Kenilworth Office

632 Green Bay Rd. Kenil. 6581  
**EVANSTON — CLOSE TO SCHOOLS,**  
 transp., and shopping district. A charming older home on a good size lot. 4 bedrms., 1 bath, oil heat, 2 car garage. Owner transferred. Not over priced at \$17,500.

**ARE YOUR CHILDREN READY FOR**  
 college? They can walk to classes from this large beautifully kept house. It is a real home, freshly painted with new automatic heat; it is a real buy.

**COUNTRY LIVING, YET ONLY 3 BLKS.**  
 from the Milwaukee St. Paul Station. This fine old home has a modern streamline kitchen, is newly painted, and has that useful bedrm. and bath on the 1st floor. 3 bedrms. and bath on 2nd. Only \$15,000.

**UNUSUAL NEW BRICK AND STONE**  
 colonial, 6 rms., 2 baths. Fire pl. in liv. and master bed. Breakfast bay in mod. kit. Sun deck with barbecue. 1 car att., oil heat.

**THE SMARTEST HOME IN TOWN.**  
 New 7 rm., 1½ bath brick. Beautifully decorated deck with barbecue on upper level. Att. garage. You should see this artistic interior.

**GLENVIEW — SMART 5 ACRE COUNTRY**  
 estate. Original 2 story western ranch design, fine construction, 15x32 ft. liv. rm. beaut. fireplace. Floor to ceiling custom windows. 15 ft. din. rm. Lge. terrace. Mod. kitchen, brfst. rm., lib., 2½ baths, 3 family bedrms., area for 4th. Very clever rumpus rm. with bar and massive fireplace. Gas A.C. ht. 2 car gar. Unquestionably a fine value at \$50,000. If in doubt consult your appraiser. Shown by appt.  
**LUCIUS ERSKINE IN GLENVIEW**  
 236 Glenview Rd. Glenview 74

47 FOR SALE—HOUSES

- OPEN SUNDAY, JUNE 13, 2 TO 6, 829**  
 Foxdale, Winnetka. 1st time offered—that ever-so-popular and charming Dutch Colonial in spic and span condn. with extra lge. Liv., good sized Din., Knotty pine Pch. and kitch., tile bath and Pow. Rm., 3 Mstr. bedrms. and extra htd. pch. that could be used as an addnl. bedrm. Auto ht. btflly. landscpd. grd., 2 car gar. Very reasonably priced at \$26,500.  
**OPEN SUNDAY, JUNE 13, 2 TO 6, 1206**  
 Dobson, Evanston. Lannon stn. and Brk. Colonial with auto. air condtn. ht., att. gar. with sun deck. lge. Liv., Din., Cab. kit., Pow. Rm.; 3 bedrms. and tile bath. Wd. burn firepl. built in book shelves. Formica counter tops. Close to shopping, transpntn. and schools. Its a perfect home in a perfect location. Owner transferred—will sell this btfl. home for under \$25,000.

**FOR YOUR CONVENIENCE, THESE**  
 homes may be shown by appt. before Sunday. A little-Big Cape Cod home that has everything; location East Glenview. Liv., Din., cab. kit. and Pow. Rm., scr. terr. pch. off. Din. Rm.; 3 bedrms and bath on 2nd; att. gar., gas AC ht., brick and white clapbd. construction. Walking distance to transp. Poss. is immed.

**OVERLOOKING BAHAI TEMPLE IN E.**  
 Wilmette, 2 blks. to lake, 3 blks. to transp. Lot 60x225, has 35' Liv. lge. din., mod. cab. kit., 3 bedrms. (or 4 if desired), 2 car att. gar. with brfl. 3 rm. guest suite. An excellent home in top location. Priced to sell quickly.

**PERFECT HOME—COUNTRY LIVING**  
 Georgian Colonial of brk. with 2 car att. gar. and terr. pch. L.R., DR., cab. kit., Pow. Rm., 3 bedrms. and 2 baths ideally arranged. Drplms. in LR and Rec. Rm. area. Grounds 200x150 deep. Gas ht. Immed. Poss.!

**APPLETON & COMPANY**  
 1312 Chicago Ave. Wil. 1105

**BAIRD & WARNER, REALTORS**  
 576 Lincoln Ave. Win. Bri. 9001, Win. 2700

**FLOWERS THE YEAR ROUND IN**  
 your own conservatory. Fine 10 room brick Colonial with 4 bedrooms, 4½ baths, maid's suite. Garage in building. Lake view. Quick possession and the price will surprise you. Mr. Rumsfeld.

**KENILWORTH. NEW DISTINCTIVE**  
 7 room 2½ bath home, 4 bedrooms, 1 finished in wood. Can be den. 1 car attached garage. Mrs. Salmen.

**LIVE IN THE COUNTRY WITH YOUR**  
 own friends. Get them together and buy in a group. 10½ acres of wooded, slightly rolling property, setting well back from the road, bordering the forest preserve, near Sunset Ridge Country Club, near Winnetka. There is enough space for from 2 to 5 homes, total price \$25,000. Mr. Rumsfeld.

**WHITE COLONIAL WITH 7 ROLLING**  
 acres of landscaped property, on a knoll at the end of a private road. Fruit and shade trees. There are 4 bedrooms and servant's rooms, playroom, attached garage, Automatic heat. Mr. Rumsfeld.

**SPECIAL TO BUYERS. GET OUR LIST**  
 of exclusive listings in Chicago and Suburban districts. Mailed on request by any of our 10 offices.

**WE WILL ASSIST FINANCING ANY OF**  
 these properties with either an FHA or Life insurance company mortgage.  
**BAIRD & WARNER, REALTORS**

**EVANSTON: STONE AND FRAME**  
 home on large attractive grounds in Evanston's finest residential section; 5 bedrooms; 3½ baths; 3 fireplaces; lovely library on second floor H.W. oil heat; ½ block to Lake. \$35,000.

**EVANSTON: 6 ROOM BRICK COLONIAL,**  
 built 1940, 1½ baths; fireplace, gas heat; steel construction; immaculate condition; 2 car garage. \$24,750.

**EVANSTON: FRAME HOME ON LOT**  
 100x207 5 bedrooms and two baths 2 fireplaces; 2 car garage with side drive; \$17,000.

**EVANSTON: THREE BEDROOM**  
 brick house near Public and Parochial schools, tile bath, gas heat; \$16,750. Owner leaving town, wants offer.

**MORTON GROVE: NEW BRICK HOME**  
 on 75' lot; gas heat; fireplace, 2 large bedrooms and tile bath. Immed. poss. \$17,900.

**SKOKIE: BRICK 3 APARTMENT;**  
 5 rooms and sleeping porch, near transportation and schools; 1 apartment vacant; move right in. A real home and income. \$28,500.

**MILLS & SONS, REALTORS**  
 1318 Chicago Ave. Evanston  
 University 0340 Sheldrake 7470

**NORTHBROOK — SOMETHING DIFFERENT**  
 — You do not like the same house on every lot and neither do we. Drive out and see our 7 plans and 15 designs artistically arranged on a street that will be different. — 4½ rooms to 6 rooms, 1½ baths — \$12,600 to \$16,600.  
 Drive out: Waukegan Road to Shermer (streetlight) West across R.R. to Second Street; South one block to Oak; West 2 blocks to project.

**WYATT & COONS**  
 1030 Waukegan Road Glenview 7  
 Davis 8187 Rog. Pk. 5258

14. FOR SALE—HOUSES

**HERE IS VALUE — NEAR LAKE IN**  
 Orrington sect., owner-built, solid brick, slate fl., 80 ft. lot, 2 car brick gar., 5 bedrms., 3 tile baths, new G.E. oil boiler, tile kit., 18x24 mast. bdrm. with firepl., priv. ba., dressing rm. and slp. pch. Price \$40,000—open to offer. Immed. poss. Call Mr. Landaker.

**GLENVIEW — SPARKLING WHITE**  
 clapboard just 7 yrs. old, in convenient section north of Glenview rd., 3 bedrms., 1½ baths, attractive liv. and din. rms., beau. and fenced yard. Sept. 1st. poss. Pr. \$26,500.

**IMMED. POSS. \$18,500. OUTSTANDING**  
 buy in East Wilmette. Compact 7 rm. home within 3 blks. of shops and transp. 1st fl. bedrm. and pwd. rm.; 3 good bedrms. and bath on second fl. Gas ht. Storm windows and insulation. Call Mrs. Starnes.

**MODERN BRICK — NEW ON MARKET,**  
 very attract. liv. and dinn. rms., tile pwd. rm., brkfst. nk., 3 good bedrms., tiled bath, gas ht., 2 car gar. Excellently located for schls., trans. and lake. Priced at market. Call Mrs. Dameier.

**RAMBLING NEW ENGLAND COUNTRY**  
 home — on 5 acres wooded grounds. White brick and clapbd. 6 yrs. old. 4 bedrms., 2½ baths; den; large scrd. pch.; recre. rm. Deep freeze and Bendix wash. mach. incl. Large fish pool and rustic bridge. Fast transp. to "Loop." Price \$35,000. Call Mr. Larson.

**A COMPACT CHARMING HOME ON**  
 large wooded lot 150x200. Gracious living for a growing family, attract. liv. and din. rms., pwd. rm. and pch.; 3 bedrms., 2 tile baths and den on 2nd.; bedrm. and bath on 3rd. 2 car gar. Close to schls., transp. and shopping. Carpeting included. \$33,000. Call Mrs. Starnes.

**THE BILLS REALTY, INC.**  
 510 Davis st., Evanston Wil. 3740

**WANNER REALTY COMPANY**  
**ATTRACTIVE FRAME HOME IN EXCELLENT**  
 East neighborhood. It has 4 large bedrooms and 2 tile baths on 2nd. floor; Unusual, charming and large living room and dining room, den. It has 2 rooms on the 3rd which if not required provide \$100 a month income. This property will be offered soon at an interesting best value price.

**ANOTHER CHARMING FAMILY HOME**  
 has hard to find 6 bedrooms and 2 tile baths on 2nd. floor. Very large living room, den, music room, dining room and kitchen, location is excellent for transportation, stores, churches and lake. Price reduced for quick sale.

**WILMETTE — FRAME, 4 BEDROOM**  
 house on wooded lot, modern kitchen. Excellent heat; near schools, trains, stores, and churches. Good value for \$19,000.

**SUMMER POSSESSION FOR ATTRACTIVE**  
 4 bedroom, 2½ tile bath home, attached garage, large lot. This new house will be priced under \$40,000. Our representative will give further information in your home or this office. Call for an appointment.

Try our home finding service. Complete listings. Best values selected for your inspection. Financing can be arranged with low interest or maximum mortgages on the above or other properties.

**WANNER REALTY COMPANY**  
 545 Green Bay Road Wilmette 4133

**WILMETTE: THIS ATTRACTIVE HOME-LIKE**  
 Wilmette residence on beautiful corner 65x180 has just been placed on the market by the owner on account of business transfer. In addition to a large liv. rm., 38x15, it has a light cheerful library, five bedrms., two modern tile baths. The price is \$26,000. Gladly shown by appointment and broker cooperation is invited.

**233 WOOD COURT, HERES A**  
 thoroughly well-built sturdy little 6 rm., 1½ bath brick residence that will surprise you. 3 fine large bedrms., each with space for twin beds. Its large living room and sun-room are additional special features you will like. The price is \$21,500 and the owner wants to sell.

**GLENVIEW: 711 FOREST ROAD (1**  
 block So. of Skokie Elec. ½ block So. of Glenview Rd.) Artistic white brick and single residence, beaut. liv. rm. with picture-window, spacious tiled fl., sun rm. lge. bedrms., 2 baths, lavatory. Oil heat. Grounds 64x132. Immed. poss. Price \$28,500.

**HOKANSON & JENKS, INC.**  
 513 Davis Cre. 1617

**HIGHLAND PK. SECTION OF NEWER**  
 homes. 2 sty. home with pvt. pch. det. gar. 27 ft. L.R., Din. Rm., mod. cab. kit., ½ bath on 1st fl.; 2nd fl. has bath and 2 bedrms. (1 formerly 2). Stylish mod. int. decorating, all in excel. cond. Immed. poss. 20 yr. loan avail. \$75 per mo. \$8000 cash will handle. Call for appt. to see Glencoe 2060.

**PRICE \$22,000—FOUR BEDROOMS, 3**  
 porches, yet a compactly planned house in excellent condition. Near schools and transp. Ideal for a family with children. Can be well financed. Very reasonable maintenance costs. Call for an appointment as this won't last long  
**McGUIRE & ORR REALTORS**  
 Rog. 3213 Gre. 1080 Wil. 228

147 FOR SALE—HOUSES

**WILMETTE HOME HUNTERS OF THE**  
 North Shore. Let an organization of qualified and skilled personnel help you find that North Shore home you've been looking for. A wonderful experience it is to have every North Shore home that is for sale at your disposal for an appointment if you should desire. In addition we have a complete building service from the architect to finding the land and to letting the contract. We also arrange your financing. See our list of homes below:

**WILMETTE WEST SUBDIVISION — A**  
 colonial development of sixty gleaming new homes. 6 rms., 3 lge. bedrms., 1½ tile baths, gas heat, att. gar., firepl., cab. kit., lot 55x130. Price only \$21,500. Five ready for occupancy this month. Located at Lake ave. and Laramie, just east of Northwestern University Country Club estates.

**WILMETTE COUNTRY PROPERTY —**  
 7 rms., 4 bedrms., 1 bath. Lot 88x240, additional 250 ft. available. A real buy for those with an eye to country living. \$18,000.

**WILMETTE'S HOME BUY OF THE**  
 week. Near the fine Howard School. Solid brick Dutch colonial having so many wonderful features it must be seen to be appreciated. Spacious and substantial with 7 rms., 1½ tile baths and has H.W. heat, large lot, 2 car. gar. \$26,000.

**KENILWORTH GARDENS ENGLISH**  
 brick, 7 rms., 3 bedrms., 2½ baths, firepl. in rec. rm. Fine buy.

**BEAUTIFUL NEW HOME INDIAN HILL**  
 Estates. 8 rms., 2½ baths, pwd. rm., 2 car att. gar., with beaut. circular staircase. This is an architectural masterpiece.

**NEVINS REALTY**  
 Office Evanston. 1 to 5 p.m.  
 709 Green Bay Rd. Wilmette 4536

**GLENCOE. THE PERFECT HOUSE**  
 Constructed with all the modern features of present-day building. There are 4 BR., 3½ baths, den and panelled rec. room. Location very desirable and price right.

**GLENCOE, PRICE REDUCED ON THIS**  
 fine colonial brick home in choice location of E. Glencoe. Large rooms throughout. 4 BR., 2½ baths, lot size 100x200 are just a few features that make this an exceptional value.

**GLENCOE. PLENTY OF ROOM ALL**  
 on one floor makes this home desirable. There are 5 BR., 3 baths and studio LR. Price reasonable, location perfect, near schools and transp. See this house today.

**HIGHLAND PARK. A SECLUDED SPOT**  
 yet convenient to schls. and transp. 4 BR., 3 baths, new screened porch overlooking beau. wooded area. A good buy, priced at \$35,000.

**VACANT: TWO OWNERS LEAVING**  
 town for the Coast will sell desirable lots at a sacrifice. Call Mr. Lang.  
**LANG REAL ESTATE**  
 712 Glencoe Rd., Glencoe 1971

**GLENVIEW COUNTRYSIDE — \$4,000**  
 down balance like rent will buy this 5 room ranch style home. Gas heat, attached garage, large lot. Close to good transp. Owner transferred. Will vacate immediately. \$12,500.

**LIKE THE COUNTRY? 2 3/4 ACRES —**  
 yet just one block from center of small village and good grocery. Modern 6 room home newly decorated, new hardwood floors, new steel cabinets and sink in kitchen, first floor bedrm. and powder room; 2 other bedrms. and modern bath. full basement, gas heat, garage and barn. Vacant. \$16,750.

**EVANSTON 2 APT. A NICE HOME AND**  
 income. 5 room and bath each apt. Extra large scr. porch on first floor. Large lot. First floor immediate poss. \$18,500.

**INDIAN HILL REALTY CO.**  
 462 Winnetka Ave. Winnetka 165

**GLENVIEW — BRICK, 4 BDRMS.,**  
 bsmt., h.w. heat, 2 car gar. Lge. trees, berries, flowers, etc. Ideal location. \$12,500.

**PLEASANT COUNTRY 7 RM. HOME**  
 on 5 acres. 3 car gar. Chicken hse. and barn. Good location. Owner moving to Calif. \$19,000. Subject to offer.  
**BRICK RANCH, DIN-LIV. COMB., FIRE-PL.,**  
 2 bedrms., tile bath and shower. Auto. gas ht. Lge. lot. \$16,250.

**DOETSCH REALTY CO.**  
 Glenview-Greenwood cor. Glenview 1999.

**PARK RIDGE — FRENCH PROVINCIAL**  
 Lannon Stone. 9 yrs. old. Wooded lot, 50x237. 3 bedrooms, sun room, sun deck, 1½ baths, shower and Detroit Jewel range in basement. Knotty pine recreation room, 2 wood-burning fireplaces. Automatic gas heat, Roper gas stove, G. E. refrigerator, carpeting, drapes. Many extras. Exceptionally beautiful setting. Near all transportation. Owner leaving state. \$27,500. By appt. only. 612 Cumberland Ave., Park Ridge 2101-R.

**1115 LAKE AVENUE-WILMETTE. PARTIALLY**  
 modernized frame on 50x170 feet. Conventional first floor. Four good bedrooms up. Price \$19,000 seller to retain \$10,000 first mortgage. Immediate possession. Ideal for large family. A. S. Van Deusen telephone Wilmette 2310 mornings only.

## Sew-for-Europe Group to Resume; Needs All Workers

The Sew-for-Europe group, resuming work after the holidays, will meet in Room 204 in Community House, Monday, January 10. It is hoped the workers will be out in full force as the need is still desperate, while stories of the pathetic happiness and gratitude of those who have benefitted from even so modest an effort are a constant stimulus to the committee, it announces.

Two indispensable members will be back for the opening meeting. Mrs. Kenneth Cooper is returning from the trip to California she and her husband made to be present at the wedding of their daughter, Nancy. Mrs. Albert Smith is also returning from a holiday visit with members of her family in Indiana.

The committee still begs for more of everything that can be spared from the well supplied homes of Winnetka. Even small pieces of warm materials can be made into children's bonnets, slippers, squares for quilts. Old blankets can be used for fillers in making comforts, with old draperies and what not for covers.

Mrs. Munroe Cole, who is skilled at the somewhat hazardous, and very tedious, job of melting down candle ends for otherwise dark homes in Europe, after negotiating a bushel or more from the fall house-cleaning at Community House, courageously asks for more candle ends.

Industrious workers have about exhausted supplies, so everything is needed — and more workers with them.

## Guest Speaker at Meeting Will Be Psychologist

"The Well Balanced Women", is the topic of an address that will be given by the guest speaker at the January meeting of the North Shore Catholic Woman's League. On Tuesday, January 11, the regular meeting will convene at 2 o'clock at Winnetka Community House. Dr. Miriam Rooney, the speaker for the afternoon, received her Ph.D. degree in psychology at the Catholic University and for a number of years has been on the faculty of Loyola University and Mundelein College as professor of psychology.

Dr. Rooney writes as well as speaks on her favorite subject and is a contributor to current periodicals. Her material is especially interesting to women with families for her training and experience are more than theoretical the league states. She is the mother of five children.

After the lecture the following hostesses will preside at the tea tables, Mrs. Joseph Barnett, Mrs. William McAdam, Mrs. Albert Mahone, and Mrs. D. M. Woodlock.

## Hubbard Woods Girl Is Engaged to Glencoe Man

Mr. and Mrs. Devroe Getman, 1324 Asbury Avenue, Hubbard Woods, this week announced the engagement of their daughter, Ann Catherine, to John (Jack) McIntyre Jr., son of the senior McIntyres, 349 Park Avenue, Glencoe.

Both Miss Getman and Mr. McIntyre are graduates of New Trier High School. Miss Getman is now a student at Lake Forest College and her fiancé is attending Western Michigan College at Kalamazoo.

The couple has made no immediate wedding plans.



"Three Months Behind the Iron Curtain," will be the subject of the talk given by Irving Pflaum when he addresses members of the Junior Auxiliary of the Winnetka Woman's Club on Tuesday, January 11, at 2 o'clock in the afternoon. (Maurice Seymour Photo)

Foreign editor of a Chicago daily and professor of international affairs and law at Northwestern University, Mr. Pflaum was overseas during the war and a radio commentator for seven years.

Luncheon will be at 1 o'clock at the club, and Mrs. Maynard Reuter is in charge of the program for the afternoon.

## Thomas M. Folds Gives First 1949 Program at Club

On Tuesday, January 4, at 2, the art department of the Winnetka Woman's Club presented Thomas M. Folds in a lecture entitled, "Art and Its Connection in Modern Society." The talk was illustrated with colored slides. Mr. Folds is at present professor of art and chairman of the department of art at Northwestern University.

His background dates back to 1930 when he received his B. A. degree from Yale University. Four years later he graduated from the Yale school of fine arts with a B. F. A. Degree.

His professional career has been most varied and interesting. Starting out as a magazine cartoonist, he later became a designer and finally a mural painter. As a designer he made exhibitions on architecture, advertising art, community planning, and painting, and these exhibits in turn were circulated to museums and colleges throughout the country.

Besides being a designer of note, Mr. Folds has written many magazine articles on art and architecture. He is the author-designer-illustrator of the book, "Where Is the Fire," published in 1947.

Shortly after his graduation from Yale, he served as art director of "The Neighborhood House" in New Haven, Conn., then became an English instructor at the Phillips Exeter Academy in Exeter, N. H., and after serving one year in that capacity was made art director of the school. He remained with Exeter until he affiliated with Northwestern in 1946.

Their daughter from Los Angeles, Mrs. R. M. Westbrook, visited the William Tugaws, 919 Elmwood Avenue, Wilmette, for the holidays. Her husband and children accompanied her.

## NEIGHBORHOOD CIRCLES

### Walden Road

The Walden Road Circle will have its next meeting at the home of Mrs. H. H. French, 829 Foxdale Avenue, Winnetka, on Wednesday, January 12. Dessert luncheon will be served at 1 and the assisting hostess will be Mrs. Oscar H. Miller.

### Orchard Lane

Dessert luncheon will be served at 1, when the Orchard Lane Circle meets Wednesday, January 12, in the Winnetka home of Mrs. J. W. Wright, 315 Fairview Avenue. Mrs. Carl Hart will act as assistant hostess.

### Willow Road

On Tuesday, January 11, Mrs. Lawrence B. Sizer, Mrs. Raymond E. Donahue, and Mrs. Philip Sheridan Smith will be hostesses to the members of the Willow Road Circle at Mrs. Sizer's home, 377 Walnut Street, Winnetka. Dessert luncheon will be served at 12:45.

### Pine Street

When the Pine Street Circle meets on Wednesday, January 12, the group will hold its annual white elephant sale. The meeting will be at the home of Mrs. Harry Brown, 1034 Pine Street, Winnetka, and the assisting hostesses will be Mrs. L. Packer Brown and Mrs. John Rice.

### Hill Road

On Monday, January 3, the Hill Road Circle met at the home of Mrs. Leslie Gordon, 38 Indian Hill Road, Winnetka.

### East Elm Street

Dessert will be served to members of the East Elm Street Circle when they meet Tuesday, January 11, at 12:45, in the Winnetka home of Mrs. William G. Struggles, 609 Cherry Street. Mrs. James R. Wilson and Mrs. Milton Domm are the assistant hostesses.

### Oak Street

The Oak Street Circle meeting is being held in Community House, at 1, Wednesday, January 12, and members have been asked to bring favorite household hints. Mrs. Frank Purse will serve as hostess and her assistants will be Mr. William Noble, Mrs. Howard Eckhart, and Mrs. Albert Bridges.

### Hawthorn Lane

The next meeting of the Hawthorn Lane Circle will be held at the home of Mrs. C. H. Fox, 529 Hawthorn Lane, Winnetka, on Tuesday, January 11. The assisting hostess will be Mrs. Austin N. Clark and members have been asked to bring discarded Christmas cards to the meeting.

### Ash Street

The date of the Ash Street Circle's next meeting is Wednesday, January 12, and the place, the home of Mrs. Arthur Gault, 903 Ash Street, Winnetka. The assisting hostess will be Mrs. Thomas Hoyne. This year the circle members are sewing for Children's Memorial Hospital.

### Cherry Street

The Cherry Street Circle will meet on Wednesday, January 12, at the home of Mrs. Henry G. White, 434 Berkeley Avenue, Winnetka. The assisting hostesses for the 1-o'clock meeting will be Mrs. Raymond Runnfeldt, Mrs. Frank Belmont, and Mrs. Karl F. Ockershauser. Members are being asked to bring their prize white elephant with them for the sale which will be held at the meeting.

## HONOR SON'S FIANCEE

A buffet supper and dance was given on New Year's Eve by the Charles Herrick Hammonds of 36 Hibbard Road, Winnetka, in honor of the birthday of Miss Roberta Folonie of Chicago, fiancée of their son, Richard Stout.

## Brave Rain in Curling Togs for Thistles' Meeting

Wednesday, December 29, an opening meeting for the women's curling group at the Skokie Country Club, known as the Thistles, was attended by 26 of the 57 members, and, despite rain, most of them wore their complete curling togs. Later, in the Club's grill room, the group assembled for a picture, taken under the Christmas decoration, which had been made by Mrs. Alan Wallace, 1000 Old Elm Place, Glencoe. It consisted of a huge wreath, ornamented by small brooms and curling caps.

At this meeting, eight skips were announced, and they in turn drew names to make up eight rinks (32 players) and the rest of the list of players were alternates.

Skokie Thistles have a crowded calendar of curling events, which begins with the qualifying playdown for the Glengary event to be held, Monday, January 17. Four days later they will be guests of honor of the Wauwatosa Granites, and will be in Wisconsin for inter-club matches on the Wauwatosa curlers' ice, Friday, January 21. Then on Friday, January 28, the Granites will come to the North Shore with their eight rinks and be the guests of the Skokie Thistles, the Glen View Witches, the Indian Hill Squaws and the Exmoor Highlanders. After the play, the clubs will bring their guests to the Skokie Country Club for luncheon.

The week of February 14, will be the playing off of the Skokie Thistle Club championship, and its prize will be a trophy presented by Mrs. Richard Johnston Jr., and Mrs. George L. Erwin Jr., of Glencoe.

In the interim, there will be Skokie's Round Robin, between January 3 and 13, and for these occasions the rinks are formed as follows:

### Skips

Mrs. W. E. Bolton, Glencoe; Mrs. H. A. Brainard, Glencoe; Mrs. E. K. Hardy Jr., Glencoe; Mrs. C. B. Hill Jr., Glencoe; Mrs. R. L. Marsh, Glencoe; Mrs. J. H. Pleck, Glencoe; Mrs. S. A. Wells, Glencoe; Mrs. R. G. Wilson, Glencoe.

### Vice-Skips

Mrs. Harris Frazier, Glencoe; Mrs. J. A. Sprowl, Winnetka; Mrs. E. D. Schwantes, Glencoe; Mrs. C. A. Howe, Glencoe; Mrs. R. L. McIlvaine, Glencoe; Mrs. J. M. Coulter, Glencoe; Mrs. N. P. Rickards, Glencoe; Mrs. L. R. Gear, Glencoe.

### Seconds

Mrs. E. G. Wellin, Winnetka; Mrs. C. E. Price, Glencoe; Mrs. W. J. Mundhenk, Glencoe; Mrs. F. C. von Brauchitsch, Glencoe; Mrs. K. C. Brown, Glencoe; Mrs. R. C. Johnston, Jr., Glencoe; Mrs. R. P. McElroy, Glencoe; Mrs. J. G. Culbertson, Glencoe.

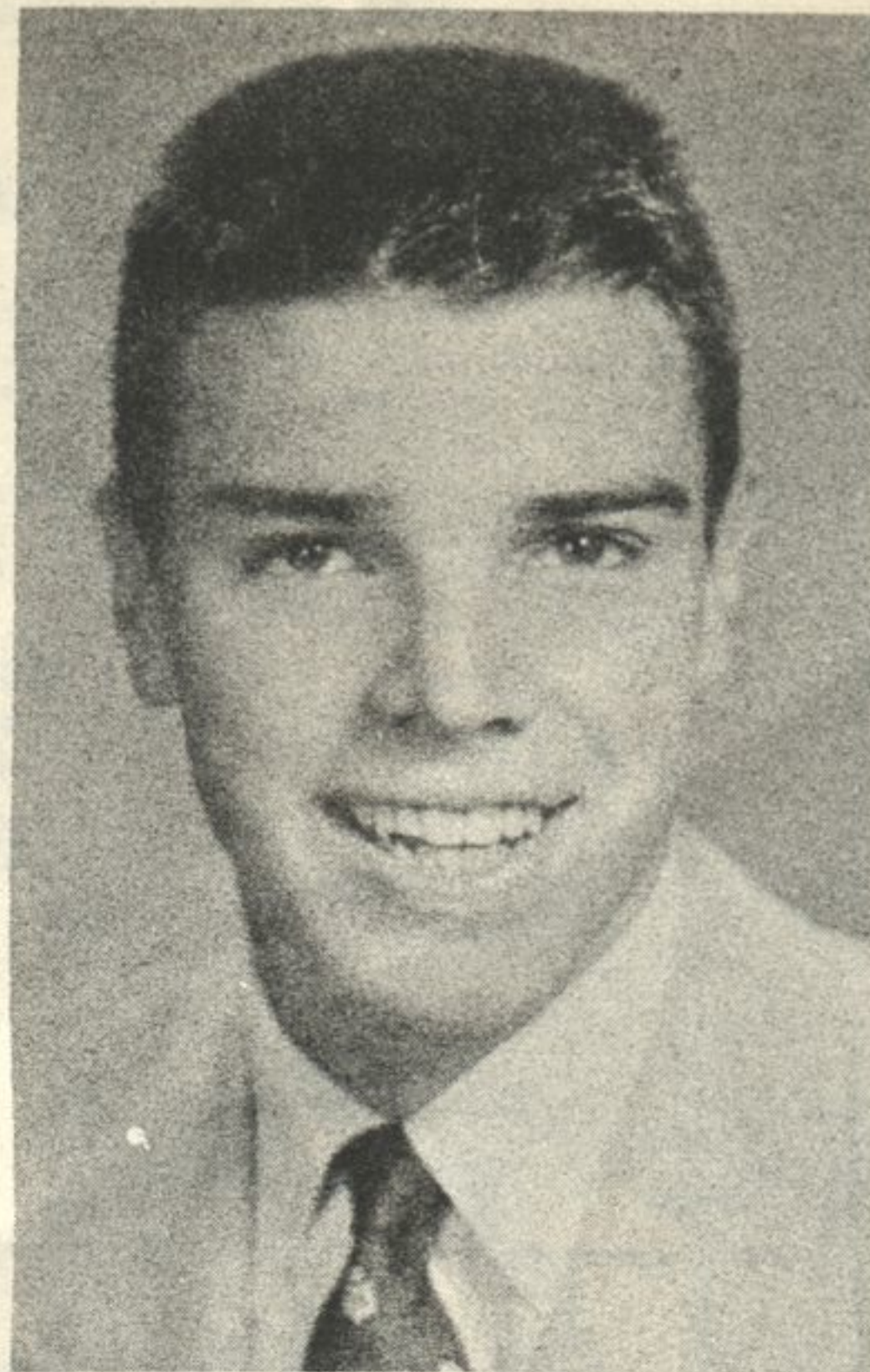
### Leads

Mrs. Ford Stoddard, Evanston; Mrs. W. W. McIlwain, Glencoe; Mrs. J. E. Brown, Glencoe; Mrs. J. H. Goessele, Winnetka; Mrs. J. B. Branch, Evanston; Mrs. Alan Wallace, Glencoe; Mrs. A. W. Bergman, Kenilworth; Mrs. D. C. Gilmartin, Evanston.

Mr. and Mrs. John Gately of Minneapolis, spent the Christmas holidays with his mother, Mrs. Ralph M. Gately, and brother, Michael Gately, a student at Colorado College. During their visit here the Gatelys were guests of honor at a cocktail party given by Mr. Gately's cousin and his wife, Mr. and Mrs. John Bulger, of 1212 Cherry Street, Winnetka.



Miss Barbara Joyce  
Winnетка  
(Wellesley)



Ralph E. Smith  
Wilmette  
(Williams)



Miss Karen Hyett  
Northbrook  
(Stephens)



Edward H. Beitzel  
Wilmette  
(Bradley)



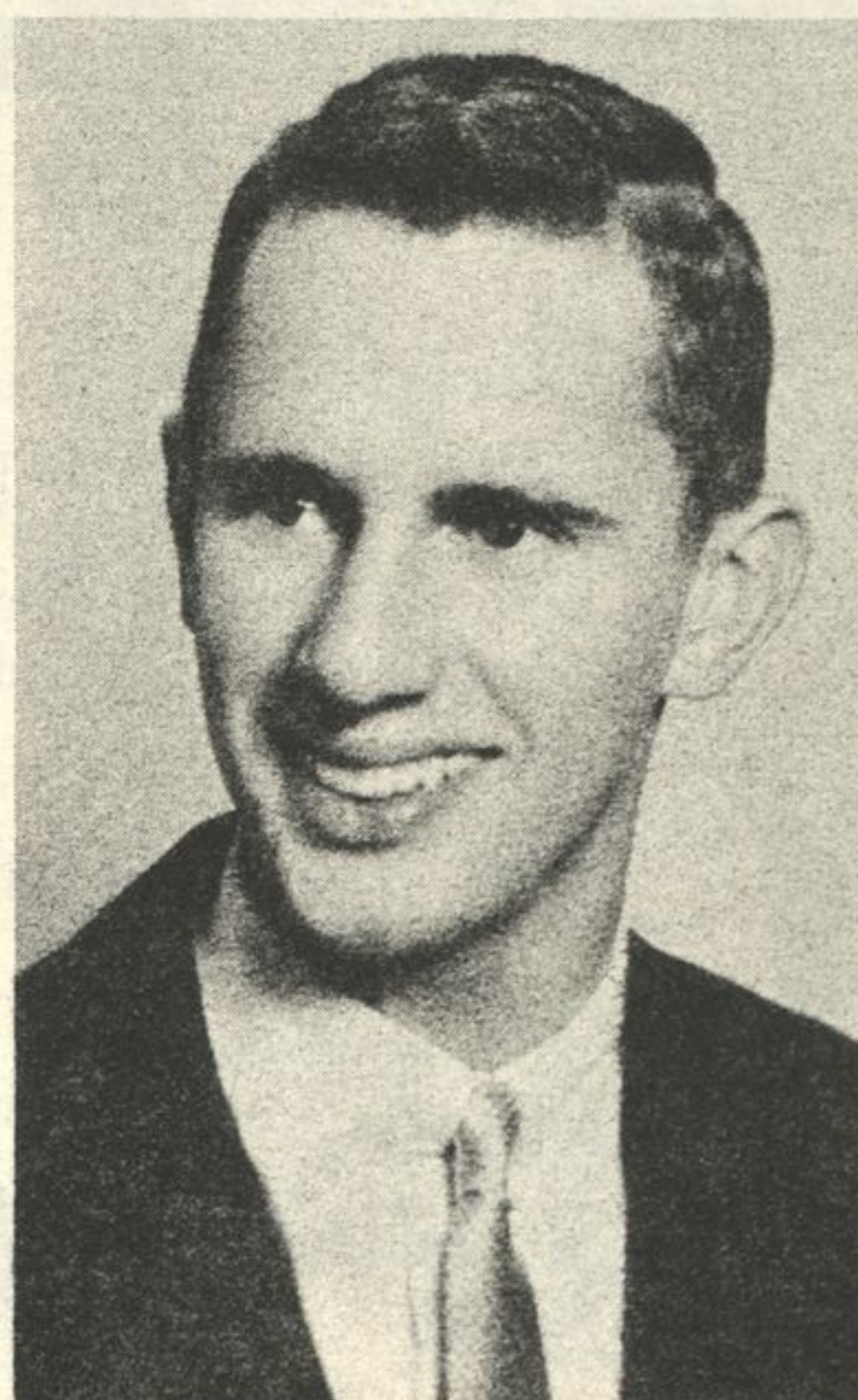
Robert F. Croll  
Glencoe  
(Northwestern)



Miss Calvine Burnett  
Winnетка  
(Vassar)



Miss Nancy Jacob  
Northbrook  
(Stephens)



Donald R. French  
(Winnетка)  
(Miami)



Miss Jane Doolittle, Miss Sylvia Seefurth, and Miss Julie Madden (left to right), all of Winnетка, were photographed at Bradford Junior College, in Bradford, Mass., where they were graduated June 14. Miss Doolittle is the daughter of Mr. and Mrs. John R. Doolittle of 386 Fairview Avenue in the village; Miss Seefurth, the daughter of Mr. and Mrs. N. H. Seefurth, 671 Sheridan Road; and Miss Madden, the daughter of Mr. and Mrs. Frank Madden of 765 Willow Road.

## School Ends with Last Exam, Class of 1954 Comes Home

Final exams behind them, college and university graduates are returning home after completing work at schools throughout the country. The graduates whose pictures appear here, in the second of a series of articles on students from the North Shore area, have a variety of plans for the future, with service in the armed forces and further academic work among them.

Miss Barbara Joyce, daughter of Mr. and Mrs. William S. Joyce of 801 Walden Road, Winnетка, was graduated June 14 at Wellesley College in Wellesley, Mass. Miss Joyce, a New Trier High School graduate, majored in psychology at Wellesley.

Miss Calvine Scott Burnett, daughter of Mr. and Mrs. Muscoe Burnett Jr. of 1170 Hill Road, Winnетка, was graduated June 14 from Vassar College, where she majored in economics and sociology. At Vassar, she was a member of the college choir and was active in Philalethis, the dramatic society.

Ralph E. Smith, son of Mr. and Mrs. Ralph M. Smith of 1120 Ashland Avenue, Wilmette, was graduated June 13 from Williams College. At Williams, Mr. Smith was a member of the varsity cross country team and of the track squad. He was also active in the Williams Outing Club and as a sophomore was a member of the Honor System Committee, student disciplinary body. During his junior year, he was chosen to act as an upperclass advisor to freshmen. He is affiliated with the Phi Gamma Delta fraternity.

Edward H. Beitzel of Wilmette was graduated June 7 from Bradley University in Peoria, Ill. A member of the AROTC unit at Bradley, he received his commission as second lieutenant in the Air Force at commencement ceremonies. He is the son of Mr. and Mrs. Frank J. Beitzel of 736 Twelfth Street, in the village.

Miss Nancy Margot Jacob, who was graduated May 31 with an Associate in Arts degree at Stephens College, is also a Northbrook resident. She is the daughter of Mr. and Mrs. Raymond W. Jacob of 2216 Sunset Ridge Road, in the village.

Miss Margaret Karen Hyett, daughter of Mr. and Mrs. Earl J. Hyett of 8 Timber Lane, Northbrook, was a diplomate May 31 at Stephens College in Columbia, Mo.

Robert F. Croll, of 582 South Avenue, Glencoe, was graduated June 14 from Northwestern University with a bachelor of science in business administration. At the university Mr. Croll recently was elected to Beta Gamma Sigma, the scholastic honorary society for commerce school students. Mr. Croll plans to continue work leading to a master's degree in business administration during summer sessions at Northwestern, and to enter the Yale University law school this fall.

Donald R. French of 829 Foxdale Avenue, Winnетка, was graduated June 7 from Miami University in Oxford, Ohio. Mr. French was awarded a bachelor of science in business.

### EXPECT HOUSEGUEST

Judy Lasky of 206 Sheridan Road, Winnетка, is looking forward to the arrival of her grandmother, Mrs. Freida Waldman, of the Belmont Hotel, Chicago, who is returning from a three months' tour of Europe, on July 1, aboard the S. S. Liberte.

## Dear Mazie:

There has been considerable conjecture around our town about Mollie's D.P.—the young man who is going to help on her farm this summer. His name is Ernest. He's about 20 years old. Nobody knows his real age, name or nationality.

His story, as much as Mollie knows about it from her church affiliates, who were responsible for bringing him over here, is that as a little boy about 6 or 8 years old, he was found living like a savage in a cave in the hills of Poland near the Czech border. Although he bore the marks of having once belonged to a family above the average in living standards—that is, he had been vaccinated and there were some fillings in his teeth (apparently unusual among the peasantry) the little boy could no longer talk, so there was no way of telling from language where he had originally come from. He did not know who he was, or what had happened to his family.

He was taken to an overcrowded camp where stray children were kept during the awful war years. He was in a state of hysteria for a long time, but gradually grew up to show an exceptional I. Q. and to speak several foreign languages in the numerous orphanages to which he was transferred from time to time.

For some reason that I can't fathom, the folks in our town are not so much interested in the wonderful rehabilitation of this waif—the fact that a confused fearful little savage is now a sensible intelligent young man that any family would be proud of. Mostly there seems to be a guessing game going around as to his national background. As if that mattered! I don't know how it started but at a meeting of the Stitches this afternoon I nearly came to blows on the subject.

"Perhaps he's really a Russian," says one who ought to know better." We certainly don't want any Communists around here. "Did you ever hear such a senseless remark?"

"Do you suppose he's a Jew?" was another bright conjecture.

"I don't trust Poles. I had a Polish maid once and she stole my blind." To her, because of one Polish girl, all Poles are thieves.

I remember, some years ago, the Life Magazine, I think it was, ran a double page spread of the faces of men and women and asked the reader to guess the nationality of these people and write it in the space below each face. I worked on it a whole evening and I was certainly chagrined when I turned to the answers to discover that I was about 90 per cent wrong.

The face that I would have said was definitely Irish was some nationality far removed from Irish. The blond, blue eyed faces that looked to be German or Swedish or English—were Russian or Spanish or Italian. The dark heavy featured faces that I put down for Slovak or Latin races, were English and Scandinavian.

I learned then and there that you really can't tell nationality by feature or coloring. We think of Swedes as blond but there are just as many dark haired Swedes in Sweden. We think of Italians as dark but many of them are very fair. There is no mathematical scale of feature or coloring to classify mankind. We are all one species, and although we may vary in our beliefs and opinions according to the culture of our native country, fundamentally there is no difference between us.

It will be a happier world to live in when we all realize this truth.  
Yours 'til next week.

Mitzi

### Report 158 Traffic Accidents in Area During First Quarter

New Trier and Northfield Township villages scored a perfect record of no traffic fatalities for the first three months of 1954, the Cook County Highway Department reported this week. Only one, however, the Village of Golf, had no accident in the first quarter of the year, the report showed.

Reportable accidents (those involving personal injuries or property damage over \$100) were recorded as follows in the three-month period: Wilmette, 57; Winnetka, 43; Glencoe, 12; Glenview, 18; Northbrook, 8; Kenilworth, 9; and Northfield, 11. Total for area, 158. In the county's tabulation, the villages are listed in order of population.

Accidents in which one or more persons were injured were reported as follows: Wilmette, 22; Winnetka, 7; Glencoe, 4; Glenview, 5; Northbrook, 1; Kenilworth, 1; and Northfield, 2. Total for area, 39.

Accidents in which property damage of more than \$100 was reported were as follows: Wilmette, 35; Winnetka, 36; Glencoe, 8; Northbrook, 7; Kenilworth, 8; and Northfield, 9. Total for area, 116.

Sixty-four persons were injured in the 39 accidents in the villages.

### First Move; Then Take Vacation Trip

Gerard L. Hehman, a special representative for Froedtert Malt Corporation, had no sooner moved his family here, to 952 Pine Tree Lane, Winnetka, from Wauwatosa, Wis., in July, when he planned a vacation. Starting out on August 2, Mr. and Mrs. Hehman and their three children, Gloria, 10, Gary, 8, and Michael, age 6, drove to Cincinnati, Ohio, for a week, then to Houston, Texas, for several days,

### NEW IN WINNETKA

The George J. Ronan Jr.s., are former Chicagoans who moved to 829 Foxdale Avenue, Winnetka, on July 18. Their children are Rhonda, age 7, George III, ("GJ") age 5 years, and 16-month-old Keith. Mr. Ronan owns Ronan Midwest Industrial Company.

where they stayed at the Shamrock Hotel. Remaining in Texas, they traveled next to Lost Valley Dude Ranch, at Vandera, and Dallas, before turning homeward, two weeks later.

### 4TH & LINDEN MERCHANTS



# DON'T

## MISS YOUR CHANCE

Just a few days remain for you to take advantage of our GREAT 1954 TWIN SALES. Still many styles of all kinds of furs.

### OKEAN FURRIERS

417 Linden Ave.

Wilmette

### 4TH & LINDEN MERCHANTS



VAGABOND



PLOUANT



ZA ZA



FROM DATE



MOBILE COIF

# The 10 BEST-TRESSED Heads of the Year

Which one will become you most? Any one of these beautiful styles available at

## charles studios

348 Linden Ave.

Air Conditioned

Wil. 1600



COIF PARISIAN



BEAU CATCHER



CONTINENTAL



BACK TALK



ITALIAN BOY



### FOR FALL PAINTING Get the most from your PAINT DOLLAR!

### TERMINAL HARDWARE

411 Linden Ave.

Wil. 2841

### 4TH & LINDEN MERCHANTS



WOMEN'S APPAREL

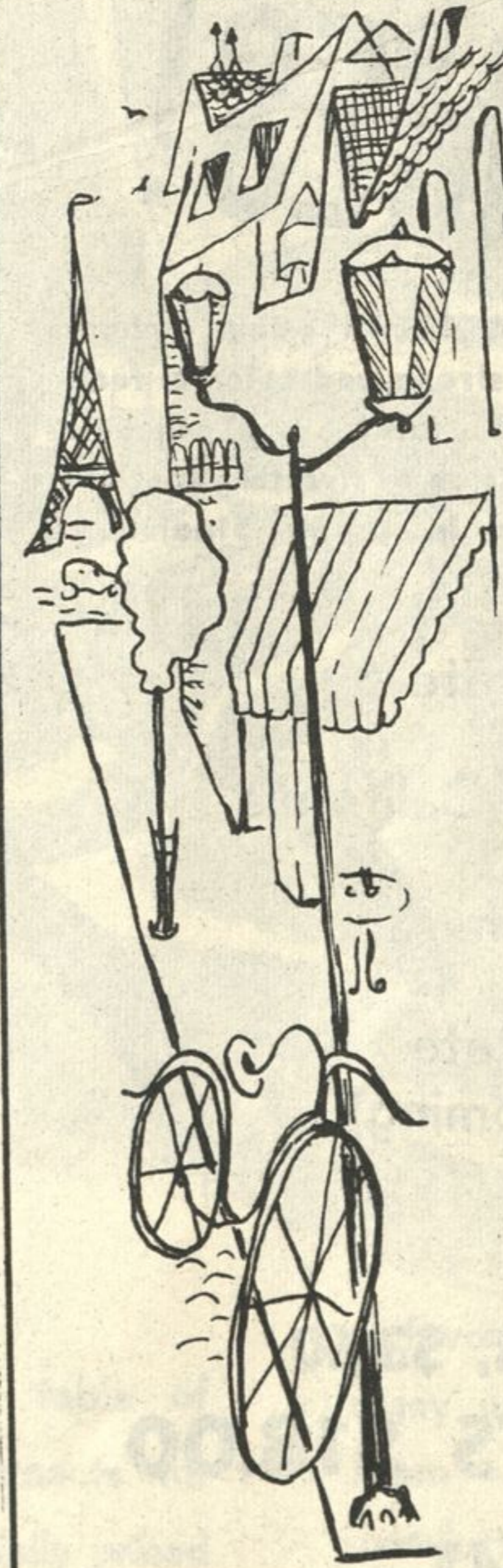
## Fall Fashions...

.. an exciting flash of new fabrics . .  
a look that's elegant but easy . . and  
prices that are wonderfully tiny!  
Come see our collection of the news of  
the season . . featuring everything from the  
new fall coats to the most minute  
accessories.

4th & Linden, Wilmette

Wil. 6693

### 4TH & LINDEN MERCHANTS



## A Personal

invitation  
to you—  
—to see our—

## Brilliant Fall Collection of Millinery

Also Jewelry, Bags, Gloves, Scarfs,  
Hosiery and Handkerchiefs.

Complete Showing Sept. 2

## Marion Halliwell

Millinery and Accessories

Open Wednesdays

405 Linden

Wilmette 5849



**ON OUR COVER** — Jimmy Hall, Douglas Clark, and Susan Schulte are discovering Captain Hook's treasure chest, while the treacherous pirate looks on. Hook's Den, complete with ticking alligator and pirates will be one of the features of the Winnetka Children's Fair this Friday and Saturday on the Village Common. (Berman photo)

## Cover Features Children's Fair

By Mrs. Edward S. Hoffman

President, Winnetka Community Nursery School Board

The end of June is a whisker away, and a band of fanciful characters is about to descend upon the Village Common. The occasion is the 16th annual Winnetka Children's Fair, which this year succumbs to the wiles of Peter Pan and his friends.

The Children's Fair is a benefit for the Winnetka Community Nursery School. In the 17 years since its founding, this school has offered the finest in nursery school education to upwards of 2,000 North Shore children. In addition, its day-care facilities have for many years accommodated children who have required care away from home because of illness or a mother's need to work.

This fall the Winnetka Community Nursery School will offer for the first time nursery school education for the mentally or emotionally handicapped child. The new program will be financed almost entirely by funds from the Children's Fair.

The nursery school board feels this pioneering venture can serve as a model for nursery schools throughout the country interested in helping the increasing numbers of mentally, perceptually, or emotionally handicapped young children. Your generous support of past fairs has made it possible for us to organize the new, Threshold Group. We should like you to have a part in its future.

Do, then, consider this a special invitation from the nursery school board to join us and Peter Pan Friday and Saturday on the Village Common.



Mrs. Hoffman

## Citizens' Group Will Study Needs Of New Trier H.S.

(Continued from page 3)

facts could come up with anything but the best educational proposal.

The 20 to 25 committee members will be selected on a village basis, with the number in each village proportional to the number of village home sites.

### Qualifications for Committee

Suggestions for committee members will be solicited from civic leaders, including village officials, elementary school board members, and parent groups. Qualifications set by the New Trier board include objectivity, reasonableness, availability, and being widely known and respected.

The committee will elect its own chairman, and will decide whether to open its meetings to the public. Board member Charles R. Kaufman said he doubted committee meetings would be open.

With the committee report not expected until Nov. 1, a school-expansion referendum would have to wait until after Christmas, Pres. Marshall Long said. He also said the board has an open mind, and that resubmitting its original proposal is not out of the question.

### Public Relations Failure

One of the major reasons the May referendum was defeated, Mr. Long said, was a failure by the board to communicate effectively with the public. Overcoming this would rally public support behind the expansion proposal with the greatest educational potential, the president feels.

Presumably, other objections voiced by many residents, including cost of a second school and fear of a comparatively poor quality second New Trier, could conceivably be overcome by better public relations.

The president's concern about good public relations was apparent when, during preliminary consideration Monday of next year's budget, Mr. Long recommended holding tax rates steady by deleting two items generally conceded to be desirable but not vital—the working cash and new building funds.

### GETS DEGREE

A bachelor of arts degree in elementary education was conferred upon Mrs. Jacquelyn Ring at the spring quarter commencement of Colorado State College. Mrs. Ring is the daughter of Mr. and Mrs. Henry J. Koukal, 1334 Canterbury lane, Glenview. Mrs. Ring and her husband, Robert, live in Louisville, Colo.

## Winnetka To Try Opening Hall Later

Beginning July 1 the Winnetka village hall will open at 8:30 a.m., half an hour later than usual, for a two-month trial period.

The 5 p.m. closing time will be continued. Offices are closed all day Saturday.

Village Manager Lee Ellis said the late opening was adopted by the village council to put Winnetka in a more competitive position for hiring office personnel.

The only other North Shore village hall opening at 8 a.m. is Wil-

mette's, according to Mr. Ellis, and most private employers of office personnel in this area have abandoned early starting hours.

He said a three-month survey conducted during different times of the year showed an average of one customer a day calling at the village hall between 8 and 8:30 a.m.

Emergency telephone calls coming to the village offices are automatically routed to the police department, Mr. Ellis said.

## NOBLE'S HARDWARE

AND

## GARDEN SUPPLIES

902 Linden, Hubbard Woods, Winnetka

See Noble's

# BAR-B-QUE ACCESSORIES

Free Prompt Delivery

Hillcrest 6-0871

CUSTOMER PARKING IN REAR

The  
**NORTH SHORE  
LAUNDRY &  
DRY CLEANING  
CO.**

566 CHESTNUT STREET, WINNETKA  
PHONE Hillcrest 6-0602

### For Dependable Service

A phone call will bring a North Shore Laundry driver to your door . . . when he returns, your clothes will be sparkling clean.



## OK Half-acre Zoning for 'Hibbard'

Half-acre zoning for the "Hibbard property," bounded by Chestnut, Birch, and Mt. Pleasant streets and Willow road, was approved Monday by the Winnetka Village Council.

The tract, formerly zoned at one-third acre, has been the subject of several public hearings in the past months. The zoning commission had recommended upgrading, even though the sideyard and setback restrictions of half-acre zoning will apply to the property. It can still be developed as it was originally platted in 1891—at 43/100 acre.

The council also approved two zoning variations. One will allow the Illinois Bell Telephone Com-

pany to build a 100-foot radio tower behind its building on Oak street. The other permits conversions of the Ellis heating building at 840 Green Bay road to a medical center.

A request by M. F. Dunne for a zoning variation for property in the White Oak subdivision was turned down.

### MOVE FROM EVANSTON

Mr. and Mrs. William L. Powell and their 2-year-old daughter, Mary, have moved to 829 Foxdale avenue, Winnetka, from Evanston. Mr. Powell owns William L. Powell Insurance Agency, Chicago.

# CHICKEN VILLAGE

Serving the North Shore for 6 Years

Added for Your Convenience

NEW  
FEATURE

# PIZZA

NEW  
SERVICE

ALL VARIETIES

FREE QUICK DELIVERY

Complete Carry Out Dinners

HOURS: Tues. thru Thurs. 12 - 10 p.m.

Friday & Sat. 12-12 Midnight, Sunday 12-10 p.m.

CALL NOW: **VERNON 5-1734**

687 Vernon Ave.

GLENCOE



## Day of Your Dreams..and Then?

Big church, little church or home, it all comes to the same thing—the day of days!

When the vows are said, when the cake's all divided, when the last guest is greeted, when the honeymoon's begun and ended, one day you wake up and find there are other married people all around you.

What then? Life, of course. And one of the best preparations is to open a checking account at a local bank. It will simplify money matters, give you an added sense of belonging, of stability. And you needn't wait for "The Day"; a fine time is right now.

Tuesday through Friday, 8 to 2; Saturday, 8 to 12.



## The FIRST NATIONAL BANK of WINNETKA

739 Elm Street EAST of the Railroad

Member Federal Deposit Insurance Corporation—Federal Reserve System

VILLAGE OF WINNETKA, ILLINOIS  
DEPARTMENT OF COMMUNITY DEVELOPMENT

DEMOLITION APPLICATION



Permit No. \_\_\_\_\_

Property Information

Site Address: 829 Foxdale Avenue

Parcel Identification Number(s) (PIN): 05-17-401-009-0000

Description of all structures to be demolished: Main House & Detached Garage

Current Property Owner Information

Legal Name: Deanna L. Nied Revocable Trust

Co-Trustees: Deanna L. Nied & Stephen D. Nied

Primary Contact: Deanna & Stephen Nied

Address: 833 Foxdale

City, State, Zip: Winnetka, IL 60093

Phone No. \_\_\_\_\_

Email: \_\_\_\_\_

Date owner acquired property: ~~03/08/2025~~ 8 July 2024

Applicant Information

Legal Name: Hackley & Associates, Architects

Primary Contact: Ted Dunn & Chip Hackley

Address: 440 Green Bay Road

City, State, Zip: Kenilworth, IL 60043

Phone No. 847-853-8258 x102

Email: ted@hackleyarchitects.com

Applicant's relationship to current property owner: Architects

*(As previously noted, if contract purchaser, attach copy of executed purchase agreement)*

Demolition Contractor Information *(If known, otherwise indicate "not known at this time")*

Legal Name: To Be Determined

Address: \_\_\_\_\_

City, State, ZIP: \_\_\_\_\_

Phone No: \_\_\_\_\_

Email: \_\_\_\_\_



**Property Maintenance Requirements**

During processing of the demolition permit, the owner and contractor must maintain the property in accordance with the Village Property Maintenance Code to avoid generation of nuisances. Accordingly, the following minimum requirements shall be adhered to:

- Grass shall be mowed and maintained at a height not to exceed 8 inches.
- Garbage, yard waste, miscellaneous rubbish, mail, and debris shall be removed from the property and not allowed to accumulate.
- Building(s) shall be secured (doors and windows in working order, closed and locked).
- No demolition or removal of building components may commence until the demolition permit has been issued. Commencement of demolition prior to issuance of permit will result in a Stop Work Order and double permit fees for all subsequent permits
- Approved tree fencing protections must be installed as directed by Village Forester prior to commencement of demolition. Lack of tree fencing will result in Stop Work Order and fines.

**Applicant/Owner Acknowledgments**

By execution of this application in the space provided below, the Applicant and Owner(s) do hereby certify, acknowledge, agree and affirm to the Village of Winnetka that:

1. The Village and its representatives have the right, and are hereby granted permission and license, to enter upon the property for purposes of conducting any inspections that may be necessary in connection with this application.
2. I (We) have carefully read this application, the applicable sections of the Winnetka Municipal Code and fully understand the applicable terms and provisions.
3. I (We) waive any rights to exemption from disclosure under the Illinois Freedom of Information Act of any and all documents and information submitted in connection with this application.
4. I/We hereby agree to demolish the above structure or portion thereof, in accordance with the information submitted herewith and in strict compliance with all provisions of the Building Code and other related ordinances and regulations of the Village of Winnetka, and I/We hereby consent to inspection of the work during demolition and to the responsibility of maintaining the subject site and adjacent public and private properties in a good, safe and clean condition, including but not limited to the "Property Maintenance Requirements" listed in the previous section.
5. I (We), in accordance with the requirements of the Annual Fee Resolution and the Winnetka Village Code agree to pay all applicable filing fees and be responsible for the payment of all reimbursable expenses associated with the processing of this application.

Signature of Applicant:  Date 3/14/2025

Print Name & Title: TED DUNN - HACKLEY & ASSOCIATES ARCHITECTS

Signatures of Property Owner(s)  Date 3/13/25

Print Name & Title: Deanna Nied, Trustee Property Address: 829 Foxdale Ave, Winnetka, IL 60093

\*\*If more than one applicant or property owner, please copy this page and have additional applicants/property owners sign form.

March 14, 2025

Village of Winnetka  
Community Development  
510 Green Bay Road  
Winnetka, Illinois 60093

Re: Demolition Timeline, 829 Foxdale, Winnetka, IL 60093

**Proposed Timeline**

Demolition Start Date: June 1<sup>st</sup>, 2025

Demolition Completions Date: June 30<sup>th</sup>, 2025



# ATTACHMENT E

**From:** [REDACTED]  
**To:** [Planning](#)  
**Subject:** Case NO. 25-07-HPC 829 Foxdale Ave  
**Date:** Monday, April 21, 2025 1:53:38 PM

---

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Planning Department,

I am requesting the full background information on the demolition request for 829 Foxdale Ave. Further we significantly oppose any demolition of this property until a new grading and drainage plan can be implemented for this lot preventing flooding of our property at 848 Lincoln Ave.

Our property 848 Lincoln Ave partially adjoins 829 Foxdale in the rear and already experiences regular flooding during the lightest rains with the existing structure on 829 Foxdale. Any demolition of this structure without regrading and installation of storm drainage will only exacerbate the flooding we already experience and that the previous owner of 829 Foxdale refused to address.

Please forward all information. We also will be making a public statement on May 5 strongly opposing the demolition without the engineering and drainage plans demonstrating how the flooding issue will be addressed.

Respectfully,  
Joshua and Julie Pagliaro

--

Josh Pagliaro  
[REDACTED]



# MEMORANDUM VILLAGE OF WINNETKA

## COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** HISTORIC PRESERVATION COMMISSION  
**FROM:** CHRISTOPHER MARX, AICP, ASSOCIATE PLANNER  
**DATE:** MAY 1, 2025  
**SUBJECT:** 326 RIDGE AVENUE - HISTORICAL AND ARCHITECTURAL IMPACT STUDY (CASE NO. 25-03-HPC)

|   |  |
|---|--|
| <b>INTRODUCTION</b>                                 |  |
| Meeting Date  | May 5, 2025  |
| Commission Action                                   | <b>Determine (1) whether the HAIS is complete; (2) whether the proposed demolition will have a significant negative architectural or historical impact on either the Village as a whole or on the immediate neighborhood; and (3) whether demolition should be delayed in order to explore alternatives to total demolition.</b> |
| Historic and Architectural Impact Study (HAIS)      | Prepared by Guarino Historic Resources Documentation (the "Consultant") and dated March 21, 2025. The Consultant's conclusions regarding their evaluation of the structure's historic and architectural significance can be found on pages 16-17 of the HAIS. (See Attachment A).  |
| Preliminary Historical and Architectural Review     | March 3, 2025, by a vote of 5-0, required submittal of HAIS.   |
| Property Address                                    | 326 Ridge Avenue (See Attachment C – Aerial Map)   |
| Property Owner                                      | Patrick Casey Magner and Jacqueline Mitchell Magner  |
| Application Submitted by                            | Patrick Casey Magner and Jacqueline Mitchell Magner  |
| Mail Notice Sent to Property Owners within 250 feet | Completed  |
| Newspaper Notice                                    | The meeting was properly noticed in the <i>Winnetka Talk</i> on April 17, 2025.  |
| Public Comments as of Date of Memo                  | As of the date of this memo, no comments have been received from the public regarding this application.  |
| Winnetka Historical Society (WHS) Comments on HAIS  | WHS finds the HAIS complete and agrees with the HAIS assessment that the house maintains exceptional historical and architectural significance. (See Attachment B).  |
| <b>PROPERTY DESCRIPTION</b>                         |  |
| Size  | 0.36 acres   |
| Location  | West side of Ridge Avenue between Mt. Pleasant Street and Willow Road  |
| Improvements  | Single-family residence with a detached garage coach house   |
| Zoning  | R-4 Single Family Residential  |

|  |  |
|--|--|
| Surrounding Zoning   | R-4 Single Family Residential to the north and south, R-3 Single Family Residential to the west, R-5 Single Family Residential to the east across Ridge Avenue   |
| <b>PROPERTY HISTORY</b>  | See Attachment D, Preliminary Property History<br>See Attachment E, WHS Research   |
| Constructed  | Approximately 1872, according to WHS research  |
| Additional Construction Activity   | 1929 - Alteration to residence, 1941 - Move and alter two-story frame accessory building, 1941 - Alter and add to two-story frame single-family dwelling (alter interior of garage portion and attach accessory building to main building), 1976 - Remodel kitchen of single family residence, 1978 - Construct sun deck addition to single-family residence, 1981 - Build a detached shed, 1990 - Rebuild closets, install bay window |
| Illinois Historic Structure Survey Listing   | Yes  |
| Winnetka Historical Society (WHS)  | WHS research indicates that the property has architectural and historical significance in both the main house and accessory coach house. See attached report from the WHS provided in Attachment E for details.  |
| <b>NEIGHBORHOOD CONSTRUCTION ACTIVITY</b>  |  |
| Other Permits for New Primary Structures on Same Block (either side of the right-of-way block face and/or along the alley) | None   |
| Director's 60-Day Delay Due to Construction Activity   | Delay is not necessary to prevent undue congestion and noise impacts in the neighborhood.  |
| New Construction or Site Restoration Plans Submitted   | No building permit application for a new single-family home or site restoration has been submitted at this time.   |

**DEMOLITION AND HISTORIC PRESERVATION**

The Commission may order the issuance of a demolition delay of a historic or architecturally significant structure for up to but not exceeding 270 days from the date the Commission determines that an applicant is required to submit an HAIS for the structure the applicant wishes to demolish.

If after reviewing the HAIS the HPC determines the home is significant and a delay should be issued, at that time **the Commission may issue a demolition delay up to but not exceeding 270 days from November 28, 2025.**

**COMMISSION REVIEW**

In making its determination regarding the historical and architectural impact of the subject property, the Landmark Preservation Commission shall consider the following:

- a. the historic and architectural impact study prepared pursuant to the foregoing Section 15.52.050;
- b. the preliminary property history study prepared pursuant to Section 15.52.040;
- c. comments of the Winnetka Historical Society on the application and study; and
- d. any other information, comment or evidence received by the Commission at the impact determination meeting or at the preliminary review meeting.

**Prior to making a determination, the Commission must first determine if it finds the Historical Architectural Impact Study (HAIS) complete.** If the HPC determines that the HAIS filed by the Applicant is incomplete or otherwise insufficient to enable the HPC to make a determination as to the impact of the proposed demolition, the HPC may direct the Applicant to complete, amend or supplement the report and may continue the impact determination meeting pending the Applicant's filing of a complete application.

**If the Commission does find the HAIS complete, a Commission member may make one of the two following motions (a) the Building and/or Property Lacks Sufficient Historic or Architectural Significance or (b) Delay of Demolition:**

**Building and/or Property Lacks Sufficient Historic or Architectural Significance**

The Commission finds that the Historical Architectural Impact Study (HAIS) for 326 Ridge Avenue prepared by Guarino Historic Resources Documentation is complete and that the proposed demolition **will not** have a significant negative architectural or historical impact on either the Village as a whole or on the immediate neighborhood. **Based upon these findings, the demolition may proceed without a delay.**

**Delay of Demolition**

The Commission finds that the Historical Architectural Impact Study (HAIS) for 326 Ridge Avenue prepared by Guarino Historic Resources Documentation is complete and that the building or structure is considered to be historically or architecturally significant as it meets one or more of the following standards ***[Commission member should note which of the following standards should be included in the motion]:***

- (1) the structure exhibits a high quality of architectural design without regard to the time built or historic associations;
- (2) the structure exhibits a high quality of architectural design that is not the result of a change or a series of changes in the original structure;
- (3) the structure exemplifies an architectural style, construction technique or building type once common in the Village;
- (4) the structure exhibits an unusual, distinctive or eccentric design or construction technique that contributes to the architectural interest of its environs as an accent or counterpart; or
- (5) that the property has been designated a landmark pursuant to Chapter 15.64 of the Village Code, has been included in the most recent Illinois Historic Structure Survey conducted under the auspices of the Illinois Department of Conservation, or has been listed on the National Register of Historic Places or the Illinois Register of Historic Places

The Commission finds that the proposed demolition will have a significant negative architectural or historical impact on either the Village as a whole or on the immediate neighborhood due to the following architecturally or historically significant aspects of the structure:

1. ***[Commission member to fill in]***

2. \_\_\_\_\_

Preservation alternatives to the demolition of the structure include:

1. ***[Commission member to fill in].***

2. \_\_\_\_\_

**Based upon these findings, the demolition must be delayed for a period of up to 270 days from March 3, 2025, in order to explore alternatives to total demolition. Demolition of the structure may not occur prior to November 28, 2025.**

## **ATTACHMENTS**

- Attachment A: HAIS prepared by Guarino Historic Resources Documentation
- Attachment B: Historical Society HAIS Comments
- Attachment C: GIS Aerial Map
- Attachment D: Preliminary Property History Study
- Attachment E: Historical Society Research
- Attachment F: Application Materials

# ATTACHMENT A

## HISTORICAL AND ARCHITECTURAL IMPACT STUDY (HAIS):

### THE GEORGE AND JANE HEATH HOUSE AT 326 RIDGE AVENUE WINNETKA, ILLINOIS



Built c. 1872  
Developer: John T. Dale

HAIS PREPARED BY:  
Jean L. Guarino, Ph.D.  
Guarino Historic Resources Documentation  
[REDACTED] | Oak Park, IL 60304  
[REDACTED]<sup>2</sup>  
[REDACTED] | jeanguarino.com

Submitted to the Village of Winnetka on March 21, 2025

## Synopsis of Findings of Significance

The Heath House at 326 Ridge Avenue has exceptional local architectural significance as a rare, and well-preserved, example of an Italianate style house in Winnetka, featuring many hallmarks of this style. Built c. 1872, it also has local historical significance as one of the oldest houses in the Village, and as one of three extant houses built by John T. Dale (1841-1914), a prominent real estate developer and civic leader in Winnetka who laid out and subdivided many tracts of land in the Village during the 1870s—including the one in which this house is situated—and is credited with naming many of its streets. Dale lived in Winnetka for over 30 years, during which time he served several terms as Village President (1873-74, 1876-77, and 1884-88). Demolition of this house would have a negative impact on the immediate neighborhood and on the Village, as it would remove a residence dating from the early days of Village development and one that has served as a visual landmark on Ridge Avenue for over 150 years.

### Owners of the house at 326 Ridge Avenue

| Name                                    | Period of Ownership |
|---|---------------------|
| George W. and Jane Heath                | 1873 to 1886        |
| Sanford A. and Minnie Goss <sup>1</sup> | 1886 to 1929        |
| Park and Mary Phipps                    | 1929 to 1950        |
| Jonathan W. and Anne Strong             | 1950 to 1971        |
| James R. Dunlap                         | 1971 to 1975        |
| Charles and Susan Shabica               | 1974 to 2024        |

Property owners were identified through a title search (Cook County Tract Book No. 248D, p. 231) as well as property records on the Cook County Clerk’s website: <https://www.cookcountyclerk.gov/recordings>, U.S. Census research on Ancestry.com, and a review of documents in the building files for 326 Ridge Avenue at the Winnetka Historical Society and the Village of Winnetka.

### George W. and Jane S. Heath

The first owners of the house at 326 Ridge Avenue were George W. Heath (1838-1890) and his wife, Jane Sarah (Wood) Heath (1839-1890), who lived there from 1873 until 1886. George W. Heath was born on November 1, 1838, in Victor (Ontario County), New York, the son David and Emily Sweet. His mother, Emily, died in 1839 at the age of 22. His father married a woman named Miranda Cronk in 1841 and remained in Victor, New York, for the rest of his life. In 1850, the eleven-year-old George Heath was living in Spring Prairie (Walworth County), Wisconsin, where he resided with Silas Patten, a farmer, and his wife Charlotte Patten.<sup>2</sup> The relationship between this couple and the Heath family is unknown.

<sup>1</sup> The family of Roswell and Janet Mason rented out this house for nearly 20 years—from at least 1909 until the late 1920s—which constitutes much of the period in which it was owned by Sanford A. Goss and, after his death in 1915, his wife Minnie Goss. As a result, a biography of the Masons is included below.

<sup>2</sup> Ancestry.com. U.S., Find a Grave Index; U.S. Census for 1850.

George W. Heath married Jane Sarah Wood (1836-1890) on April 11, 1858, in Walworth, Wisconsin, at the age of twenty. The couple had two daughters: Emily (1859-1948) and Ella (1861-1930). The 1860 census shows that Heath then lived with his wife and daughter Emily in Spring Prairie, Wisconsin, where he worked as a teacher. Heath subsequently worked as a teacher at East Troy and Racine, Wisconsin, prior to arriving in Chicago in 1871, where he was appointed Principal of Ogden School on the city's Near North Side and lived at 152 N. Clark Street in the city.<sup>3</sup>



George W. Heath.

An 1872 issue of the *Chicago Evening Post* published an article on the city's public school principals in the aftermath of the 1871 Chicago Fire, which included a paragraph on George W. Heath:

Proudly prominent among the Chicago schools, previous to the conflagration was the Ogden school, on the North Side, which latterly was ruled by Geo. W. Heath, the newest of the Principals. Mr. Heath's incumbency was very brief, he having come to the city only about a year ago; but it was long enough to give promise of very great efficiency. Pre-eminently self-made, possessing sound discretion, gifted with remarkable faculties of instruction, of well-cultivated habits of patient investigation, and a mind well stored with facts on a vast range of subjects, there is no doubt but that he would have not only maintained the reputation of the school, but have added to it new and desirable qualities. Since the fire Mr. Heath has been out of the city, but upon the reconstruction of the North Side's school-houses he will doubtless be recalled.<sup>4</sup>

George Heath moved his family to Winnetka following the Chicago Fire, purchasing the newly constructed Italianate style house at 326 Ridge Avenue from John T. Dale on April 12, 1873. The Chicago Board of Education reappointed Heath as Principal of Ogden School in the same year, a position that he retained for the remainder of his career. The 1880 U.S. Census shows that George and Jane Heath then resided in the house at 326 Ridge Avenue with their two daughters and Jane's sister, Eliza Holmes.<sup>5</sup>

The Heaths sold their Winnetka property at 326 Ridge Avenue in 1886 and relocated to a residence at 610 Lincoln Avenue in Chicago, which was closer to Ogden School. George W. Heath died of pneumonia on February 16, 1890, at the age of 52. His funeral—held at the New England Congregational Church at Dearborn Avenue and Delaware Place—was attended by 1,000 students of the Ogden and North Division schools of Chicago, who filled the galleries, while the main body of the church was “crowded to the doors.” Pallbearers were comprised of Principals from six Chicago schools. President Beale of the City Board of Education spoke of the

---

<sup>3</sup> Ancestry.com. Wisconsin, U.S., Marriage Index, 1808-1907; U.S. Census for 1860 and 1870; Chicago City Directory for 1871.

<sup>4</sup> “Something Personal of the Principals who Sway the Destiny of Our Schools,” *Chicago Evening Post* (8 April 1872).

<sup>5</sup> Cook County Tract Book 248D, p. 231; “Board of Education: List of Teachers Elected for the Ensuing Year.” *Chicago Tribune* (28 June 1873); U.S. Census for 1880.

“high regard in which [Heath’s] official life and work were held by the board.” Jane S. Heath died on December 28, 1890, at age of 54. Her death notice in *The Inter Ocean* simply noted that she died at Burlington, Wisconsin, but did not specify a cause.<sup>6</sup>

### **Sanford A. and Minnie Goss**

The property at 326 Ridge Avenue was owned by Sanford A. Goss from 1886 until his death in 1915, after which time it was owned by his third wife, Minnie Goss, until 1929. Sanford A. Goss (1853-1915) was born in 1853 in Hardwick, Vermont, the son of farmer Charles W. Goss and Lucia Goss. He had deep roots in Vermont, as all his ancestors came from various villages in the state. Goss graduated from the Vermont Methodist Seminary and Female College in Mount Pelier, Vermont, in 1873, the year that he married Mary A. Boynton (1855-1883), also of Hardwick. In 1880, Sanford and Mary Goss lived with Mary’s father in his house in Hardwick.<sup>7</sup>

Sanford Goss relocated to Chicago at some point in the early 1880s, where he worked for J.F. Temple & Sons, manufacturers of plumbing supplies, and served as vice president of that company until 1885. While with this company he invented the Goss rubber bucket for chain pumps used extensively throughout the country. Goss filed for divorce from his first wife on February 19, 1883, on the grounds of desertion. The divorce was granted on April 10, 1883, and Mary A. Goss died in Vermont in July 1883 “after a long and painful illness.”<sup>8</sup>

Sanford Goss married Mary S. Walker (b. 1854) on December 5, 1883, in Lawrence, Massachusetts. The couple had a daughter named Mary, who was born in 1887, the year that Sanford Goss was appointed deputy sheriff of Cook County, a position that he held until at least 1900. He served as Judge A.N. Waterman’s personal court deputy. Goss obtained a divorce from his second wife in 1897, on the charge that she committed adultery, and was awarded full custody of their daughter. A news article on the case noted that the couple had “lived in Winnetka for the last two years.”<sup>9</sup>

In 1900, Sanford A. Goss lived with his 12-year-old daughter Mary in a rental house in Wilmette, according to the U.S. Census for that year. He also had a farm in Montpelier, Vermont, where he returned often to visit. On one such visit, he met Minnie Sanborn (1861-1943) of Bethel Vermont. The couple married on July 19, 1900, and immediately moved to Goss’s house in Winnetka, as noted in their Vermont wedding announcement, which stated: “Mr. Goss has a residence in Chicago and also one a few miles out of the city at Winnetka. They will make the latter place their home in the spring.” Minnie Goss retained her house in Bethel, where

---

<sup>6</sup> “Prof. George W. Heath.” *Chicago Tribune* (17 February 1890); “Funeral of Prof. George W. Heath.” *Chicago Tribune* (20 February 1890); “Heath,” *The Inter Ocean* (29 December 1890).

<sup>7</sup> U.S. Census for 1870 and 1880; Ancestry.com, U.S., School Catalogs, 1765-1935; “Marriages,” Lamoille Newsdealer (Hyde Park, Vermont) (7 January 1874).

<sup>8</sup> “A Quiet Wedding,” *The Bethel Courier* (Bethel, Vermont) (26 July 1900); “Divorces,” *Chicago Tribune* (20 February 1883); *Chicago Tribune* (11 April 1883); “Hardwick,” *The St. Johnsbury Index* (St. Johnsbury, Vermont) (12 July 1883).

<sup>9</sup> Ancestry.com, Massachusetts, U.S., Marriage Records, 1840-1915; “Goss Granted a Divorce.” *The Inter Ocean* (25 November 1897).

she intended to spend most of her summer months. In the early 1900s, Goss worked for the real estate office of McGuire & Orr.<sup>10</sup>

Sanford and Minnie Goss rented their house at 326 Ridge Avenue in Winnetka to Roswell Mason (biography below) from at least 1909 until the late 1920s. In 1910, the couple lived with Goss's daughter, Mary, in a house at 731 West Avenue in Wilmette, which they owned. Sanford Goss died in August 1915 at the age of 62. Minnie Goss moved back to Vermont following the death of her husband. The 1920 U.S. Census shows that she lived alone in Orange, Vermont, in that year. Minnie Goss sold the house at 326 Ridge Avenue to the Phipps family in 1929 and she died on December 31, 1943, at the age of 82, in Victory Hospital, Waukegan, Illinois.<sup>11</sup>



House at 326 Ridge Avenue, 1901, showing the original wraparound porch that was later removed.

---

<sup>10</sup> U.S. Census for 1900; "A Quiet Wedding," *The Bethel Courier* (Bethel, Vermont) (26 July 1900).

<sup>11</sup> U.S. Census for 1910 and 1920; Chicago Tribune (28 August 1915); "Sanford A. Goss," *Chicago Tribune* (28 August 1915); "Minnie E. Goss," *White River Valley Herald* (Randolph, Vermont) (13 January 1944).

## **Roswell Bertram Mason and Janet Mason (renters)**

Roswell B. Mason (1873-1934) lived in the house at 326 Ridge Avenue with various family members from at least 1909 until the late 1920s, when he purchased the house across the street at 315 Ridge Avenue. Roswell B. Mason was born in Chicago on February 24, 1873, the son of Edward G. Mason and Julia Starkweather Mason, who had 11 other children. His maternal and paternal grandparents were Chicago pioneers who arrived in the city in the 1830s. He was the namesake of his material grandfather, Roswell B. Mason, who served as Mayor of Chicago from 1869 to 1871, the year of the Great Chicago Fire.<sup>12</sup>

Roswell Mason graduated from Yale University with a B.A. in 1895 and then attended Northwestern University Law School, from which he graduated in 1897. He was admitted to the Illinois Bar in 1897, and from 1899 to 1902 he served as assistant and first assistant Corporation Counsel of Chicago. In 1904, Mason was appointed master in chancery for the Circuit Court of Cook County, a position he held for the remainder of his career.<sup>13</sup>

In 1900, Roswell Mason—then a practicing lawyer—lived with his mother, all 11 of his siblings, and two servants, in a house at 384 Ontario Street in Chicago. He moved to the house at 326 Ridge Avenue in Winnetka at some point between 1900 and 1909 with several family members. His widowed mother, Julia Mason, died in the house in 1909, according to her obituary. The 1910 U.S. Census shows that Roswell Mason—then 37 years old—rented the house 326 Ridge Avenue, where he lived with brother Morris, sisters Edith and Marjorie, and a servant.<sup>14</sup>

Roswell Mason married Janet Warren (b. 1881) of Winnetka on June 29, 1912. Her father, James A. Warren, was vice president of the B.M. Jones company of Boston, an iron importing firm, which maintained a Chicago office. Roswell and Janet Mason had three daughters: Annie (b. 1914), Julie (b. 1919), and Sylvia (b. 1927).<sup>15</sup>

Roswell Mason's address is identified as 326 Ridge Avenue in both the 1917 Winnetka phone directory and on his World War I Draft Registration Card from 1918. The Mason family continued to live in this house until at least 1926, according to the U.S. Census for 1920 and the Winnetka phone directory for 1926. However, by 1929 the Mason family had moved across the street to the house at 315 Ridge Avenue, as evidenced by the Winnetka phone directory of that year. The 1930 U.S. Census shows that Roswell Mason owned this house, where he then resided with his wife, their three daughters, his father-in-law, and two servants.<sup>16</sup>

Roswell Mason died of a heart attack on July 26, 1934, at the age of 61. His obituary noted that, "The family home is at 315 Ridge Avenue, Winnetka." He was a member of the American, Illinois, and Chicago Bar Associations, and the University, Iroquois, and Indian Hill Clubs.<sup>17</sup>

---

<sup>12</sup> U.S. Census for 1880 and 1900; "Mrs. Julia S. Mason is Dead," *Chicago Tribune* (19 September 1909).

<sup>13</sup> "Roswell Mason, Lawyer, 61, Dies of Heart Attack," *Chicago Tribune* (27 July 1934).

<sup>14</sup> U.S. Census for 1900 and 1910; "Mrs. Julia S. Mason is Dead," *Chicago Tribune* (19 September 1909).

<sup>15</sup> *The Inter Ocean* (30 June 1912); "Jas. A. Warren Dies in Evanston Hospital at 82," *Chicago Tribune* (8 January 1934); U.S. Census for 1930.

<sup>16</sup> Ancestry.com. U.S., World War I Draft Cards for Young Men; U.S. Census for 1930.

<sup>17</sup> "Roswell Mason, Lawyer, 61, Dies of Heart Attack," *Chicago Tribune* (27 July 1934).

## Park Phipps Jr. and Mary Phipps

Park and Mary Phipps purchased the house at 326 Ridge Avenue in 1929 and lived there until 1950. Park Phipps Jr. (1893-1980) was born on July 27, 1892, in Lexington, Kentucky, the youngest of three children born to Park Phipps Sr., a prominent attorney, and Nema Phipps. The family relocated to Chicago shortly after Park Phipps Jr. was born and maintained residences in both Hyde Park and Evanston in the early 1900s. Phipps graduated from Northwestern University in 1914. In 1920, he worked as an art teacher in Chicago, where he lived in a rented residence with his mother. His father died three years earlier.<sup>18</sup>



Park Phipps, 1914.

Park Phipps married Margaret Engelhard on June 21, 1927, in New York. Her parents—Mr. and Mrs. George Engelhard—then lived at 1045 Starr Road in Winnetka. Margaret Phipps gave birth to twins (John and Barbara) in 1929, the year that they purchased the house at 326 Ridge Avenue. Park Phipps obtained a building permit on October 23, 1929, for unspecified alterations to cost \$3,500. The changes likely included the removal of the front porch which had previously been altered/extended to the north to create a porte-cochere, as shown in the historic photograph below from 1929.<sup>19</sup>



House at 326 Ridge Avenue, 1929.

<sup>18</sup> "Park Phipps," *Lexington Herald-Leader* (Lexington, Kentucky) (22 August 1897); Ancestry.com. U.S., School Yearbooks, 1900-2016; U.S. Census for 1920.

<sup>19</sup> *Chicago Tribune* (3 July 1927); U.S. Census for 1930.

The U.S. Census for 1930 shows that Park and Mary Phipps lived in the house at 326 Ridge Avenue—which was then valued at \$18,500—with their two children, Margaret’s mother, a lodger, and a servant. Phipps worked as a commercial artist for the remainder of his career, and he also served in the 1940s as head of the Department of Advertising and Printing Design at the Art Institute School in Chicago.<sup>20</sup>

Park Phipps obtained a building permit on July 11, 1941, to move the original barn behind the house. He had it flipped from its original east-west orientation to its current north-south orientation. A building permit obtained by Phipps on December 22, 1941, shows that he hired architect L. Morgan Yost to renovate the building to its current appearance as a two-story coach house, incorporating a two-car garage. An illustrated article on this renovation written by Yost was included in the November 1946 issue of *Better Homes and Gardens*, the text of which is below. See the “Supplemental Materials” section of this report for a copy of this article with photographs.

In 1929, Mr. and Mrs. Park Phipps of Winnetka bought a substantial Victorian house on a large piece of property. In one corner of the lots stood a barn, unused. They wanted to remodel it into a guest house, but for fifteen years the barn just stood and deteriorated.

Then I was called in as architect to plan the remodeling. Plans were drawn, but much was left undecided because Mr. Phipps was constantly picking up materials and millwork—an old balustrade, for example, or a door. I dropped by when needed. Carpenters and masons did the exterior work, while Mr. Phipps did the interiors.

Because zoning laws prohibit two houses on one lot, the barn was moved and connected to the house by a bridge. Now guests or visiting relatives feel included in family activities, yet are provided the extra privacy of their own living room, bedroom, and bath, and their own dining room with its compact kitchen and sitting porch overlooking the garden. It’s a fine solution for the doubled-up family.<sup>21</sup>



View of barn at 326 Ridge Avenue, 1929, prior to its 1942 conversion to a coach house.

<sup>20</sup> U.S. Census for 1930; “Savings Staff Drafts Artists,” *Winnetka Talk* (9 April 1942).

<sup>21</sup> L. Morgan Yost, “This Was a Barn,” *Better Homes and Gardens*, November 1946.

## **Jonathan W. and Anne Strong**

Jonathan Strong and his wife, Deborah, owned the house at 326 Ridge Avenue from 1950 to 1971. Jonathan W. Strong (1917-2002) was born on April 3, 1917, the son of Walter and Josephine Strong. His father, Walter Strong, was publisher and principal owner of the *Chicago Daily News* from 1925 until his untimely death in 1931 at the age of 47. During this period, he oversaw the construction of the Daily News Building on the Chicago River, which was completed in 1929. Walter Strong was active in the affairs of the Village of Winnetka, where he served as a member of the board of trustees.<sup>22</sup>



Jonathan W. Strong

Jonathan Strong resided as a youth with his parents and four siblings in their home at 1377 Tower Road in Winnetka (razed) and graduated from North Shore Country Day School in 1934. He married Anne Burham (b. 1919) in 1939. She was the daughter of Mr. and Mrs. Gerald Burnham of Winnetka and also attended North Shore Country Day School. The couple had two children: Jonathan Jr. (b. 1945) and Deborah (b. 1947).<sup>23</sup>

In 1940, Jonathan and Anne Strong lived in a rental house at 1260 Ash Street in Winnetka, according to the U.S. Census, which listed his occupation as “reporter.” Strong served in the U.S. Army during World War II and was in Belgium in 1945. The U.S. Census for 1950 shows that Strong family then lived in a house at 340 Greenwood in Glencoe with a maid and identified Jonathan’s occupation as “architect.” On June 5 of that year, Jonathan and Anne Strong purchased the house at 326 Ridge Avenue in Winnetka, where they raised their two children, both of whom attended North Shore Country Day School. In 1967, the Strongs celebrated the engagement of their daughter, Deborah, at a party in their Winnetka home. She was then a senior at Radcliffe University.<sup>24</sup>

## **James R. Dunlap**

No information was found on this individual, who owned the house at 326 Ridge Avenue from 1971 to 1975.

## **Dr. Charles and Susan Shabica**

Charles and Susan (Ewing) Shabica owned the house at 326 Ridge Avenue from 1975 to 2024. During the 1970s, they stripped off 12 layers of paint on the exterior of the house and painted it white. They also constructed a deck at the southwest corner of the house and renovated the kitchen.

---

<sup>22</sup> “Walter Strong, Publisher of the Daily News, Dies,” *Chicago Tribune* (11 May 1931).

<sup>23</sup> U.S. Census for 1930 and 1950; Ancestry.com, U.S., School Yearbooks, 1900-2016; “Winnetka Girl and J.W. Strong Wed at Christ Church,” *Dixon Evening Telegraph* (23 October 1939).

<sup>24</sup> U.S. Census for 1940 and 1950; “Other Service Notes,” *Chicago Tribune* (29 January 1945); “Strong-Kaiser,” *Chicago Tribune* (12 September 1967).

Dr. Charles Shabica, a coastal geologist and professor of earth science, was raised in Livingston, New Jersey, the son of Dr. and Mrs. Anthony Shabica. He graduated from Brown University with a degree in geology. He married Susan Ewing, a 1965 graduate of Wake Forest University, in 1967. At that time of their marriage, Susan was employed at the Woods Hole Oceanographic Institution at Woods Hole, Massachusetts and Charles was a doctoral candidate at the University of Chicago in evolutionary biology. He received his Ph.D. from that institution in 1971.<sup>25</sup> The couple lived in Evanston prior to purchasing the house at 326 Ridge Avenue, where they lived for over 50 years and raised their three children: Jonathan, Andrew, and Donna.



Dr. Charles Shabica.

Charles Shabica served as a professor of Oceanography at Northeastern Illinois University starting in 1971 (emeritus since 2015) and as president of Shabica & Associates from 1985 to the present. In his role as coastline engineer and consultant, he developed studies for various North Shore communities on how to combat shoreline erosion, among other projects, as evidenced by various articles in the *Chicago Tribune*. His firm also designed and engineered the restoration of the Highland Park Ravine. He has served as president of the Great Lakes Shore & Beach Preservation Association and as a board member of the Winnetka Historical Society since 2000.<sup>26</sup>

### **Real Estate Developer John T. Dale**

The Heath House at 326 Ridge Avenue is one of four single-family houses in Winnetka built by John Dale—a prominent lawyer, local real estate developer, and civic leader—on a subdivision near the lakefront that he had platted in 1871.

John Dale (1841-1914) was born in Sandbach, England, on April 25, 1841, the son of Thomas and Jane (Burgess) Dale. Dale came to the U.S. with his parents in 1849 and the family lived on a farm at Salem, Kenosha County, Wisconsin. He attended the country schools of the Salem District and an academy in Liberty, Wisconsin, where he received a high school education.<sup>27</sup>

Dale relocated to Chicago in 1863 where he studied law and worked as a clerk in the law office of D.C. and I.J. Nichols from 1863 to 1865. He was admitted to the Illinois Bar in 1865 and took a course in real estate law at Union College, Chicago, the following year. Dale worked in a law

---

<sup>25</sup> “Miss Ewing to Wed Charles Shabica,” *The News Journal* (Wilmington, Delaware) (4 December 1967).

<sup>26</sup> Winnetka Historical Society Biographical Data Card; Sally Schneiders, “Getting to Know Winnetka’s Own Science Guy,” *Gazette*.  
<https://www.winnetkahistory.org/gazette/getting-to-know-winnetkas-own-science-guy/>

<sup>27</sup> John W. Leonard, *The Book of Chicagoans* (Chicago: A.N. Marquis Company, 1905) 151.

partnership with Edmund S. Holbrook from 1867 to 1871, and with Sidney Thomas from 1872 to 1873. He established an independent law practice in 1873, devoting much of his time to real estate law and chancery practice and the care of private interests and investments.<sup>28</sup>



John T. Dale.

John Dale moved to Winnetka in the early 1870s, when he began investing in real estate. He laid out and subdivided many tracts in the southeast and southwest portions of Winnetka and is credited with naming many of the streets within. One contemporary writer described Dale's real estate interests in 1874:

Real estate values in Winnetka have been kept at moderate prices. The policy pursued has been a conservative one, and but little attempt has been made to push sales. The following information supplied by Mr. E.T. Dale gives a fair idea of present values in Winnetka. Mr. Dale has a subdivision on the lake shore, in which he holds lots fronting on Lake avenue and running back to the lake, about 600 feet, at \$25 per front foot. In the rear of these lots is a bluff forty feet high, overlooking the beach. On the opposite side of Lake avenue, lots fronting east, from 175 feet to 250 feet in depth, are held at \$12 per foot, and lots on Groveland and Fairview avenues at \$8 per foot. He has also a subdivision on the ridge, west of the railroad, in which choice lots on Hazel and Linden streets, of 177 feet depth, are held at from \$10 to \$12 per foot.<sup>29</sup>

Dale built four houses c. 1872 within a tract that he had platted on June 10, 1872, that was bounded by Willow Road and Mt. Pleasant Street and included the west side of Ridge Avenue (then called Hazel Street) and both sides of Linden Street. (See Plat Map in the "Supplemental Materials" section of this report.) The four houses were located at the present-day addresses of 326 and 352 Ridge Avenue and 328 and 352 Linden Avenue. The construction of these houses may have been supervised by John Dale's father, Thomas, who was a master carpenter and moved to Winnetka sometime between 1870 and 1880.<sup>30</sup>

The 1880 U.S. Census shows that John Dale then lived with his parents and his sister, Jane, in Winnetka at an unspecified address. According to Winnetka Historical Society records, Dale initially lived in the Italianate style house at 352 Linden Avenue. John Dale married Leila W. Graves of Evanston (1857-1901) on September 30, 1880, and his father died in December of that year. In the early 1880s, Dale and his wife relocated from 352 Linden Avenue to the house he had previously built at 352 Ridge Avenue (razed 1967). Here, the couple raised their four children: Ruth (b. 1883), Jane (b. 1885), Arthur (b. 1886), and John Jr. (b. 1889). The U.S. Census for 1900 shows that the family of six shared this house with Dale's sister, Jane; Dale's foster daughter named Bertha Jong; and a 26-year-old servant and her two-year-old son.<sup>31</sup>

---

<sup>28</sup> Ibid.

<sup>29</sup> Everett Chamberlain, *Chicago and Its Suburbs* (Chicago: T.A. Hungerford & Co., 1874) 392.

<sup>30</sup> Paul W. Guenzel, letter to Mr. and Mrs. N.J. Radell, August 23, 1971; U.S. Census for 1870 and 1880.

<sup>31</sup> Ancestry.com. Nebraska, U.S., Select County Marriage Records, 1855-1908; "Dale," *The Telegraph-Courier* (Kenosha, Wisconsin) (17 December 1880).

Dale was a prominent civic leader in Winnetka during the over quarter century that he lived in the Village. Most notably, he served as Village President from 1873-74, 1876-77, and 1884-88.<sup>32</sup> He was a member of the Winnetka Congregational Church and served as its Sunday School Superintendent for years. He also served as a director of the Illinois Humane Society for nearly 20 years and as a one-time vice president of the American Humane Association. Dale wrote several books, which included, *What Ben Beverly Saw at the Great Exposition* (Centennial at Philadelphia); *Fingerposts on Life's Highway* (for young people); and *Heroes and Great Hearts and Their Animal Friends* (adapted for schools and for young people).<sup>33</sup>

John Dale's law and real estate practices flourished during the years that he lived in Winnetka. He built several office buildings on the 300 block of S. Dearborn Street in Chicago in the mid-1880s, and in 1886 he was among the incorporators of the Dearborn Street Union Railway company, which intended to install a streetcar line on Dearborn Street, from the Chicago River southward to Polk Street.<sup>34</sup> Dale also owned many commercial and mixed-use buildings outside of downtown Chicago, as evidenced by contemporary articles in the local newspapers describing properties that he purchased or sold.

In 1891, Dale became president of the Chicago Ridge Land Association, a syndicate that previously purchased a 1,000-acre tract at the junction of the Wabash and Terminal Calumet Railroads, with the intention of establishing a manufacturing suburb. An 1892 article in *The Inter Ocean* stated that, "Good inducements will be held out to manufacturers to locate on the property, while the residence subdivisions will be well improved."<sup>35</sup>

Leila Dale died in 1901, and John Dale subsequently relocated from Winnetka to Chicago. He died on May 14, 1914, at the age of 73 in his residence at 1305 Astor Street.<sup>36</sup>

---

<sup>32</sup> Frank Windes, "The Presidents of the Village of Winnetka," March 24, 1951.

<sup>33</sup> Albert N. Marquis (Ed.). *The Book of Chicagoans* (Chicago: A.N. Marquis Co., 1911) 173.

<sup>34</sup> "Losses and Insurance," *The Inter Ocean* (8 January 1888); "A Company Formed to Build a Railway on Dearborn," *Chicago Tribune* (17 June 1886).

<sup>35</sup> "The Chicago Ridge Land Association Formed," *The Inter Ocean* (31 January 1892).

<sup>36</sup> "Dale," *The Inter Ocean* (15 September 1901); "Obituary," *Chicago Tribune* (15 May 1914).

## Description of the Heath House

P.I.N.: 05-20-403-018-0000

Legal Description for 326 Ridge Avenue: The South 35 Feet of Lot 6 and all of Lot 7 in Block 1 in Dale’s Second Subdivision of the Northeast ¼ of the Northeast ¼ of the Southeast ¼ of Section 20, Township 42 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

Construction Date: 1871-72

Copies of the building permits identified below are attached to the end of this report.

| Permit Date | Owner                      | Action  | Architect      |
|-------------|----------------------------|---|----------------|
| 10-23-29    | Park Phipps                | Build a 1 story and basement alteration to residence  | owner          |
| 7-11-1941   | Park Phipps                | Move and alter a 2 story frame accessory building   | Ernst Benkert  |
| 12-22-1941  | Park Phipps                | Alterations to a 2 story and basement frame single family dwelling; alter interior of garage portion & attach accessory building to main building | L. Morgan Yost |
| 7-21-76     | Mr. & Mrs. Charles Shabica | Remodel kitchen   | Fred Polito    |
| 3-29-1990   | Dr. & Mrs. Charles Shabica | Rebuild closets, install bay window   | Fred Polito    |

### House Description:

The Heath House is located on a rectangular parcel on the west side of Ridge Avenue that measures 187 feet east-west and 85 feet north-south. The east-facing residence is set back about 56 feet from the public right-of-way. Two brick piers topped by globe light standards flank the entrance to a paved driveway that extends along the north boundary of the property to the coach house (original barn), which is connected to the house by a second story wood walkway. (See coach house description below.) The property has grassy lawns and intermittent trees.

The two-story Italianate style house, built c. 1872, has a rectangular footprint that measures 24 feet in width (north-south) and 56 feet in length (east-west). It is situated on a raised brick foundation and features original wood clapboard siding painted white. Its low, hip roof is covered with asphalt shingles and has overhanging eaves detailed with original scrolled wood brackets. A wood frieze band detailed with unadorned rectangular panels extends around all four sides of the house. A brick chimney is situated on the north side of the roof slope. The south façade has a flat-roof, screened-in porch and a wood deck. The rear (west) façade has a two-story, gable-roof pavilion that is not visible from the public right-of-way.

The front (east) façade has an off-center entrance with a wood paneled door and simple wood surround topped by a flat-roof wood canopy featuring a wood balustrade, dentil molding, and two scrolled wood brackets. The house has five additional entrances, three of which are on the south façade. They include a pair of multi-paned French doors that open onto the screened-in porch; a pair of sliding glass doors that open onto the wood deck; and a glazed wood door on the second story that opens onto the roof of the screened-in porch. The rear façade has a pair of multi-paned French doors that open onto the screened-in porch and a glazed wood paneled door at the ground level.

Fenestration on the first and second floors of the Heath House is primarily comprised of one-over-one wood windows, arranged alone or in pairs. Those with round-arch upper sashes have wood casings. The house has two identical flat-roof bay windows—located on the front façade and the north façade—each of which features a segmental-arch window flanked by a round-arch window and is detailed with dentil molding, unadorned pilasters, and plain rectangular panels at its base. The south façade of the house has three pairs of multi-paned wood casement windows: two on the first floor and one on the second floor. The rear façade has a pair of multi-paned wood casement windows and a three-sided window bay, both on the second floor. The north façade includes a garden window. Basement fenestration is comprised of awning windows, each of which is divided into three panes by wood muntins.

The first-floor plan includes an entrance hall with front staircase; a powder room beneath the front staircase; a front parlor; a rear parlor; a dining room; and a large kitchen with a stairs that descend to the basement. The second floor has four bedrooms, one of which has a tandem; an L-shaped hallway with a door that opens onto a wood stairway to the unfinished attic; and two full bathrooms. The basement has a series of rooms of varying sizes that open onto each other and a small space that features a toilet.

Walls and ceilings are finished in plaster, except for the front stairwell, in which the walls are covered with wallpaper. Flooring throughout the first and second floors is covered with wall-to-wall carpeting, except in the first-floor powder room (wood parquet flooring); second floor bathrooms (tile flooring); and the bedroom in the northeast corner of the house (wood flooring). The basement is unfinished and has concrete flooring, walls that either feature exposed brick or are covered with plaster, and exposed ceiling joists. The interior retains many of its wood paneled doors, painted white. Most rooms throughout the house have simple, unadorned wood baseboard molding, as well as equally simple wood door and window casings, all painted white.

The front hall has an original wood staircase with spindle balustrade and an unadorned, tapered newel post that enlarges at the top with two circular shapes. The north wall of the front parlor has an original stone fireplace flanked by built-in cabinets and bookshelves. Built-in bookshelves are also located on the west wall of the front parlor; the west and south walls of the rear parlor; the north wall of the bedroom in the northeast corner of the house; and the east wall of the second floor tandem at the rear of the house, which has baseboard heaters.

### Integrity

The house has very good architectural integrity, retaining its original wood clapboard sheathing, hip roof with overhanging eaves and wood brackets, off-center front entrance with decorative

canopy and wood surround; north window bay; and its original fenestration pattern with round-arch, one-over-one wood windows. The interior largely retains its original floor plans, original front staircase, as well as its modest wood baseboard molding and door and window casings.

Exterior changes include the removal of the original wood porch; replacement of an original south façade window bay with the present-day screened-in porch; installation of the front window bay, which Sanborn maps indicate is non-original; and construction of both a rear wood deck and a one-story rear addition—which accommodated a kitchen expansion—neither of which are visible from the public right-of-way. Nearly all flooring is covered with wall-to-wall carpeting and the built-in wood shelving installed in various rooms is non-original. Most of these changes are historic, as they pre-date 1975. The wood kitchen cabinets appear to date from the 1970s.

### **Coach house (original barn)**

The coach house was originally built as a barn on this property, as shown in historic photographs and on the Sanborn Maps for 1914 and 1938. (See pages 8, 51, and 65). The barn was moved to its present location in 1941, when it was renovated to serve as a coach house, incorporating both a two-car garage (north side) and two-story apartment, and to physically connect to the house via a walkway at the second-floor level. The apartment includes a dining room and a kitchen on the first floor and a staircase to the second floor, which includes a large living room and a bedroom with a full bathroom.

The coach house retains the barn's original gable roof and its rectangular footprint, measuring 35 feet north-south and 20 feet east-west. The building's wood sheathing and its windows and doors all date to 1941, although some wood windows on the south façade were replaced by vinyl windows in recent years. The renovation included the removal of the barn's cupola and the installation of an exterior brick chimney on the west façade, which also includes a shed-roof, screened-in porch, a pair of multi-paned French doors, and a one-over-one window on the first floor, as well as two shed-roof dormers on the second floor, each with a pair of multi-paned wood casements.

The first floor of the east façade has an overhead metal garage door, a glazed wood paneled door that opens onto the apartment, and an adjacent pair of four-paned wood casement windows on the first floor. The second floor of the east façade has a gabled wall dormer and a pair of multi-paned wood doors that open onto a walkway that connects to the house. The north façade has a service door that opens onto the garage and a pair of six-over-six windows on the second floor. The south façade has two six-over-six windows on the first floor and a bay window on the second floor.

The flooring of the apartment is finished with wall-to-wall carpeting (dining room and staircase), tile (kitchen and bathroom), and wood (second floor living room and bedroom). Walls and ceilings on the first floor are finished with plaster and those on the second floor are finished with knotty pine, except the bathroom, which has walls finished with ceramic tiles and plaster, and a plaster ceiling. The west wall of the first-floor dining room and the second floor living room

each have a fireplace with a heath sheathed with common brick. A pair of original wood double-doors separates the living room and kitchen.

### **Landmark Status of the Property**

The Heath House is not a locally designated landmark or in a locally designated historic district. It is not listed individually on the National Register of Historic Places or in a National Register Historic District. It is listed in the Illinois Historic Structures Survey conducted in the early 1970s.

### **Evaluation of Historic Significance**

The Heath House at 360 Ridge Avenue, built c. 1872, is locally significant as one of the oldest houses in Winnetka. Research undertaken for this report identified only eleven other houses in the Village that were built from the 1850s through the 1870s.<sup>37</sup> They include the houses at 328 Linden St.; 352 Linden St.; 411 Linden Street (designated Winnetka Landmark); 546 Elm Street; 594 Elm Street (designated Winnetka Landmark); 302 Forest Avenue; 369 Ridge Avenue; 596 Oak Street; 1175 Whitebridge Hill Road (designated Winnetka Landmark); and 830 Sheridan Road (designated Winnetka Landmark). (See Attachment F for photographs of these houses.) The Heath House is one of the best preserved of these eleven houses, as several have experienced extensive renovations and expansions that have greatly altered their appearance.

The Heath House is also locally significant as one of three extant houses built by John T. Dale (1841-1914), a prominent real estate developer and civic leader in Winnetka who laid out and subdivided many tracts of land in the Village during the 1870s—including the one in which this house is situated—and is credited with naming many of its streets. Dale lived in Winnetka for over 30 years, during which time he served several terms as Village President (1873-74, 1876-77, and 1884-88).

### **Evaluation of Architectural Significance**

The Heath House possesses exceptional local architectural significance as a rare, and well-preserved, example of the Italianate style in Winnetka. The Italianate was a style popular in the U.S. from 1850 through 1880. Only eleven other houses from this period were identified in Winnetka for this report, in addition to the house at 326 Ridge Avenue. Of those eleven houses, only two feature Italianate style: the houses at 352 Linden Avenue, built by John T. Dale, and at 302 Forest Avenue. The latter was drastically altered by the removal of its south wing at an unknown date.

---

<sup>37</sup> Research included a review of the partial architectural survey undertaken by the Winnetka Historical Society in 2010, which covers about sixty percent of the Village, as well as the list of designated Winnetka Landmarks, and visual observation. The WHS survey included three other houses built in the 1870s that have been razed since 2010 (1031 Elm Street, 1044 Elm Street, and 368 Ridge Avenue).

The Heath House at 326 Ridge Avenue is easily recognizable as an Italianate style house, featuring hallmarks of the style that include its two-story height; low-pitched hip roof with overhanging eaves and decorative wood brackets; wood frieze band with simple rectangular panels; one-over-one windows with round-arch upper sashes and original wood casings, arranged alone or in pairs; front entrance enhanced with an elaborate balustraded wood canopy; and an original window bay on the north façade. Exterior changes—including the removal of both its original wood porch and the south façade bay window prior to 1950, and the construction of a non-original bay window on the front façade—do not detract from the overall integrity of the house, which retains its distinctive Italianate features.

### **Evaluation of Neighborhood Impact**

The Heath House at 326 Ridge Avenue is located on a north-south street, two blocks west of Green Bay Road and two blocks south of the Winnetka Village Hall. Its fifty-foot-wide lot is part of Dale's Second Subdivision, which was recorded in 1879. This block of Ridge Avenue is a tree-lined street, with sidewalks on both sides and houses that are easily visible from the public right-of-way. The houses have uniform setbacks, side driveways, and are oriented to Ridge Avenue, except for three houses on the corners that face Mt. Pleasant Street (747 Mt. Pleasant) or Willow Road (360 Ridge Avenue and 720 Willow Road).

The Heath House at 326 Ridge Avenue, built c. 1872, is the oldest house on a block of 16 single-family houses from different eras, including the 1890s (1), 1900s (1), 1910s (1), 1920s (5), 1930s (1), 1960s (4), and 2000s (1). The Heath House is the only Italianate style house on a block that features nine houses designed in the Colonial Revival style. Other styles exhibited on this block include French Eclectic (305 Ridge), Dutch Colonial Revival (341 Ridge), Prairie (351 Ridge), and Mansard (360 Ridge). One vernacular house exhibits the Gabled-Ell form (314 Ridge). The post-2000 Neo-Colonial style house at 334 Ridge Avenue replaced a modest, Tudor Revival style house by S.S. Beman; this constituted the only tear-down on the block.

The 16 houses on the 300 block of Ridge Avenue are generally medium in size and two or 2 ½ stories in height. They are clad in traditional materials that include wood siding (8), brick (6), wood shingles (1), and stucco (1). Rooflines are hipped, front-gable, and side-gable. One house has a mansard roof.

Demolition of the c. 1872 Heath House would have an adverse effect on the neighborhood by removing the oldest house on its block, and one of the oldest houses in Winnetka, which has prominently stood at 326 Ridge Avenue for over 150 years. The house is easily visible from the public right-of-way and is notable as a rare, extant example of an Italianate style house with good integrity that is unpretentious in appearance and lacking in ostentation.

### **Person Responsible for Performing the Study**

Jean L. Guarino, Ph.D., has worked as an independent architectural historian since 1998, documenting hundreds of buildings through local and national landmark nominations, architectural survey work, and Historic American Buildings Survey (HABS) projects. She has also developed over two dozen HAIS reports for houses in Winnetka. Clients include

architectural firms, non-profit organizations, development firms, and municipalities, including the City of Chicago. She is the co-author of a book titled, *Benjamin H. Marshall, Chicago Architect* (Acanthus Press, 2016), and a contributor to the book titled, *Art Deco Chicago* (Yale University Press, 2011).

## Bibliography

- Ancestry.com. Cook County, Illinois, Marriage Index, 1871-1920.
- Ancestry.com. Wisconsin, U.S., Marriage Index, 1808-1907.
- Ancestry.com. Nebraska, U.S., Select County Marriage Records, 1855-1908.
- Ancestry.com. Massachusetts, U.S., Marriage Records, 1840-1915.
- Ancestry.com. U.S., Find a Grave Index.
- Ancestry.com, U.S., School Catalogs, 1765-1935.
- Ancestry.com. U.S., School Yearbooks, 1900-2016.
- “Board of Education: List of Teachers Elected for the Ensuing Year.” *Chicago Tribune*, 28 June 1873.
- Chamberlain, Everett. *Chicago and Its Suburbs*. Chicago: T.A. Hungerford & Co., 1874.
- Chicago City Directories, varying years.
- “The Chicago Ridge Land Association Formed.” *The Inter Ocean*, 31 January 1892.
- “A Company Formed to Build a Railway on Dearborn.” *Chicago Tribune*, 17 June 1886.
- Cook County Clerk’s Office, Tract Book 248D, p. 231.
- Cook County Clerk’s Office, online deed information for the house at 326 Ridge Avenue, varying years: <https://www.cookcountyclerk.gov/recordings>
- Cook County Assessor’s Office website: <https://www.cookcountyassessor.com/address-search>.
- “Dale.” *The Telegraph-Courier* (Kenosha, Wisconsin), 17 December 1880.
- “Dale.” *The Inter Ocean*, 15 September 1901.
- “Divorces.” *Chicago Tribune*, 20 February 1883.
- “Miss Ewing to Wed Charles Shabica.” *The News Journal* (Wilmington, Delaware) 4 December 1967.
- “Funeral of Prof. George W. Heath.” *Chicago Tribune*, 20 February 1890.
- “Goss Granted a Divorce.” *The Inter Ocean*, 25 November 1897.
- “Hardwick.” *The St. Johnsbury Index* (St. Johnsbury, Vermont), 12 July 1883.
- “Heath.” *The Inter Ocean*, 29 December 1890.
- “Jas. A. Warren Dies in Evanston Hospital at 82.” *Chicago Tribune*, 8 January 1934.
- “Mrs. Julia S. Mason is Dead.” *Chicago Tribune*, 19 September 1909.
- Leonard, John W. *The Book of Chicagoans*. Chicago: A.N. Marquis Company, 1905.
- “Losses and Insurance.” *The Inter Ocean*, 8 January 1888.
- Marquis, Albert N. (Ed.). *The Book of Chicagoans*. Chicago: A.N. Marquis Co., 1911.
- “Marriages.” *Lamoille Newsdealer* (Hyde Park, Vermont), 7 January 1874.
- “Minnie E. Goss.” *White River Valley Herald* (Randolph, Vermont) (13 January 1944).
- Murry and Moody, Ltd., Land Surveyors. Plat of Survey for 326 Ridge Road, December 31, 2024.
- “Obituary.” *Chicago Tribune*, 15 May 1914.
- “Prof. George W. Heath.” *Chicago Tribune*, 17 February 1890.
- “A Quiet Wedding.” *The Bethel Courier* (Bethel, Vermont), 26 July 1900.
- “Roswell Mason, Lawyer, 61, Dies of Heart Attack.” *Chicago Tribune*, 27 July 1934.

*Sanborn Fire Insurance Company Map for Winnetka*. New York: Sanborn Fire Insurance Company, 1914.

*Sanborn Fire Insurance Company Map for Winnetka*. New York: Sanborn Fire Insurance Company, 1938, rev. 1951.

“Sanford A. Goss.” *Chicago Tribune*, 28 August 1915.

“Savings Staff Drafts Artists.” *Winnetka Talk*, 9 April 1942.

Schneiders, Sally. “Getting to Know Winnetka’s Own Science Guy,” *Gazette*.  
<https://www.winnetkahistory.org/gazette/getting-to-know-winnetkas-own-science-guy/>

“Something Personal of the Principals who Sway the Destiny of Our Schools.” *Chicago Evening Post*, 8 April 1872.

U.S. Census for 1880, 1900, 1910, 1920, 1930, 1940, 1950 for historic homeowners of 326 Ridge Avenue and for developer John Dale.

“Walter Strong, Publisher of the Daily News, Dies.” *Chicago Tribune*, 11 May 1931.

Windes, Frank. “The Presidents of the Village of Winnetka,” March 24, 1951.

“Winnetka Girl and J.W. Strong Wed at Christ Church.” *Dixon Evening Telegraph*, 23 October 1939.

Winnetka Historical Society, *Partial Architectural Survey of the Village of Winnetka*, 2010.

Winnetka, Illinois, Phone Directories, varying years.

Winnetka, Illinois, Building Permits.

Yost, L. Morgan, “This Was a Barn.” *Better Homes and Gardens*, November 1946.

## **List of Attachments**

- Attachment A: Exterior photographs, March 2025
- Attachment B: Interior photographs, March 2025
- Attachment C: Coach house (former barn) photographs, March 2025
- Attachment D: Neighborhood Character Table
- Attachment E: Houses on the 300 block of Ridge Avenue
- Attachment F: Other Winnetka houses built from the 1850s through the 1870s

### Supplemental Materials

Exterior Photographs, March 2025



Front façade, view southwest.



Front façade, view west.

Exterior Photographs, March 2025



Decorative scrolled brackets.



Sconce on front façade.



Front façade entrance.



Front façade window bay.

Exterior Photographs, March 2025



Front and south facades, view northwest.



Front façade details, view northwest.

Exterior Photographs, March 2025



South façade, view northwest.



Original round arch windows and decorative brackets on south façade.

Exterior Photographs, March 2025



South façade, view northeast.



South and rear (west) facades, view northeast.

Exterior Photographs, March 2025



North façade, view southwest.



North façade, view southeast.

Interior Photographs



Front hallway and newell post detail.



Front door and staircase.

Interior Photographs



Front parlor with stone fireplace, bay window, and non-original built-in shelves.



Interior Photographs



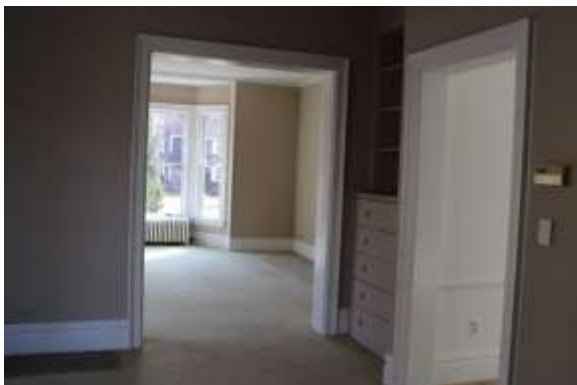
Front parlor, view southwest.



Rear parlor, view northwest.



Rear parlor bay window, view northeast.



Rear parlor, view east toward front parlor.



View west into dining room from front hallway.

Interior Photographs



Dining room, view west toward screened-in porch (left) and doorway to kitchen (right).



Dining room, view east toward front hallway.

Interior Photographs



Powder room, first floor.



Screened-in porch.



Kitchen, view northwest.



Kitchen, view northeast.



Kitchen, view southeast toward dining room.

Interior Photographs



Views of basement.



Views of basement.



Views of basement.

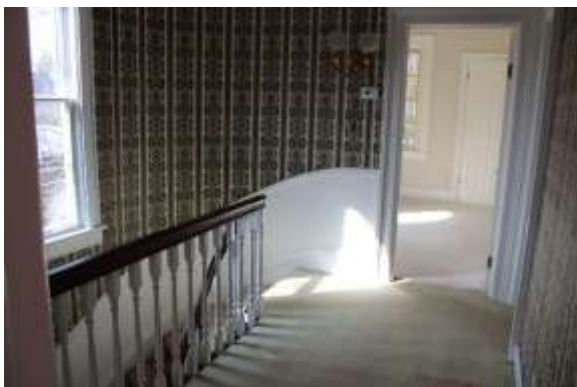
Interior Photographs



Upper floor stairs.



Views of bedroom 1 at the southeast corner of the house.



Second floor hallway, view toward bedroom 2.



Bedroom 2 at the southwest corner of the house.

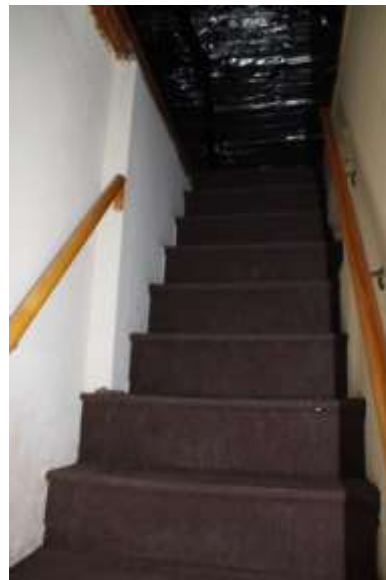
Interior Photographs



Bedroom 2 at the southwest corner of house.



Second floor north-south hallway.



Second floor stairway to attic, with door off the north-south hallway.



Attic.

Interior Photographs



Bedroom 3 at the northeast corner of the house.



Bedroom 3 at the northeast corner of the house.



Second floor east-west hallway.

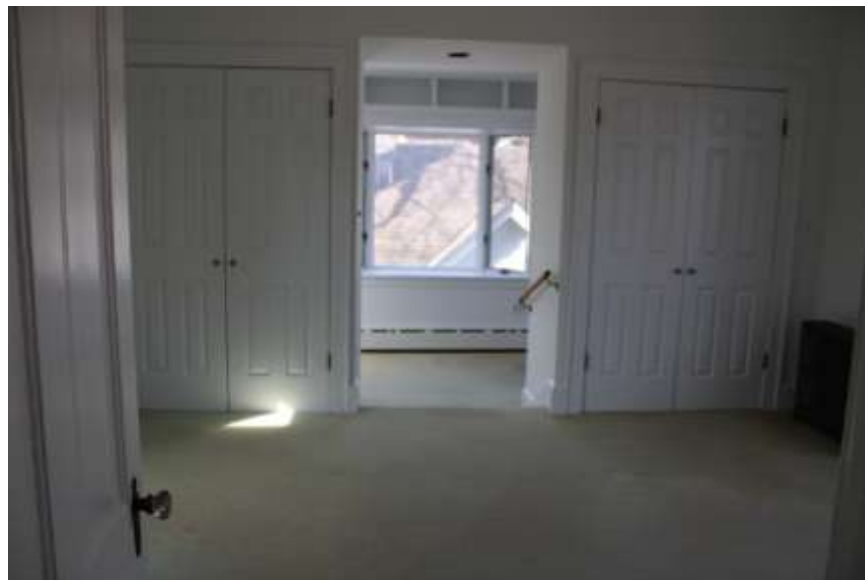
Interior Photographs



Second floor, bathroom 1.



Second floor, bathroom 2.



Bedroom 4 at the northwest corner of the house, view west.

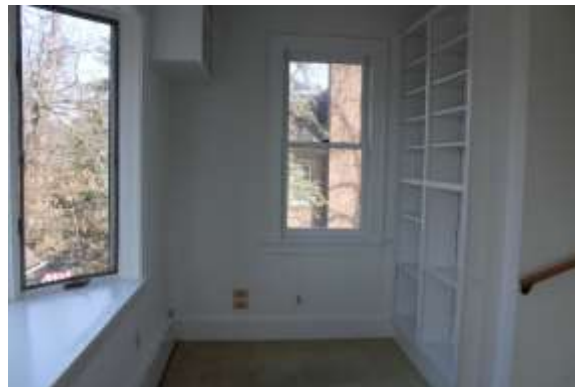
Interior Photographs



Bedroom 4, view north.



Bedroom 4, view south.



Tandem room off of Bedroom 4, view north.

Coach House (former barn) photographs, March 2025



Front façade, view southwest.



Front façade detail, view northwest.



View northeast.



View east.



First floor dining room with doors to screened-in porch and brick fireplace.

Coach House (former barn) photographs, March 2025



First floor dining room.



View toward kitchen (left) and staircase.



Kitchen.



Second floor balustrade.



Looking down staircase from second floor.



Second floor living room, view south.

Coach House (former barn) photographs, March 2025



Second floor living room with brick fireplace, view northwest.



Second floor living room, view north toward doors to bedroom.

Coach House (former barn) photographs, March 2025



Second floor bedroom with door to bathroom on left.



Second floor bedroom.



Second floor bathroom.



Second floor bedroom, view south toward living room.

Neighborhood Character Table\*

| <b>Address</b>     | <b>Style</b>           | <b>Date</b> | <b>Architect Name</b>                        | <b>No. of stories</b> | <b>cladding</b> |
|--------------------|------------------------|-------------|--|-----------------------|-----------------|
| 747 Mount Pleasant | Colonial Revival       | 1939        | Unknown                                      | 2                     | Wood clapboard  |
| 301 Ridge Avenue   | Colonial Revival       | 1969        | George Lindstrom                             | 2                     | Wood siding     |
| 305 Ridge Avenue   | French Eclectic        | 1928        | Unknown                                      | 2                     | Brick           |
| 314 Ridge Avenue   | Gabled Ell             | 1896        | Unknown                                      | 2                     | Wood siding     |
| 315 Ridge Avenue   | Colonial Revival       | 1901        | Unknown                                      | 2 ½                   | Wood siding     |
| 322 Ridge Avenue   | Colonial Revival       | 1925        | Dean & Dean                                  | 2                     | Brick           |
| 325 Ridge Avenue   | Colonial Revival       | 1915        | Unknown                                      | 2 ½                   | Wood shingles   |
| 326 Ridge Avenue   | Italianate             | c. 1872     | Unknown                                      | 2                     | Wood clapboard  |
| 334 Ridge Avenue   | Neo-Colonial Revival   | 2003        | Unknown; replaced a 1923 house by S.S. Beman | 2                     | Brick           |
| 335 Ridge Avenue   | Colonial Revival       | 1896        | Unknown                                      | 2                     | Wood siding     |
| 340 Ridge Avenue   | Colonial Revival       | 1967        | Robert Brockett                              | 1 ½                   | Brick           |
| 341 Ridge Avenue   | Dutch Colonial Revival | 1921        | S.S. Beman                                   | 2                     | Wood siding     |
| 350 Ridge Avenue   | Colonial Revival       | 1968        | Robert Brockett                              | 2                     | Brick           |
| 351 Ridge Avenue   | Prairie                | 1923        | Christy Brown                                | 2                     | Stucco          |
| 360 Ridge Avenue   | Mansard                | 1968        | Robert Brockett                              | 2                     | Brick           |
| 720 Willow Road    | Colonial Revival       | 1923        | Dean & Dean                                  | 2                     | Wood siding     |

\* Construction dates obtained from a review of building permits, Sanborn Fire Insurance Map for Winnetka (1938; revised 1951), and the Cook County Assessor website.

Houses on the 300 block of Ridge Avenue



747 Mount Pleasant



301 Ridge Avenue



305 Ridge Avenue



314 Ridge Avenue



315 Ridge Avenue



322 Ridge Avenue

Houses on the 300 block of Ridge Avenue



325 Ridge Avenue



334 Ridge Avenue



335 Ridge Avenue



340 Ridge Avenue



341 Ridge Avenue



350 Ridge Avenue

Houses on the 300 block of Ridge Avenue



351 Ridge Avenue



360 Ridge Avenue



720 Willow Road

Other Winnetka houses built from the 1850s through the 1870s



328 Linden St. (c. 1872; Gothic Revival)  
Built by John T. Dale



352 Linden St. (c. 1872; Italianate)  
Built by John T. Dale



546 Elm St. (1865; Gable-front)



594 Elm St. (1872; Gothic Revival)  
Designated Winnetka Landmark



302 Forest Avenue (1870s; Italianate)



411 Linden (c. 1859; Gothic Revival)  
Designated Winnetka Landmark

Other Winnetka houses built from the 1850s through the 1870s



369 Ridge Avenue (1870s; Gable-front)



596 Oak Street (c. 1860; Gable-front)

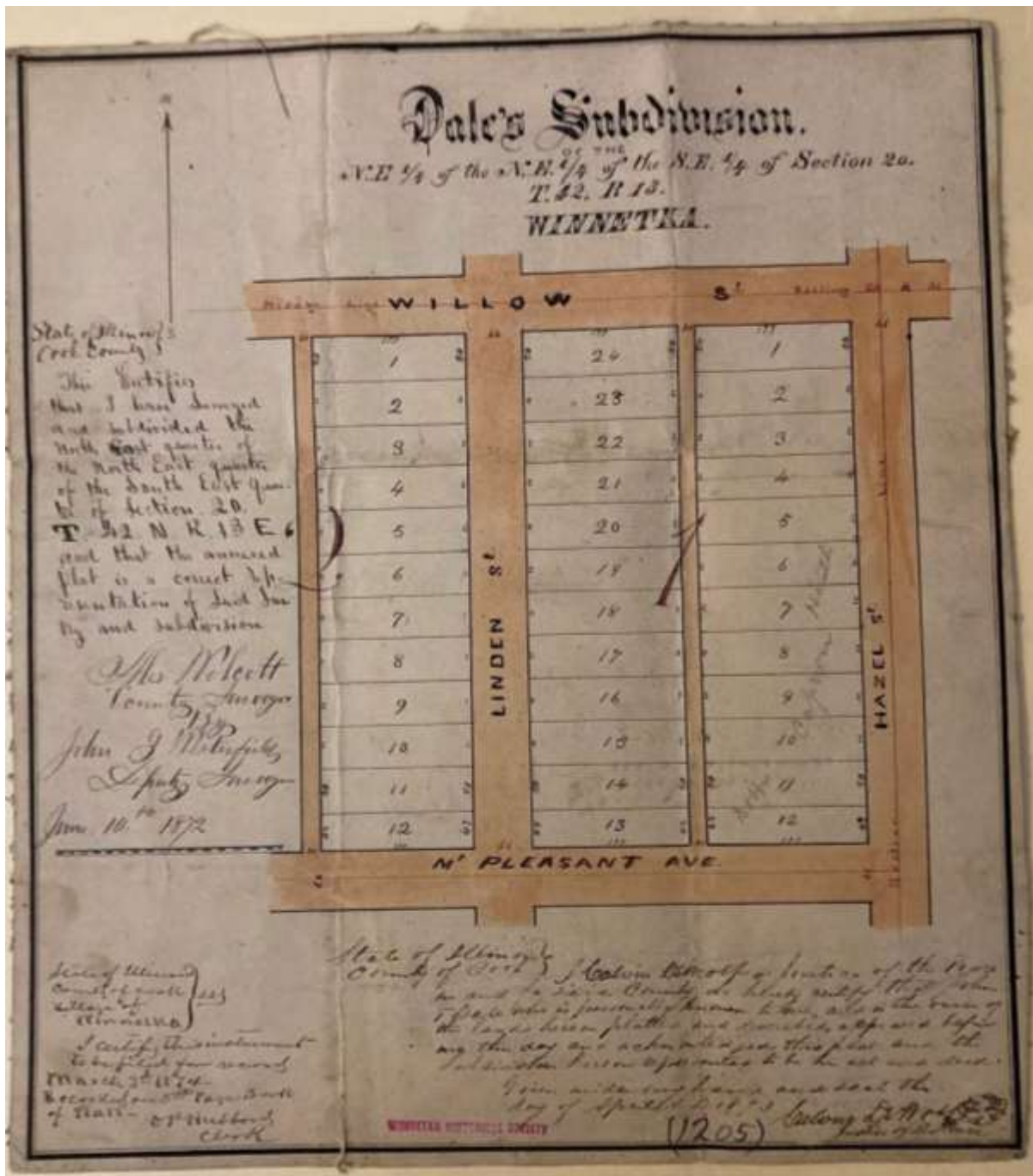


1175 Whitebridge Hill Road  
(1850s; remodeled 1920s to attain its present Classical Revival appearance)  
Designated Winnetka Landmark



830 Sheridan Road  
(1850s; enlarged and remodeled in 1880s and 1890s to its present Queen Anne style appearance.)  
Designated Winnetka Landmark

# SUPPLEMENTAL MATERIALS



Plat of Survey for John T. Dale's first subdivision, dated June 10, 1872. The house at 326 Ridge is situated on Lots 6 and 7, which are labeled "Heath."



# MURRY AND MOODY, LTD.

Land Surveyors

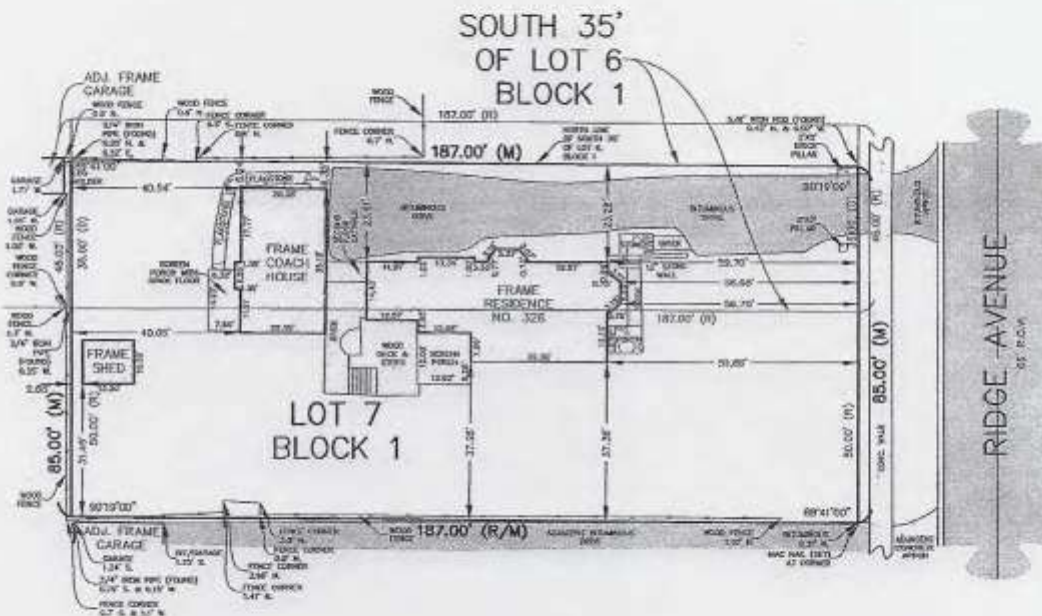
Illinois Professional Land Surveying Firm Corporation License No. 184-002845  
 933 S. Plum Grove Road, Suite 101  
 Palatine, Illinois 60067  
 www.murrysurvey.com info@murrysurvey.com Phone: (847)358-0960



## PLAT OF SURVEY OF

THE SOUTH 35 FEET OF LOT 6 AND ALL OF LOT 7 IN BLOCK 1 IN DALE'S SECOND SUBDIVISION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA = 15,894.76 ± S.F. / 0.365 ACRES



### LEGEND AND NOTES

Distances shown that: 30.23 are feet and decimal parts thereof. Angular data shown that: 39°00'00\"/>

S 89°09'00\"/>

Bearings shown known, if any, per lot or assumed data, unless shown otherwise.

Compare your points before using same and report any differences immediately.

Check legal descriptions with deed or title policy and report any discrepancy immediately. Building lines and easements, if any, shown known are as shown on the recorded subdivision plat or as indicated.

Order Number: 24-1327

Survey Made For: Jennifer M. Boratta  
 Attorney at Law P.C.

STATE OF ILLINOIS }  
 COUNTY OF COOK } S.S.

I, Barbara C. Murry, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey and that this professional service conforms to the current Illinois minimum standards for a boundary survey.

Date of completion of field work: December 31, 2024

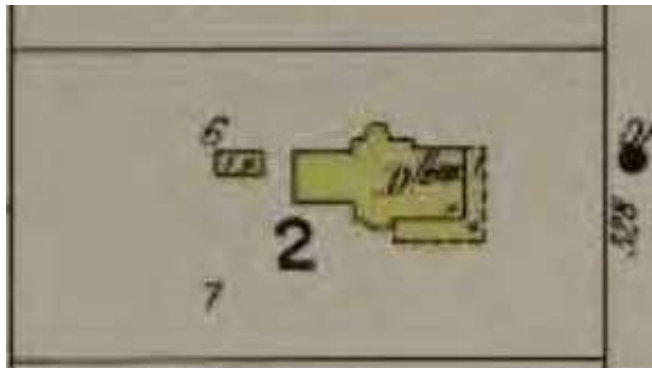
Palatine, Illinois: December 31, 2024



Illinois Professional Land Surveyor - Barbara C. Murry 3529-0028270  
 License Renewal date: November 30, 2026

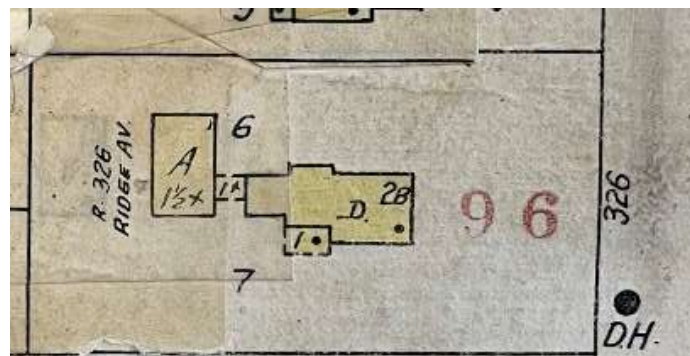
Project Number: 24132700  
 Field Book: 391L14-16  
 Drawing File: 24132700.dwg

| 326 RIDGE   |                                   | VILLAGE OF WINNETKA                |  |
|---|-----------------------------------|------------------------------------|--|
| WATER SERVICE RECORD  |                                   |                                    |  |
| Location of Roundway: <u>307'S.S. Willow Rd. 13'E.W. Ridge Avenue</u> |                                   |                                    |  |
| Location of Tap _____   |                                   |                                    |  |
| Type of Service:  | Size of Tap _____                 | Size of Service _____              |  |
| Lead, Strong  | Size of Main _____                | Size of Shut-off Box <u>1-1/4"</u> |  |
| Lead, Extra Strong  | Depth of Main _____               | Date Installed <u>1894</u>         |  |
| Copper  | Plumber <u>W. Welsh</u>           |                                    |  |
| Cast Iron   | Original Owner <u>St. A. Goss</u> |                                    |  |
|   | Permit No. _____                  | W.O. _____                         |  |
| Remarks <u>No other information on old card</u>                       |                                   |                                    |  |
| (Sketch on other side if necessary)                                   |                                   |                                    |  |
| Ridge Avenue  | 326                               |                                    |  |
| Street  | Number                            |                                    |  |



Footprint of 326 Ridge Avenue showing a wraparound porch and a bay window on the south façade. Note there is no bay window on the front (east) façade. The barn oriented in its original east-west axis.

Source: *Sanborn Fire Insurance Company Map for Winnetka* (New York: Sanborn Fire Insurance Company, 1914).



Footprint of 326 Ridge Avenue showing that the porch has been removed, and the south bay window has been replaced by the screened-in porch. The coach house (original barn) has been flipped around and oriented in its current north-south axis.

Source: *Sanborn Fire Insurance Company Map for Winnetka* (New York: Sanborn Fire Insurance Company, 1938, rev. 1951).

THE VILLAGE OF WINNETKA  
Department of Public Works

APPLICATION FOR BUILDING PERMIT  
and for Certificate of Occupancy and Compliance

Winnetka, Illinois, Oct. 23 1929

TO THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to build a 1 Story  
and Basement Alteration to Residence  
(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)

PROPERTY DESCRIPTION - LOT 6474 1/2 Acre M.H.G. 1  
Subdivision Dales & Co. Bldg.

STREET and NUMBER 326 Ridge ave

DIMENSIONS of BUILDING - Front 18 feet. Depth 24 feet. Height \_\_\_\_\_ feet

NUMBER of ROOMS none added

KIND of MATERIAL same

OWNER Park Phillips Address \_\_\_\_\_

TOTAL COST 3500

ARCHITECT owner Address \_\_\_\_\_

BUILDER Casenhed Co. Address 8 E. Huron St.

CARPENTER " Address \_\_\_\_\_

MASON " Address \_\_\_\_\_

SEWER BUILDER David Parker Address \_\_\_\_\_

PLUMBER " Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_

REMARKS \_\_\_\_\_

Application is also made for a **Certificate of Occupancy and Compliance** to be issued after the completion of the building.

We hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka.

Permit Issued Oct 23 1929

Permit Number 3723 SIGNED Casenhed Co.

Fee none ADDRESS 8 E. Huron St.

THE VILLAGE OF WINNETKA  
 Department of Public Works  
**APPLICATION FOR BUILDING PERMIT**  
 and for Certificate of Occupancy and Compliance

Winnetka, Illinois, JULY 11, 1971

THE SUPT. OF PUBLIC WORKS;

Application is hereby made for a permit to MOVE + ALTER a 2 story  
 and Basement FRAME ACCESSORY BUILDING

PROPERTY DESCRIPTION—LOT 5.35 FT. OF 6 Block 1  
(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)  
 Subdivision DALES 2ND  
+ ALL OF LOT 7.

STREET and NUMBER 326 RIDGE AVE  
 DIMENSIONS of BUILDING—Front 35-0 feet. Depth 20-2 feet. Height \_\_\_\_\_ feet  
 NUMBER of ROOMS \_\_\_\_\_

KIND of MATERIAL FRAME + CONCRETE

OWNER MR. + MRS. PARK PHIPPS Address \_\_\_\_\_

TOTAL COST \$1000-

ARCHITECT ERNST BENKERT Address \_\_\_\_\_

BUILDER JOSEPH KNEIP Address WILMETTE

CARPENTER + MOVER JOHN FOSTER Address EVANSTON

MASON \_\_\_\_\_ Address \_\_\_\_\_

SEWER BUILDER \_\_\_\_\_ Address \_\_\_\_\_

PLUMBER \_\_\_\_\_ Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_ Address \_\_\_\_\_

REMARKS \_\_\_\_\_

Application is also made for a Certificate of Occupancy and Compliance to be issued after the completion of the building.

WE hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka.

Permit Issued JULY 11, 1971

Building Permit Number 5000

Occupancy Permit Number \_\_\_\_\_

SIGNED Park Phipps

ADDRESS 326 Ridge Ave. Winnetka

THE VILLAGE OF WINNETKA  
 Department of Public Works  
**APPLICATION FOR BUILDING PERMIT**  
 and for Certificate of Occupancy and Compliance

Winnetka, Illinois, DEC 22, 1971

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to ALTER + ADD TO a 2 story  
 and Basement FRAME SINGLE FAMILY DWELLING ALTER INTERIOR OF GARAGE PORTION  
 + ATTACH ACCESSORY BLDG TO MAIN BLDG.

PROPERTY DESCRIPTION LOT 535 FT. OF LOT 6, Block 1  
(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)  
 Subdivision DALES 2ND + ALL OF LOT 7

STREET and NUMBER 326 RIDGE AVE.  
 DIMENSIONS of BUILDING Front \_\_\_\_\_ feet. Depth \_\_\_\_\_ feet. Height \_\_\_\_\_ feet

NUMBER of ROOMS \_\_\_\_\_  
 KIND of MATERIAL FRAME, METAL LATH + PLASTER

OWNER MR + MRS. PARK PHIPPS Address \_\_\_\_\_

TOTAL COST \$1000

ARCHITECT Z. MORGAN YOOT Address WILMETTE

BUILDER \_\_\_\_\_ Address \_\_\_\_\_

CARPENTER HERMAN THELIN Address WILMETTE

MASON FRANK KASSEN Address "

SEWER BUILDER ANDREW PARK Address WINNETKA

PLUMBER " Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_ Address \_\_\_\_\_

REMARKS \_\_\_\_\_

Application is also made for a Certificate of Occupancy and Compliance to be issued after the completion of the building.

I (OR WE) hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka.

Permit Issued DEC 22, 1971

Building Permit Number 5066

Occupancy Permit Number \_\_\_\_\_

SIGNED Margaret Phipps  
 ADDRESS 326 Ridge Ave

THE VILLAGE OF WINNETKA  
Department of Public Works

APPLICATION FOR BUILDING PERMIT  
and for Certificate of Occupancy and Compliance

Winnetka, Illinois, July 21, 1976

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to Remodel kitchen

(work to be performed)

Single Family Residence.

(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION—

| REAL ESTATE INDEX NUMBER |    |      |     |
|--------------------------|----|------|-----|
| 05                       | 20 | 403  | 018 |
| Vol.                     |    | ITEM |     |

STREET and NUMBER 326 Ridge Ave.

DIMENSIONS of BUILDING—Front \_\_\_\_\_ feet. Depth \_\_\_\_\_ feet. Height \_\_\_\_\_ feet.

NUMBER of ROOMS \_\_\_\_\_

EST. CONST. COST \$3,500.00 KIND of MATERIAL Frame PHONE NO. \_\_\_\_\_

OWNER Mr/Mrs. Charles Shabica Address 326 Ridge Ave., Winn. 446-4357

ARCHITECT Fred Polito Address 899 Skokie, Northbrook 564-1455

BUILDER J. S. McCoy & Assoc., Inc. Address P.O. Box 335, Winnetka 564-1455

CARPENTER R. J. Binke (?) Address 2492 Farnsworth, Nbrk 272-5120

MASON None Address \_\_\_\_\_

SEWER BUILDER \_\_\_\_\_ Address \_\_\_\_\_

PLUMBER \_\_\_\_\_ Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_ Address \_\_\_\_\_

REMARKS \_\_\_\_\_

Date Job Completed \_\_\_\_\_

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

We hereby certify that we are the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

We hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and we hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued 7-26-76 by HWB SIGNED \_\_\_\_\_

Building Permit Number 9564 ADDRESS 326 Ridge Ave.

Occupancy Permit Number \_\_\_\_\_ Winnetka, Ill.

C. B. No. 57168 PHONE NO. \_\_\_\_\_

Rev. Sept. 68

THE VILLAGE OF WINNETKA  
Department of Public Works

APPLICATION FOR BUILDING PERMIT  
and for Certificate of Occupancy and Compliance

Winnetka, Illinois, June 16, 1978

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to Construct sun deck addition to  
(work to be performed)

single family residence.  
(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION—

| REAL ESTATE INDEX NUMBER |    |      |     |
|--------------------------|----|------|-----|
| 05                       | 20 | 403  | 018 |
| Vol.                     |    | ITEM |     |

STREET and NUMBER 326 Ridge

DIMENSIONS of BUILDING—Front \_\_\_\_\_ feet. Depth \_\_\_\_\_ feet. Height \_\_\_\_\_ feet.

NUMBER of ROOMS \_\_\_\_\_

EST. CONST. COST \$1,000 KIND of MATERIAL Frame PHONE NO. \_\_\_\_\_

OWNER Charles & Susan Shabica Address 326 Ridge 446-4357

ARCHITECT \_\_\_\_\_ Address \_\_\_\_\_

BUILDER Charles Shabica Address same

CARPENTER Same Address \_\_\_\_\_

MASON \_\_\_\_\_ Address \_\_\_\_\_

SEWER BUILDER \_\_\_\_\_ Address \_\_\_\_\_

PLUMBER \_\_\_\_\_ Address \_\_\_\_\_

ELECTRICIAN Charles Shabica Address \_\_\_\_\_

REMARKS Owner/Electrician to comply with Village Electrical Ordinances

Date Job Completed \_\_\_\_\_

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

We hereby certify that we are the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

We hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and we hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued June 22, 1978 by HWB SIGNED \_\_\_\_\_

Building Permit Number 9841 ADDRESS 326 Ridge

Occupancy Permit Number \_\_\_\_\_ Winnetka, Ill.

C. B. No. 67353 PHONE NO. \_\_\_\_\_

Rev. Sept. 68

THE VILLAGE OF WINNETKA

B.P. = 65.00

Department of Public Works

APPLICATION FOR BUILDING PERMIT

and for Certificate of Occupancy and Compliance

Winnetka, Illinois, MARCH 29, 1990

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to REBUILD CLOSETS, INSTALL BAY WINDOW

RESIDENCE

(Work to be performed)

(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION

lot - 8 + 9 A-5  
BL 1 8005

| REAL ESTATE INDEX NUMBER |    |         |     |
|--------------------------|----|---------|-----|
| 05                       | 20 | 403     | 018 |
| Vol. 101                 |    | ITEM 88 |     |

STREET and NUMBER 326 RIDGE AVE

DIMENSIONS of BUILDING—Front 25' feet. Depth 53' feet. Height 28' feet.

NUMBER of ROOMS 8

EST. CONST. COST \$6000 KIND of MATERIAL WOOD

PHONE NO.

OWNER DE & MRS CHARLES SHABKA Address 326 RIDGE AVE WINN.

ARCHITECT FRED POLITO Address 2041 GREENVIEW, NORTHBROOK, ILL. 564-3533

BUILDER WILLIAM HURTT Address 866-6737

CARPENTER Address

MASON Address

SEWER BUILDER Address

PLUMBER Address

ELECTRICIAN Address

REMARKS

Date Job Completed

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

WE hereby certify that WE ARE the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

WE hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and WE hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued 4-12-90 by [Signature] SIGNED [Redacted]

Building Permit Number 12339A ADDRESS 326 RIDGE AVE

Occupancy Permit Number No. 11657 ADDRESS WINNETKA, IL

PHONE NO. 496-9357

|                                   |  |   |                       |   |         |                        |
|-----------------------------------|--|---|-----------------------|---|---------|------------------------|
| Def. Agent                        | Address of House<br><b>326 Ridge Ave., Winnetka</b>                      | Size of Lot<br><b>85x187</b>                    | Rms<br><b>8-4</b>     | Baths<br><b>3</b>   | Porches | Price<br><b>89,500</b> |
| Confirmation of Listing Confirmed | Sited between<br>How house may be used<br><b>tenant does own heating</b> |   | Front                 | It, offer at<br>When available <i>July 1st</i><br>Fire heated |         |                        |
|                                   | Garage & 2 story cottage with <b>1000 per month</b>                      |   | Date <b>3/28/50</b>   | Listed by <b>EH</b>   |         |                        |
|                                   | Owner<br><b>Baumann-Cook</b>   | Address   | Ph: Res.              | City  |         |                        |
|                                   | Assessed valuation   | 48  | Taxes <b>80 (350)</b> | Abstract or<br>Ordinary entry                                 |         |                        |
|                                   | 1st Mortgage <b>13300</b>  | Rate  | Monthly <b>7 H.A.</b> | BB 4/50   |         |                        |
|                                   | 2nd Mortgage   | Rate  | Monthly               | B.A. 4/50   |         |                        |
|                                   | Restrictions   | Insurance: Fire, Tornado                        |                       |   |         |                        |
|                                   | Construction   | <b>Authentic Victorian frame</b>                |                       |   |         |                        |
|                                   | Heating  | <b>Oil &amp; hot water</b>                      |                       |   |         |                        |
|                                   | Remarks  | full  |                       |   |         |                        |
|                                   | 1st floor  | <b>double LR, DR, kit. maid's rm &amp; bath</b> |                       |   |         |                        |
|                                   | 2nd floor  | <b>4 bedrooms, 2 baths</b>                      |                       |   |         |                        |
|                                   | 3rd floor  |   |                       |   |         |                        |

Directions: **2 blocks west of Green Bay, South of Willow**

|  |   |  |
|--|---|--|
| Address: <b>326 Ridge</b>  | Lot Size: <b>85' x 187'</b>                         | Price: <b>\$ 79,500</b>  |
| City: <b>Winnetka</b>  | Rms: <b>9</b>                                       | Bed: <b>4</b>  |
| Constr: <b>Frame</b>   | Baths: <b>2 1/2</b>                                 | Heat: <b>Steam-Oil</b>   |
| Style: <b>Victorian</b>  | Year - Taxes: <b>1969</b>                           | Cost: <b>\$648</b>   |
| Roof: <b>Asphalt shingle</b>   | Porches: <b>One</b>                                 | Garage: <b>1/2</b>   |
| Built: <b>1871?</b>  | Year - Taxes: <b>1969</b>                           | Cost: <b>\$648</b>   |
| Faces: <b>East</b>   | Year - Taxes: <b>1969</b>                           | Cost: <b>\$648</b>   |
| Basmt: <b>Full.</b>  | Year - Taxes: <b>1969</b>                           | Cost: <b>\$648</b>   |
| 1st: <b>Entry hall, open staircase, living room, bay, marble fireplace, parlor with bay, dining room, modern kitchen, built-in stove and range, D&amp;D, stainless steel sink and some counter tops, eating bar, powder room, maid's room or laundry or den.</b> | Year - Taxes: <b>1969</b>                           | Cost: <b>\$648</b>   |
| 2nd: <b>Four bedrooms, two baths, one new.</b>   | Year - Taxes: <b>1969</b>                           | Cost: <b>\$648</b>   |
| Check: School: <b>Crow Island</b>  | JHS: <b>Skokie-Washburne</b>                        | HS: <b>New Trier East</b>  |
| Transp: <b>RR</b>  | Bus: <b>Evanston</b>                                | Other: <b>Faith Hope, NSCD</b>   |
| Mortgage: <b>Existing</b>  | Available:  |  |
| City water, Well, Sanitary Sewer, Storm Sewer, Septic Tank   |   |  |
| Special Assessments <b>\$ none known</b> for   |   |  |
| Remarks and any special conditions:<br><b>A house with much charm and liveability plus convenient location. Garage apartment rented to a school teacher 9 mo. a year @\$125 mo.</b>  |   |  |
| Titleholder: <b>Jonathan W. Strong &amp; Anne Burnham, h/w</b>   | Reason for Sale: <b>OOS</b>                         | Approximate<br>LR <b>15x14+bay</b><br>DR <b>11x13</b><br>K <b>12x17</b><br>Parlor: <b>12x15+bay</b><br>BR's<br>Mstr: <b>12x17+</b><br>Study: <b>6x13</b><br><b>12x15</b><br><b>12x9</b><br><b>12x11 Irr.</b> |
| This sheet is printed from information supplied by others. This information is considered accurate but neither the Corporation nor the Realtor is liable for errors. The listing may be changed without notice.  |   | Possession: <b>6/15/71</b><br><b>(maybe earlier)</b>   |
| For office use only<br><b>030271</b>   | Realtor Office: <b>BAIRD &amp; WARNER, WINNETKA</b> | Title <b>CR&amp;T</b>  |
| Sales Person: <b>Cal Davis</b>   | Phone: <b>446-1855</b>                              |  |
|  | Home Phone: <b>446-5521</b>                         |  |

Evanston-North Shore Multiple Listing Corporation

Directions: **West of Green Bay - Between Willow and Hill Road** *S. 3/75 St Hunt*

|  |   |                                      |
|--|---|--------------------------------------|
| Address: <b>326 Ridge</b>  | Lot Size: <b>85 x 187</b>   | Price: <b>\$ 120,000</b>             |
| City: <b>Winnetka</b>  | 1306  |                                      |
| Constr: <b>Frame</b>   | Rms. <b>9</b> Bed. <b>4</b> Baths <b>2½</b> Heat <b>steam gas</b>           | Contract:                            |
| Style: <b>Victorian + Coach House</b>  | Cost <b>boiler</b>  |                                      |
| Roof: <b>A.S.</b>  | Year <b>1974</b> Taxes <b>1974</b> Porches <b>Screened</b> Garage <b>2</b>  |                                      |
| Built: <b>Approx: 1871?</b> Faces: <b>East</b>   | 1st inst <b>\$885.21</b> MS-Det. <b>MS-Det.</b> Elect: <b>220V-110V</b>     |                                      |
| Basmt: <b>Full, divided, dark room w/sink, storage rooms, lavatory.</b>  |   | Approx:                              |
| 1st: <b>Entrance hall w/open staircase, living rm w/bookcases &amp; marble frpl plus bay, dining rm w/built-ins &amp; bay, parlor, kitchen w/birch cabinets &amp; built-in stainless steel range + 2 ovens, D&amp;D, and eating area, extra room could be den, laundry or TV rm, w/sink, pdr rm.</b> |   | LR <b>18'6x14'6</b>                  |
| 2nd: <b>Master bedroom w/alcove that could be study or dressing room, door to deck, 3 other bedrooms, 2 hall baths, cedar closet(1 updated).</b>   |   | DR <b>15x12'8</b>                    |
| Check: School: <b>Grade: Crow Island</b> JHS: <b>Skokie-Washburn</b> HS: <b>New Trier East</b>   |   | K <b>17'3x12</b>                     |
| Transp: <b>RR. C&amp;NW</b> Bus: <b>Other: Faith Hope</b>  |   | DEN <b>13x11</b>                     |
| Mortgage: <b>Existing</b> Available:   |   | FR TV (3m) <b>11.7x9.8</b>           |
| City water, <b>W&amp;K</b> Sanitary Sewer, <b>Skokie Sewer, Skokie Back</b>  |   | BR's <b>19x12+</b>                   |
| Special Assessments \$ <b>none known</b> for   |   | alcove <b>13'6x6'8</b>               |
| Remarks and any special conditions:  |   | <b>12'3x9'3</b>                      |
| <b>A FANTASTIC COACH HOUSE THAT RENTS FOR \$250 PER MONTH</b>  |   | <b>12'6x11'2</b>                     |
| <b>SEE SECOND SHEET</b>  |   | <b>13'6x10'7</b>                     |
| Titleholder: <b>James Dunlap</b> Brokerage Fee: <b>6% 1st \$50M; 3% on balance</b>   |   | Possession: <b>Immediate</b>         |
| This sheet is printed from information supplied by others. This information is considered accurate but neither the Corporation nor the REALTOR® is liable for errors. The listing may be changed without notice.   |   | Reason for Sale: <b>Out of state</b> |
| For office use only <b>022175</b>  | REALTOR® Office: <b>BAIRD &amp; WARNER, WINNETKA</b> Phone: <b>446-1855</b> | Title                                |
|  | Sales Person: <b>Joan Manierre</b> Home Phone: <b>446-2703</b>              |                                      |

1306A 326 Ridge, Winnetka Page 2

This authentic Victorian has had major and expensive work completed. New gas boiler in Fall 1974, central space pak air conditioning, custom made triple track storms and screens, new carpeting in all bedrooms, new disposal and one year old G.E. dishwasher. Kitchen has auxiliary electric heater and handsome new plaid carpeting. Circuit breakers and updated wiring. All that's left to be done is the decorating.

A most exciting COACH HOUSE filled with charm and artistically decorated that is presently rented on a month to month basis. Total of four rooms.

First floor: kitchen with stove and refrigerator, separate dining room with brick fireplace.

Second floor: Handsome pine panelled living room-family room combination with cathedral ceiling, brick fireplace, bedroom and full bath.

Separate furnace and hot water heater for coach house but not separate meters.

Coach House room measurements: Liv. Rm: 19'6x19'8      Bedroom: 16'6x14  
Din. Rm: 14x11'8      Kitchen: 10x7'4

Exclude: plaid drapes and chandelier in kitchen, gas BBQ  
Include: gas refrigerator in basement, drapes and carpeting.

BAIRD & WARNER, WINNETKA  
446-1855

022175

Evanston-North Shore Multiple Listing Corporation

The Winnetka Historical Society



326 Ridge, 1969



326 Ridge, 1978

OCT 5, 1871 JOHN ALLES TO JOHN T. DALE

JUNE 10, 1872 JOHN T. DALE SUBDIVIDES INTO 2 BLKS

SEP 20, 1872 STACY W. OSGOOD TO JOHN T. DALE

MAR 6 1879 JOHN T. DALE - 2ND SUBDIVISION

JUNE 13 1879 JOHN T. DALE ET. AL. ?

↓

JUNE 2, 1886 - ELLA M. BACON TO MARY S. GOSS <sup>SANFORD;</sup>

AUG 26, 1929 - MINNIE GOSS SOLD TO PARK & MARY PHIPPS

(PHIPPS DID MOST OF ALTERATIONS  
OWNED PROPERTY 1929-1950)

PARK PHIPPS TO  
JUNE 5, 1950 - JONATHAN W. STRONG

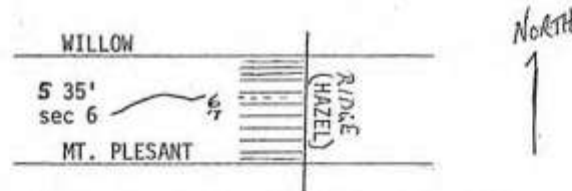
MAY 12, 1971 - JONATHAN STRONG TO W. R. DUNLAP

MAR 17 1975 - W. R. DUNLAP TO CHAS & SUSAN SHABICA.



GOSS HOUSE BUILT 18:  
326 Ridge (originally Hazel) Avenue  
Winnetka, Illinois  
Current owners: Dr. & Mrs. Charles W. Shabica

- Oct. 5, 1871 Jno. Ellis sells to Jno. T. Dale - property des. as Und 1/5 of N 1/2, SE 1/4, sec 20, T42N, R13E of 3rd prime meridian (warantee deed).<sup>1</sup>
- Dec. 7, 1871 Cath Shaefert Ho to J. T. Dale - Und 1/5, NE 1/4, SE 1/4, sec 20 (quit claim).<sup>1</sup>
- Jan. 1, 1872 J. T. Dale to Village of Winnetka - Part sec. (quit claim).<sup>1</sup>
- June 10, 1872 J. T. Dale - Subdivides into 2 blocks - NE 1/4, NE 1/4, SE 1/4, sec 20, (plat survey).<sup>2</sup>
- Sept. 20, 1872 Stacy W. Osgood to J. T. Dale - E 1/2, NE 1/4, SE 1/4, sec 20 (Release).<sup>1</sup>
- March 6, 1879 J. T. Dale et al. - Second subdivision NE 1/4, NE 1/4, 230716<sup>1</sup>, SE 1/4, sec 20 into 2 blocks (plat survey).<sup>1</sup> Dale's original price of lots was \$10 - \$12/foot depth-\$1770 (@ \$10/ft.).<sup>3</sup>
- June 13, 1879 J. T. Dale et al. - NE 1/4, NE 1/4, SE 1/4 (vacation).<sup>2</sup>



- June 2, 1896 Ella M. Bacon to Mary S. Goss - Lots 6 & 7, Dales 2nd Subdivision.<sup>1</sup>
- Dec. 1, 1887 Sheriff J. T. Waters to Mary S. Goss - (Levy) - 1st preceding in foreclosure).<sup>2</sup>  
1894 WATER SERVICE INSTALLED TO HOME BY SANFORD A. GOSS

June, 1898 Wm. Welsh makes sewer connection for Sanford A. Goss.<sup>4</sup>

1. Cook Co. Document number, 8th A room 802.
2. Cook Co. Document number, vol. 24ED, pg. 245, 269, 271.
3. Chamberlain, E. (1874) Chicago & its Suburbs pg. 392.

- ? Front porch added on (see photo 1).
- March 24, 1916 Sanford Goss dies.<sup>2</sup>
- August 26, 1929 Minnie Goss sells house to Mary (Park) Phipps et al. (warantee deed).<sup>2</sup>
- Oct., 1929 Park Phipps begins alteration (removes front porch). Removes 10' from rear of house<sup>6</sup> (photo 1), adds (rear door on N side (photo 3).  
Front door hood railing removed - pencilled in on photo 3 by Mary Phipps 1930.
- July, 1941 Park Phipps moves barn to present location.<sup>4</sup>
- Dec., 1941 Park Phipps converts barn to coach house.<sup>8</sup>
- 1942 2nd floor bath divided into 2 baths.
- 1947 Clay sewer converted to iron.
- June 5, 1950 Park Phipps sells house to Jonathan W. Strong<sup>2</sup> (warantee deed).  
Bay built off master bedroom N-side of house.
- May 12, 1971 Jonathan W. Strong sells house to J. R. Dunlap.<sup>2</sup>
- 1972 House declared historic structure.<sup>5</sup>  
Dunlap replaces furnace.  
installs space-pak air conditioning.  
installs storm windows - round tops covered w/ sheet aluminum. See slide 1.
- March 17, 1975 J. R. Dunlap sells house to Charles & Susan Shabica (warrantee deed).
- 1975 2nd fl. landing - non-original walls removed, railing & ballusters restored. Slides 16-19. Frame-in 2nd floor closet. Slides 20-21. Entrance hallway - plaster and wall paper. Slides 22,23.

- 4. Winnetka zoning permits.
- 5. Ill. Hist. Structures Survey, 1800 S. Prairie Ave., Chicago. Nat. Trust for Hist. Pres.
- 6. John Phipps - CMS letter, 7-30-76.
- 7. Letter Park Phipps to John Phipps July 11, 1976.
- 8. Better Homes & Gardens, Nov., 1946.

- 1976 House exterior - 12 layers paint removed - painted original white color. Slides 1-4.
- 1976 Kitchen expanded to include maid's room. Sliding glass doors to porch. Found seaweed insulation in wall (probably installed by Park Phipps, 1929). Slides 7,8,9.
- 75-76 Coach house slides 10,11,12.
- 1977 Balcony over front door restored based on literature rsch & 1929 photo #3. Slides 4,6.
- 1978 Deck constructed off kitchen - children's playhouse rebuilt & raised on stilts. Slides 13,14,15.
- 1978 Dining rm. - ceiling plastered, wall paper. Slides 24,25.
- 1979 Driveway expanded & resurfaced. Slide 26.
- 1979 Roof - 4 layers shingles removed - new shingles + 1/2" sheathing inst. Slides 27,28.
- 1981 Utility shed constructed rear-yard.
- 1982 Roof rafter insulated w/foil insulation, 120 bags. Vermiculite poured down walls from attic. (Fuel savings measured - 2 month study 21%).

Future Plans

Roof - restore Railing or Belvedere.

Rear porch - build railing appropriate to style of house.

# THIS WAS A BARN

Salvaged materials were added whenever they could be found

By L. Morgan Yost, A. I. A.

Photographs by S. W. Heath-Baker

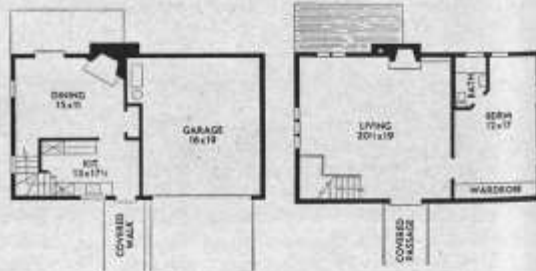


**BEFORE** The barn before remodeling was a plain rectangular box with a rakish cupola set atop it like a boy's cap on the back of his head

The fireplace corner of the living room is secluded and comfortable. The other end (lower picture) is well-lighted and cool. Furniture is arranged so the whole area is usable in spite of the low ceiling at the side walls. Note the use of regular clapboards on the sloping ceiling



**AFTER** A screened porch, broad chimney, dormers, and a more graceful window arrangement made the barn more up to date than the house it adjoins



**I**N 1929, Mr. and Mrs. Park Phipps of Winnetka bought a substantial Victorian house on a large piece of property. In one corner of the lot stood a barn, unused. They wanted to remodel it into a guest house, but for 15 years the barn just sat and deteriorated.

Then I was called in as architect to plan the remodeling. Plans were drawn, but much was left undecided because Mr. Phipps was constantly picking up materials and millwork—an old balustrade, for example, or a door, I dropped by when needed. Carpenters and masons did the exterior work, while Mr. Phipps did the interiors.

Because zoning laws prohibit two houses on one lot, the barn was moved and connected to the house by a bridge. Now guests or visiting relatives feel included in family activities, yet are provided with the extra privacy of their own living room, bedroom, and bath, and their own dining room, with its compact kitchen and sitting porch overlooking the garden. It's a fine solution for the doubled-up family.

52

BETTER HOMES & GARDENS, NOVEMBER, 1946

*Better Homes and Gardens*, November 1946: 52.

# ATTACHMENT B



April 17, 2025

Christopher Marx, AICP  
Associate Planner  
Village of Winnetka – Department of Community Development  
510 Green Bay Road  
Winnetka, Illinois 60093

Dear Mr. Marx,

The Winnetka Historical Society has reviewed Guarino Historic Resources Documentation's research on the Heath House at 326 Ridge. We agree with the assessment that the house possesses exceptional local architectural and historical significance and find Jean Guarino's research to be thorough and complete.

Sincerely,

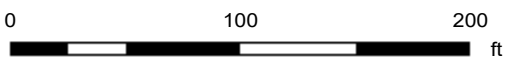
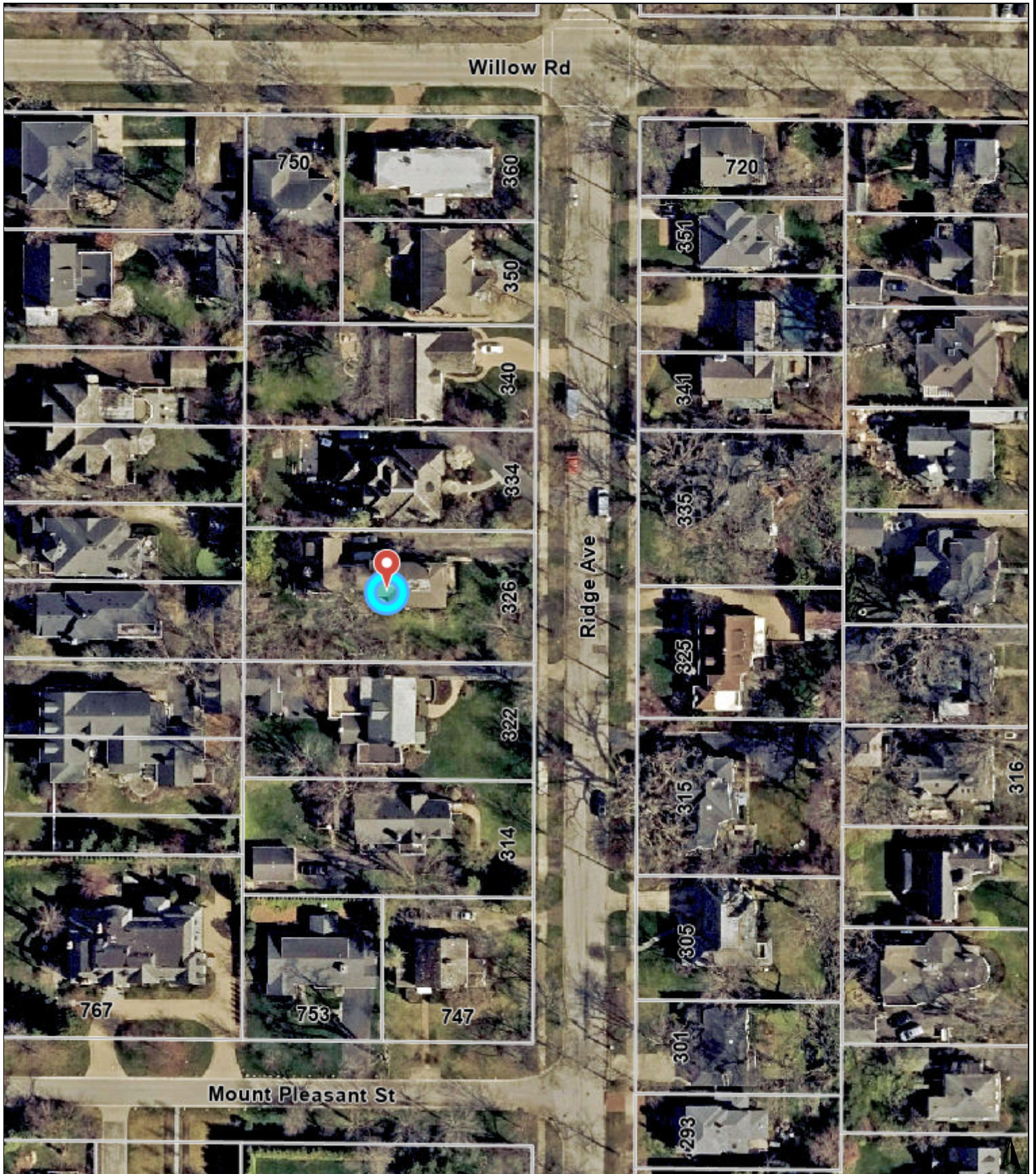
A solid black rectangular redaction box covering the signature of Mary Trieschmann.

Mary Trieschmann  
Executive Director

A solid black rectangular redaction box covering the signature of Meagan McChesney.

Meagan McChesney, PhD  
Curator

ATTACHMENT C



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



# MEMORANDUM VILLAGE OF WINNETKA

## COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** WINNETKA HISTORICAL SOCIETY  
**FROM:** ANN KLAASSEN, ASSISTANT DIRECTOR  
**DATE:** FEBRUARY 5, 2025  
**SUBJECT:** CASE NO. 25-03-HPC: 326 RIDGE AVENUE

### INTRODUCTION

On March 3, 2025, the Historic Preservation Commission (HPC) is scheduled to consider a request to demolish the residence at 326 Ridge Avenue. Please return any available information regarding the architectural and historical significance of the structure to Christopher Marx by the end of the day on Monday, February 24, 2025. If you have any questions, please feel free to contact me at [aklaassen@winnetka.org](mailto:aklaassen@winnetka.org) or (847) 716-3525.

### PRELIMINARY PROPERTY HISTORY STUDY/VILLAGE HALL RECORDS

#### Building Permits

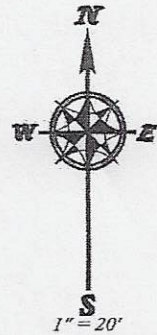
| <u>Date</u> | <u>Type</u>   | <u>Owner</u>               | <u>Architect</u> |
|-------------|---|----------------------------|------------------|
| 10-23-1929  | Alteration to Residence   | Park Phipps                | Owner            |
| 7-11-1941   | Move and Alter 2-story Frame Accessory Building   | Mr. & Mrs. Park Phipps     | Ernst Behkert    |
| 12-22-1941  | Alter and Add to 2-story Frame Single Family Dwelling (Alter interior of garage portion and attach accessory building to main building) | Mr. & Mrs. Park Phipps     | L. Morgan Yost   |
| 7-26-1976   | Remodel Kitchen of single family residence  | Mr. & Mrs. Charles Shabica | Fred Polito      |
| 6-22-1978   | Construct sun deck addition to single family residence  | Charles & Susan Shabica    | N/A              |
| 12-3-1981   | Build a detached shed   | C. W. Shabica              | N/A              |
| 3-29-1990   | Rebuild closets, install bay window   | Dr. & Mrs. Charles Shabica | Fred Polito      |



# MURRY AND MOODY, LTD.

## Land Surveyors

Illinois Professional Land Surveying Firm Corporation License No. 184-002845  
 933 S. Plum Grove Road, Suite 101  
 Palatine, Illinois 60067  
 www.murrysurvey.com info@murrysurvey.com Phone: (847)358-5960

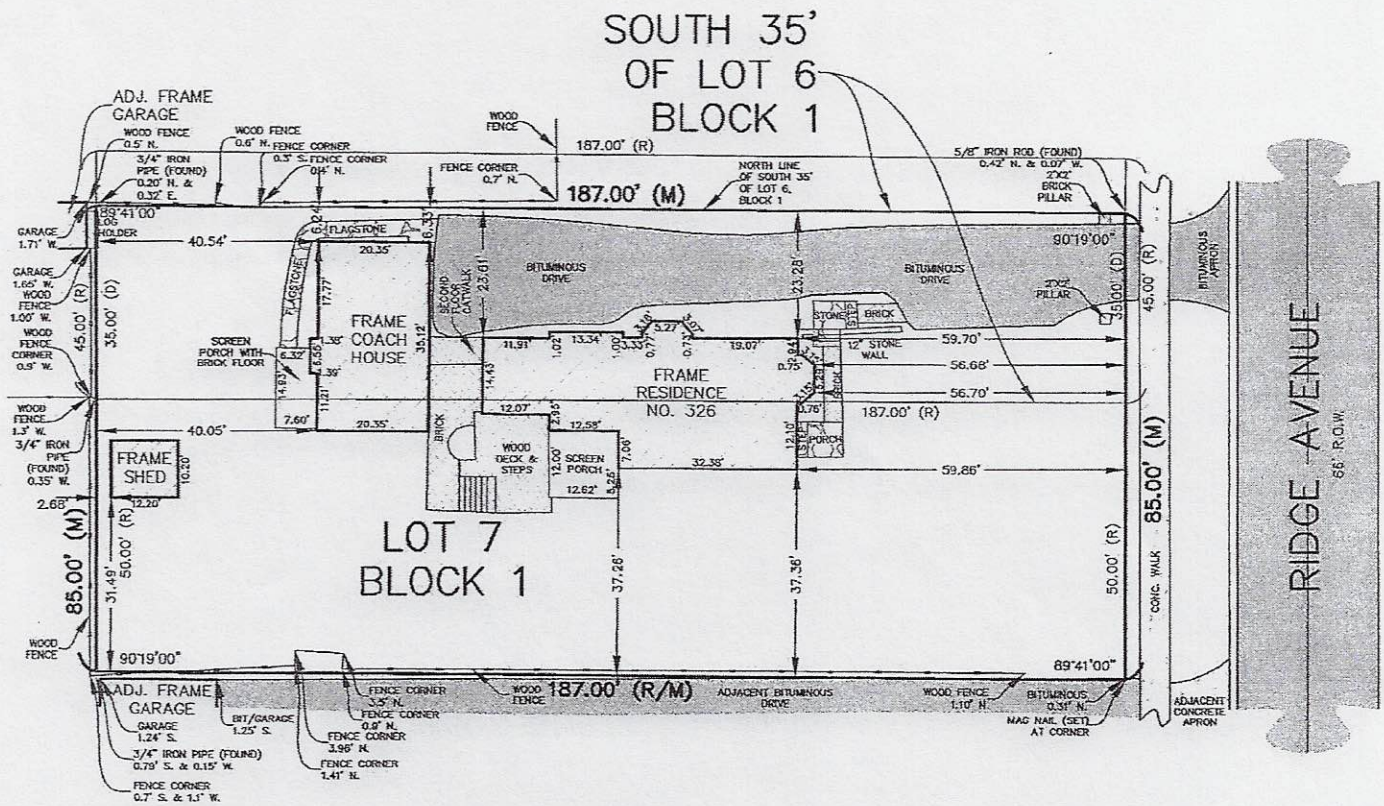


## PLAT OF SURVEY

### OF

THE SOUTH 35 FEET OF LOT 6 AND ALL OF LOT 7 IN BLOCK 1 IN DALE'S SECOND SUBDIVISION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA = 15,894.76 ± S.F. / 0.365 ACRES



#### LEGEND AND NOTES

Dimensions shown thus: 50.25 are feet and decimal parts thereof. Angular data shown thus: 90°00'00" indicate degrees, minutes and seconds.

50.25 / N 90°00'00" E indicates measure dimension / bearing.  
 (50.25) / (N 90°00'00" E) indicates record dimension / bearing.  
 [50.25 d] / [N 90°00'00" E d] indicates dead dimension / bearing.

Bearings shown hereon, if any, per local or assumed data, unless shown otherwise.

Compare your points before using same and report any differences immediately.

Check legal description with deed or title policy and report any discrepancy immediately. Building lines and easements, if any, shown hereon are as shown on the recorded subdivision plat or as indicated.

Order Number: 24-1327

Survey Made For: Jennifer M. Baratta  
 Attorney at Law P.C.

STATE OF ILLINOIS }  
 COUNTY OF COOK } s.s.

I, Barbara C. Murry, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey and that this professional service conforms to the current Illinois minimum standards for a boundary survey.

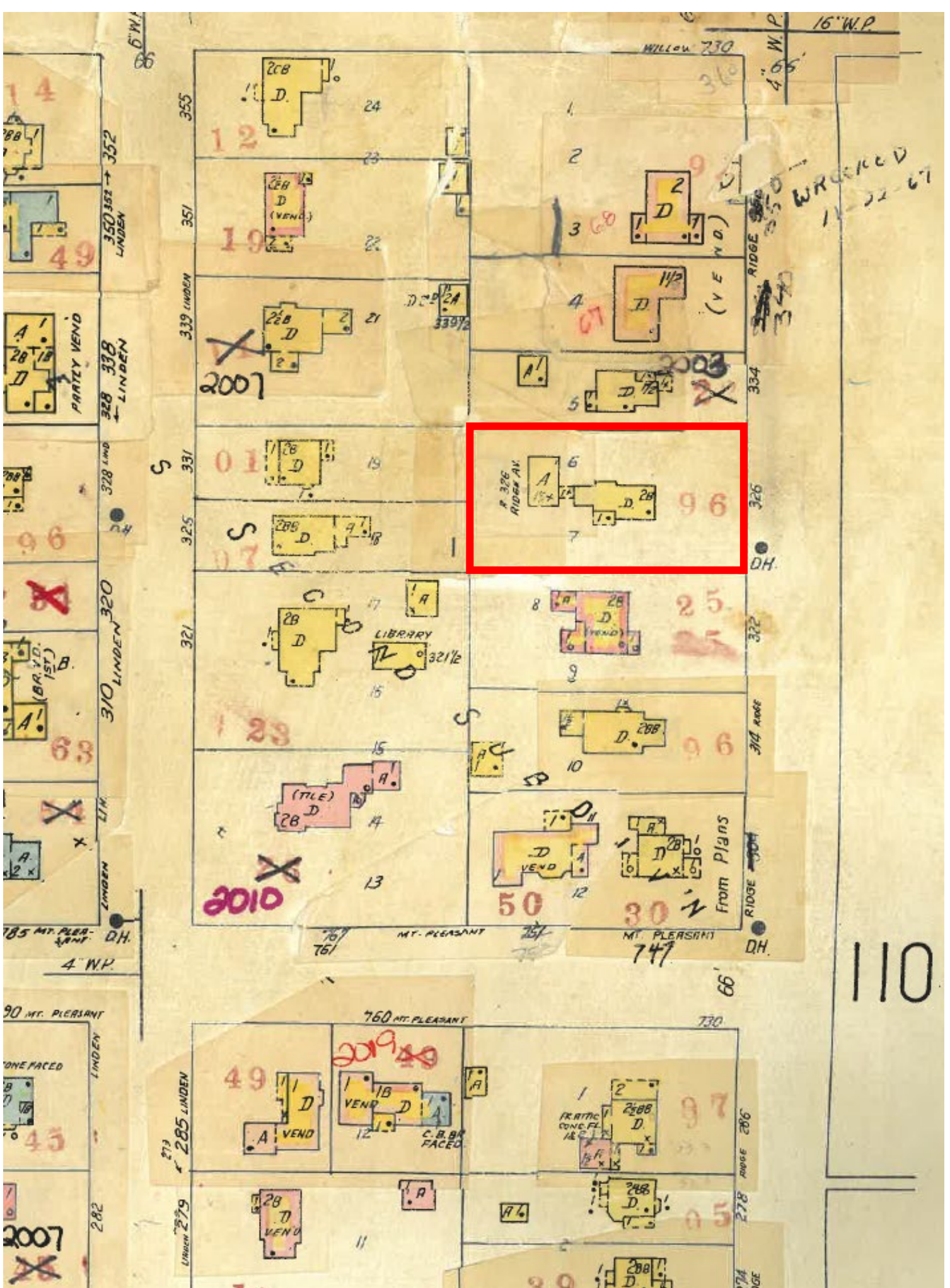
Date of completion of field work: December 30, 2024

Palatine, Illinois: December 31, 2024



Illinois Professional Land Surveyor - Barbara C. Murry 035-003,29  
 License Renewal date: November 30, 2026

Project Number: 24132700-  
 Field Book: 391L14-16  
 Drawing File: 24132700.dwg



**326 Ridge – January 2025**







## PROPERTY RESEARCH COVERSHEET



**Address:** 326 Ridge

**Construction Details:**

Original construction date: c. 1872

Construction type: Clapboard

Style: Italianate

**OWNERSHIP HISTORY:**

| OWNER/RESIDENT NAME                                      | DATES OCCUPIED | INFORMATION ATTACHED   | SIGNIFICANCE   |
|--|----------------|--|--|
| John T. Dale   | 1871           | WHS article on John T. Dale, excerpt from <i>History of Cook County</i>  | John Dale was an early Winnetka settler, three-time Village President, attorney, and prominent real estate developer who contributed immensely to the early development of the village.      |
| George W. and Jane S. Heath, Ella Mary Bacon (née Heath) | c. 1872 – 1886 | Plat of Survey for Dale's first Winnetka subdivision, 1880 census, Ancestry.com records, <i>Chicago Tribune</i> obituaries and articles, <i>Inter-Ocean</i> articles | George Heath was the longtime principal of the Ogden School in Chicago.  |
| Sanford A. Goss, Mary S. Goss, Minnie Goss <sup>1</sup>  | 1886 – 1929    | <i>Inter-Ocean</i> article, <i>Herald and News</i> article   | Sanford Goss was Deputy Sheriff of Cook County, bailiff in Cook County court and realtor with McGuire & Orr. He was also the Vice President of J.F. Temple & Sons plumbing supplies company. |

<sup>1</sup> Sanford and Mary Goss purchased this house in 1886. They were married in Massachusetts in 1883 and divorced in 1897. Sanford married Minnie Sanborn in 1900. The Goss's did not live in the house at 326 Ridge the entire time they owned it. Records show that they rented it to Roswell and Janet Mason for many years. Census records confirm that the Mason's "rented" rather than "owned" their home at 326 Ridge.

|                           |             |  |  |
|---------------------------|-------------|--|--|
| Park and Mary Phipps      | 1929 – 1950 | <i>Winnetka Talk</i> articles                    | Park Phipps was the head of the Department of Advertising and Printing Design at the Art Institute of Chicago. |
| Jonathan W. Strong        | 1950 – 1971 | <i>Winnetka Talk</i> articles                    |  |
| Jas. R. Dunlap            | 1971 – 1975 |  |  |
| Charles and Susan Shabica | 1975 – 2024 | WHS articles and information on Charles Shabica. | Charles Shabica is a coastal geologist, engineer, consultant and former professor.                             |

**ARCHITECTS:**

| <b>ARCHITECT NAME</b> | <b>DATE AND DESCRIPTION OF PROJECT</b>   | <b>INFORMATION ATTACHED</b>  |
|-----------------------|--|--|
| Ernst Benkert         | 1941 – move and alter 2-story frame accessory building   | <i>Winnetka Talk</i> obituary, American Institute of Architects directory        |
| L. Morgan Yost        | 1941 – alter and add to 2-story frame single family dwelling (alter interior of garage portion and attach accessory building to main building) | <i>Chicago Tribune</i> obituary  |
| Frank Polito          | 1976 – remodel kitchen of single-family residence; 1990 – rebuild closets, install bay window  | <i>Chicago Tribune</i> obituary, WHS information on 545 Oak (designed by Polito) |

**RESEARCH SOURCES USED:** *Winnetka Talk*, Cook County Assessor records, Cook County Recorder records, historic phone books, WHS property files, WHS digital files, Ancestry.com, *Chicago Tribune*, *Inter-Ocean*

**Findings:**

Our research indicates that this property maintains both historical and architectural significance as one of the remaining Victorian houses built by prominent early Winnetkan John T. Dale, as one of the oldest structures still standing in the village, and as an important example of the Italianate style.

John T. Dale was an accomplished attorney, developer, and investor who contributed immensely to the development of Winnetka in the 19<sup>th</sup> century. Dale began investing in Winnetka in 1871 when he purchased a large swath of land just south of Willow Road (the WHS historic walking tour refers to this area as the “Linden-Ridge Historic Corridor”). Within a few years, Dale had

built at least four large Victorian homes in his first subdivision – 352 Linden, 352 Ridge, 328 Linden, and 326 Ridge. Dale himself lived in 352 Linden and, later, 352 Ridge. He built 328 Linden for his in-laws, Riley and Ruth Graves (owners of Winnetka’s first general store – the Graves General Store – opened in 1855). By 1890, Dale had at least three large subdivision/addition developments in Winnetka.

In addition to practicing law and developing real estate, Dale was accomplished as a writer and local government leader. He wrote a book on morals for young men, which became required reading for New Trier students. He also served as the second president of the Village of Winnetka from 1873 to 1874. Remarkably, Dale served two additional terms as Village president in his lifetime, from 1876 to 1877 and again from 1887 to 1888.

The first residents and second owners of 326 Ridge were likely George and Jane Heath, who came to Winnetka when they were displaced by the Great Chicago Fire of 1871.<sup>2</sup> George Heath was a well-known educator in Chicago, serving as the long-time principal of the Ogden School. Several other prominent figures owned the home at 326 Ridge, including Cook County Deputy Sheriff and realtor Sanford Goss, Art Institute of Chicago professor Park Phipps, and, significantly, geologist and engineer Charles Shabica.

In addition to its association with John T. Dale and several notable Winnetkans, 326 Ridge is also significant as a c. 1872 Italianate style home. It was included in the 1972 Illinois Historic Structures Survey, which “identified architecturally interesting properties throughout Illinois.” In addition, it is included on the Illinois State Preservation Office’s Historic & Architectural Resources Geographic Information System database. In 1989, architectural historian Susan Benjamin determined that the structure, with its “simple Italianate design with typical detailing,” fit several criteria for local historic status and would be a contributing building in a Historic District.

It is worth noting that the coach house is also historically significant in its own right. The coach house was originally the property’s barn. It was transformed into a garage and coach house in 1941 and still stands today.

Both the house and coach house at 326 Ridge have been featured in several publications, including the *Chicago Tribune*, *Winnetka Talk*, *Suburban Sun-Times*, and *Better Homes & Gardens*. This house is also featured as a stop on one of the Winnetka Historical Society’s historic walking tours.

The demolition of 326 Ridge would be a devastating loss for the Winnetka community and would greatly diminish the historic integrity of the “Linden-Ridge Historic Corridor.”

---

<sup>2</sup> Records indicate that the Heaths moved out of the city after the fire, and we know that they paid property taxes on their home in Dale’s first subdivision in 1878. It seems likely that 326 Ridge was completed c. 1872 or c. 1873 like the other John T. Dale homes and that the Heaths purchased the home upon its completion.

**Date of Research:** 2/12/2025

**Submitted by:**

Meagan McChesney, PhD  
Curator, Winnetka Historical Society

Mary Trieschmann, MS Ed  
Executive Director, Winnetka Historical Society

ADDRESS 326 RIDGE

OTHER SURVEYS ISS, HERIT. HOMG.

LOCAL CRITERIA 4, 6, 10

HISTORIC NAME  
COMMON NAME

TARGET AREA IV  
DATE 11/13/89

SURVEYOR SB



(Building C)

Roll # 8 Photographer SB  
Frame # 27-28 Date 10/13/89  
Building facing E

WINNETKA HISTORICAL AND ARCHITECTURAL SURVEY

GENERAL DESCRIPTION

- 1. Classification: Building  Site \_\_\_\_\_ Structure \_\_\_\_\_ Object \_\_\_\_\_  
Other (describe) \_\_\_\_\_
- 2. Original Use: RESID 3. Current Use: RESID
- 4. Status: Occupied  Unoccupied \_\_\_\_\_ 5. Public or Private? PRIV.
- 6. Open to Public? N 7. Integrity: Unaltered \_\_\_\_\_ Altered  Unsure \_\_\_\_\_

Work in Progress (describe) \_\_\_\_\_

- 8. Type of Alteration: Restoration \_\_\_\_\_ Rehabilitation \_\_\_\_\_ Remodeling \_\_\_\_\_  
Addition \_\_\_\_\_ Building Sided? \_\_\_\_\_ Material \_\_\_\_\_

Building Moved (Date): \_\_\_\_\_ Orig. Location: \_\_\_\_\_

Describe Alterations, with dates: GARAGE Addition - or  
ADDED CONCRETE SPACE  
DOORWAY?  
BARN REMODELED +

STORMS

ARCHITECTURAL INFORMATION

- 9. Architectural Style: ITALIANATE
- 10. Noteworthy Features: WINDOWS  
CORNICE

11. Architect: \_\_\_\_\_ 12. Builder: \_\_\_\_\_

Source of Information: \_\_\_\_\_

13. Date of Construction: c1874 Source: SB + NN PLAQUE

14. Comments on Significance: SIMPLE ITALIANATE DESIGN

wt typical detailing of the period  
at the ROOFLINE, CONTRIB. BLDG IN. H.P.

PHYSICAL FEATURES

- 15. Overall Shape or Plan: RECT
- 16. Stories: 2 Approx. Dimensions(see Sanborns): \_\_\_\_\_
- 17. Foundation (Material and Color): BRICK
- 18. Walls (Material and Color): BEIGE CLAPBOARD
- 19. Roof: Type HIP Material ASPHALT Original? N  
Pitch LOW Color BL
- 20. Dormers? No., Location, Material: \_\_\_\_\_
- 21. Chimneys? No., Location, Material: 1 red brick - N SIDE OF HOUSE
- 22. Ornamental Trim (Material and Color): BEIGE - SINGLE ORNAMENTAL  
BRACKETS + DENTILS UNDER CORNICE
- 23. Entrance(s) (Location and Description): DOOR W/ RECTANGULAR PANELING  
(NOT OF PERIOD) TOPPED BY DEEP BRACKETED CORNICE  
W/ 2 SPINDLED BALUSTRADE
- 24. Porches: \_\_\_\_\_
- 25. Window Treatment: 1/2 WINDOWS topped w/ SEMI-CIRCULAR  
ARCHES
- 26. Other: PROJECTING BAYS W/ RECTANGULAR PANELS +  
DENTILS UNDER CORNICE

SITE INFORMATION

- 27. Landscape Description: Style \_\_\_\_\_  
Ravine \_\_\_\_\_ Riparian \_\_\_\_\_ Other \_\_\_\_\_  
Noteworthy Features: BRICK GATEPOSTS at N<sup>th</sup> END of  
DRIVEWAY
- 28. Landscape Architect: \_\_\_\_\_ Source of Info.: \_\_\_\_\_
- 29. Secondary Structures? \_\_\_\_\_ Type: Fence \_\_\_\_\_ Wall \_\_\_\_\_ Coach House \_\_\_\_\_  
Barn \_\_\_\_\_ Detached Garage  Greenhouse \_\_\_\_\_ Other \_\_\_\_\_
- 30. Relation to Streetscape: FACES ST

BACKGROUND DATA

31. Current Owner: \_\_\_\_\_ Address: 226 Ridge Phone: \_\_\_\_\_  
32. Occupant: \_\_\_\_\_ 33. Original Owner: \_\_\_\_\_  
34. Historical Information on Ownership: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

35. Permit Information: Same as #403 made 11-8-29 len. 4 ft  
made 5-24-30. Alter. + Add to 2 story, LOS Per #403  
12-22, 41. Owner P Phipps Arch M. Post

36. Legal Description: \_\_\_\_\_  
\_\_\_\_\_  
(Location) \_\_\_\_\_

37. P.I.N. #: \_\_\_\_\_ 38. Zoning Classification: \_\_\_\_\_

39. Listing on Existing Surveys (Give Date Listed):  
National Register \_\_\_\_\_ Heritage Home \_\_\_\_\_ IHSS \_\_\_\_\_  
IHLS \_\_\_\_\_ Other: NHL \_\_\_\_\_ IR \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_

40. National Register Potential: Individual \_\_\_\_\_ Contrib. in District \_\_\_\_\_  
Architectural Merit But Sided \_\_\_\_\_

HISTORICAL INFORMATION

41. Area of Significance: \_\_\_\_\_  
42. Historic Information on Historic Events, Persons identified with Building, Importance  
in Area of Significance: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Sources of Information: \_\_\_\_\_

43. Level of Significance: Local \_\_\_\_\_ State \_\_\_\_\_ National \_\_\_\_\_

THE VILLAGE OF WINNETKA  
Department of Public Works

APPLICATION FOR BUILDING PERMIT  
and for Certificate of Occupancy and Compliance

Winnetka, Illinois, Oct. 23 1929

TO THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to build a 1 Story

and Basement Alteration to Residence  
(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)

PROPERTY DESCRIPTION — LOT 6474 1/2 Block 1

Subdivision Dales 2nd Addn

STREET and NUMBER 326 Ridge ave

DIMENSIONS of BUILDING — Front 18 feet. Depth 24 feet. Height \_\_\_\_\_ feet

NUMBER of ROOMS none added

KIND of MATERIAL same

OWNER Park Phipps Address \_\_\_\_\_

TOTAL COST 3500

ARCHITECT owner Address \_\_\_\_\_

BUILDER Cadenhead Co. Address 8 E. Huron St.

CARPENTER " Address \_\_\_\_\_

MASON " Address \_\_\_\_\_

SEWER BUILDER David Park Address \_\_\_\_\_

PLUMBER " Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_

REMARKS \_\_\_\_\_

Application is also made for a **Certificate of Occupancy and Compliance** to be issued after the completion of the building.

We hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka.

Permit Issued Oct 23 1929

Permit Number 3723

Fee none

SIGNED Cadenhead Co

ADDRESS 8 E. Huron St Chicago

THE VILLAGE OF WINNETKA  
Department of Public Works  
APPLICATION FOR BUILDING PERMIT  
and for Certificate of Occupancy and Compliance

Winnetka, Illinois, JULY 11, 1971

THE SUPT. OF PUBLIC WORKS;

Application is hereby made for a permit to MOVE + ALTER a 2 story  
and Basement FRAME ACCESSORY BUILDING

(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)

PROPERTY DESCRIPTION—LOT S. 35 FT. OF 6 Block 1  
+ ALL OF LOT 7.  
Subdivision DALES 2ND

STREET and NUMBER 326 RIDGE AVE

DIMENSIONS of BUILDING—Front 35-0 feet. Depth 20-2 feet. Height \_\_\_\_\_ feet

NUMBER of ROOMS \_\_\_\_\_

KIND of MATERIAL FRAME + CONCRETE

OWNER MR. + MRS. PARK PHIPPS Address \_\_\_\_\_

TOTAL COST \$1000-

ARCHITECT ERNST BEHKERT Address \_\_\_\_\_

BUILDER JOSEPH KNEIP Address WILPETTE

CARPENTER + MOVER JOHN FOSTER Address EVANSTON

MASON \_\_\_\_\_ Address \_\_\_\_\_

SEWER BUILDER \_\_\_\_\_ Address \_\_\_\_\_

PLUMBER \_\_\_\_\_ Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_ Address \_\_\_\_\_

REMARKS \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Application is also made for a Certificate of Occupancy and Compliance to be issued after the completion of the building.

WE hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka.  
(OR WE)

Permit Issued JULY 11, 1971

Building Permit Number 5000

Occupancy Permit Number \_\_\_\_\_

SIGNED Park Phipps

ADDRESS 326 Ridge Ave, Winnetka

THE VILLAGE OF WINNETKA  
Department of Public Works  
**APPLICATION FOR BUILDING PERMIT**  
**and for Certificate of Occupancy and Compliance**

Winnetka, Illinois, DEC. 22, 1971

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to ALTER + ADD TO a 2 story  
 and Basement FRAME SINGLE FAMILY DWELLING ALTER INTERIOR OF GARAGE PORTION  
 + ATTACH ACCESSORY BLDG TO MAIN BLDG.  
(TYPE OF BUILDING SUCH AS RESIDENCE, GARAGE, ETC.)

PROPERTY DESCRIPTION—LOT S35 FT. OF LOT 6, Block 1  
+ ALL OF LOT 7  
 Subdivision DALES 2<sup>ND</sup>

STREET and NUMBER 326 RIDGE AVE,

DIMENSIONS of BUILDING—Front \_\_\_\_\_ feet. Depth \_\_\_\_\_ feet. Height \_\_\_\_\_ feet

NUMBER of ROOMS \_\_\_\_\_

KIND of MATERIAL FRAME, METAL LATH + PLASTER

OWNER MR. + MRS. PARK PHIPPS Address \_\_\_\_\_

TOTAL COST \$1000-

ARCHITECT L. MORGAN YOST Address WILMETTE

BUILDER \_\_\_\_\_ Address \_\_\_\_\_

CARPENTER HERMAN THELIN Address WILMETTE

MASON FRANK KASSEN Address "

SEWER BUILDER ANDREW PARK Address WINNETKA

PLUMBER " " Address \_\_\_\_\_

ELECTRICIAN \_\_\_\_\_ Address \_\_\_\_\_

REMARKS \_\_\_\_\_

Application is also made for a Certificate of Occupancy and Compliance to be issued after the completion of the building.

I (OR WE) hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka.

Permit Issued DEC 22, 1971

Building Permit Number 5066

SIGNED Margaret Phipps

Occupancy Permit Number \_\_\_\_\_

ADDRESS 326 Ridge Ave

THE VILLAGE OF WINNETKA

Department of Public Works

APPLICATION FOR BUILDING PERMIT

and for Certificate of Occupancy and Compliance

Winnetka, Illinois, July 21, 1976

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to Remodel kitchen (work to be performed)

Single Family Residence.

(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION—

Table with REAL ESTATE INDEX NUMBER (05, 20, 403, 018) and Vol. ITEM

STREET and NUMBER 326 Ridge Ave.

DIMENSIONS of BUILDING—Front feet. Depth feet. Height feet.

NUMBER of ROOMS

Table with columns for EST. CONST. COST, KIND of MATERIAL, PHONE NO., and various trades (OWNER, ARCHITECT, BUILDER, etc.)

REMARKS

Date Job Completed

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

We hereby certify that we are the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

We hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and we hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued 7-26-76 by HWB SIGNED Mr/Mrs. Charles Shabica Building Permit Number 9564 ADDRESS 326 Ridge Ave. Winnetka, Ill. Occupancy Permit Number

C. B. No. 57168 PHONE NO.

THE VILLAGE OF WINNETKA

Department of Public Works

APPLICATION FOR BUILDING PERMIT

and for Certificate of Occupancy and Compliance

Winnetka, Illinois, June 16, 1978

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to Construct sun deck addition to

(work to be performed)

single family residence.

(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION--

| REAL ESTATE INDEX NUMBER |    |      |     |
|--------------------------|----|------|-----|
| 05                       | 20 | 403  | 018 |
| Vol.                     |    | ITEM |     |

STREET and NUMBER 326 Ridge

DIMENSIONS of BUILDING--Front feet. Depth feet. Height feet.

NUMBER of ROOMS

EST. CONST. COST \$1,000

KIND of MATERIAL Frame

PHONE NO.

OWNER Charles & Susan Shabica

Address 326 Ridge

446-4357

ARCHITECT Address

BUILDER Charles Shabica

Address same

CARPENTER Same

Address

MASON Address

SEWER BUILDER Address

PLUMBER Address

ELECTRICIAN Charles Shabica

Address

REMARKS Owner/Electrician to comply with Village Electrical Ordinances

Date Job Completed

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

We hereby certify that we are the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

We hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and we hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued June 22, 1978 by HWB

SIGNED [Signature]

Building Permit Number 9841

ADDRESS 326 Ridge

Occupancy Permit Number

Winnetka, Ill.

C. B. No. 67353

PHONE NO.

THE VILLAGE OF WINNETKA

Department of Public Works

APPLICATION FOR BUILDING PERMIT

and for Certificate of Occupancy and Compliance

Winnetka, Illinois, December 3, 1981

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to (work to be performed)

Build detached shed to single family residence.

(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION

Table with REAL ESTATE INDEX NUMBER (05, 20, 403, 018) and Vol. 101 ITEM

STREET and NUMBER 326 Ridge Ave.

DIMENSIONS of BUILDING—Front 10 feet. Depth 12 feet. Height 9 feet.

NUMBER of ROOMS 1

EST. CONST. COST \$1,000 KIND of MATERIAL Frame PHONE NO.

OWNER C. W. Shabica Address 326 Ridge Winnetka 446-4357

ARCHITECT Address

BUILDER Same Address

CARPENTER Address

MASON Address

SEWER BUILDER Address

PLUMBER Address

ELECTRICIAN Address

REMARKS

Date Job Completed

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

I hereby certify that I am the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

I hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and I hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued December 3, 1981 by Gil

SIGNED [Signature]

Building Permit Number 10328

ADDRESS 326 Ridge Ave.

Occupancy Permit Number

Winnetka, Ill. 60093

C. B. No. 86454

PHONE NO.

B.P. = 65.00

Department of Public Works

APPLICATION FOR BUILDING PERMIT

and for Certificate of Occupancy and Compliance

Winnetka, Illinois,

MARCH 29, 1990

THE SUPT. OF PUBLIC WORKS:

Application is hereby made for a permit to REBUILD CLOSETS, INSTALL BAY WINDOW

(work to be performed)

RESIDENCE

(Type of Building Such as Residence, Garage, Etc.)

PROPERTY DESCRIPTION

Lot - 8 + 9 A-5  
BL 1 8005

| REAL ESTATE INDEX NUMBER |    |                      |     |
|--------------------------|----|----------------------|-----|
| 05                       | 20 | 403                  | 018 |
| Vol. 101                 |    | ITEM <del>2008</del> |     |

STREET and NUMBER 326 RIDGE AVE

DIMENSIONS of BUILDING - Front 25' feet. Depth 58' feet. Height 28' feet.

NUMBER of ROOMS 8

EST. CONST. COST \$6000 KIND of MATERIAL WOOD PHONE NO.

OWNER DR & MRS CHARLES SHABICA Address 326 RIDGE AVE WINN. 446-4357

ARCHITECT FRED POLITO Address 2099 GREENVIEW, NORTHBROOK 564-3533

BUILDER WILLIAM HURTT Address 866-6737

CARPENTER Address

MASON Address

SEWER BUILDER Address

PLUMBER Address

ELECTRICIAN Address

REMARKS

Date Job Completed

Application is also made for a CERTIFICATE OF OCCUPANCY AND COMPLIANCE to be issued after the completion of the building.

WE (I or We) hereby certify that WE ARE (I am or We are) the legal owner of all the property described above, comprising the land proposed to be built upon as shown on the plat and building plans submitted with this application and including all open spaces required by the Zoning Ordinance of the Village of Winnetka.

WE (I or We) hereby agree to construct the above described building in accordance with the plat, building plans and specifications submitted herewith, and in strict compliance with all provisions of the Zoning Ordinance, Building Code and Health Regulations of the Village of Winnetka, and WE (I or We) hereby consent to inspection of the work during construction and upon completion of construction to establish such compliance.

Permit Issued 4-12-90 by WJK SIGNED Charles W Shabica Susan E. Shabica

Building Permit Number 12339A ADDRESS 326 RIDGE AVE WINNETKA, IL

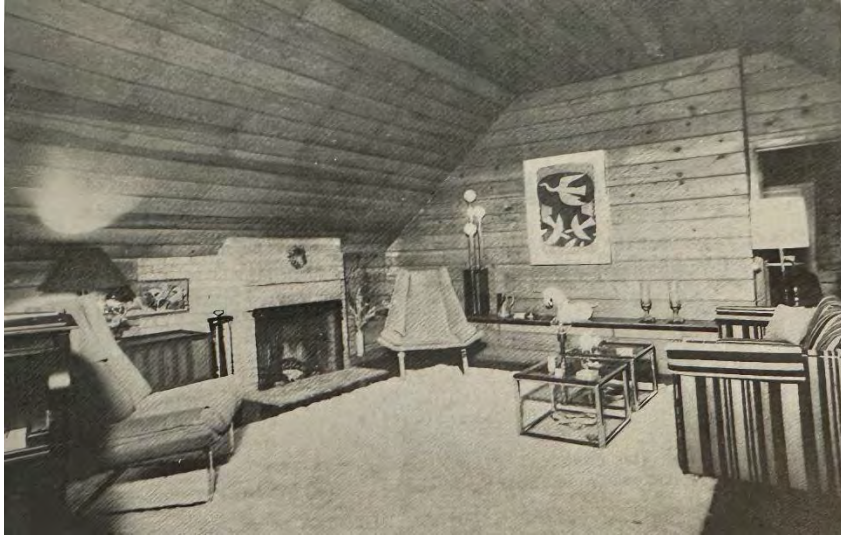
Occupancy Permit Number No. 11657 PHONE NO. 446-4357



326 Ridge, 1901



326 Ridge, 1969



326 Ridge coach house interior, 1974



326 Ridge, 1975



326 Ridge, 1975



326 Ridge, 1976



326 Ridge, 1976



326 Ridge coach house, 1976



326 Ridge, 1978



326 Ridge, 1979



326 Ridge, 1982



326 Ridge, 1982



326 Ridge, 2007



326 Ridge, 2017



326 Ridge, 2023



Park Phipps, 1914

Info from Chicago Architecture Foundation  
cards used by Joan Peck  
when leading tours

22 15  
326 Ridge approx. 1871

Italianate - low hip roof. May have had widow's walk.  
Brackets. Narrow hooded windows. Bargeboard was  
probably decorated.

Insulation: seaweed <sup>ee</sup> button tufted between newspapers.

Could this have been built by Dale??

Orig. had porch across front + extending beyond  
to make a porte cochere.

1941 coach house converted from barn.

WIN  
POS

# The Winnetka Historical Society

## ADDENDUM II

### Presidents of the Winnetka Village Council

|                               |                    |
|-------------------------------|--------------------|
| Artemas Carter .....          | 1869 - 1873        |
| John T. Dale .....            | 1873 - 1874        |
| James L. Willson .....        | 1874 - 1875        |
| James L. Miller .....         | 1875 - 1876        |
| John T. Dale .....            | 1876 - 1877        |
| Samuel Shackford .....        | 1877 - 1878        |
| James L. Willson .....        | 1878 - 1884        |
| John T. Dale .....            | 1884 - 1888        |
| Sanford S. Burr .....         | 1888 - 1892        |
| <u>Stacey W. Osgood</u> ..... | <u>1892 - 1894</u> |
| Theodore S. Dick .....        | 1894 - 1895        |
| Charles S. Thorne .....       | 1895 - 1898        |
| R. B. McConnell .....         | 1898 - 1899        |
| Frank E. Herdman .....        | 1899 - 1902        |
| George Baker .....            | 1902 - 1903        |
| Alfred E. McCordic .....      | 1903 - 1904        |
| Arthur B. Jones .....         | 1904 - 1905        |
| Edward C. Kohler .....        | 1906 - 1907        |
| W. B. McIlvaine .....         | 1907 - 1909        |
| Samuel Hallett Greeley .....  | 1909 - 1911        |
| Robert Stevenson, Jr. ....    | 1911 - 1913        |
| Sherman M. Goble .....        | 1913 - 1915        |
| Eugene A. Rummel .....        | 1915 - 1917        |
| William D. McKenzie .....     | 1917 - 1919        |
| John S. Miller .....          | 1919 - 1927        |
| Henry F. Tenney .....         | 1927 - 1929        |
| William B. Moulton .....      | 1929 - 1942        |
|                               | (longest tenure)   |
| Arthur E. Bryson .....        | 1942 - 1946        |
| William S. Warfield III ..... | 1946 - 1950        |
| Lester C. Rogers .....        | 1950 - 1952        |
| Carl S. Lloyd .....           | 1952 - 1956        |
| Kenneth M. Henderson .....    | 1956 - 1960        |
| Vernon Welsh .....            | 1960 - 1964        |
| Lawrence Howe .....           | 1964 - 1968        |
| Goff Smith .....              | 1968 - 1970        |
| Irwin J. Askow .....          | 1970 - 1971        |
| Edward Hickey .....           | 1971 - 1974        |
| Augustus Knight Jr. ....      | 1974 - 1975        |
| Augustus Knight Jr. ....      | 1975 -             |

re estimated. The 1890  
The 1912 through 1918  
data is from the School

.....12,219  
.....12,166  
.....12,359  
.....12,692  
.....12,813  
.....12,817  
.....12,865  
.....12,837  
.....12,859  
.....12,980  
.....12,879  
.....12,605  
.....12,430  
.....12,663  
.....12,509  
.....12,482  
.....12,847  
.....12,105  
.....13,058  
.....13,405  
.....14,081  
.....14,100  
.....14,500



WINNETKA ARCHITECTURAL SURVEY

NO. \_\_\_\_\_

ADDRESS: 326 RIDGE AVE SIDE OF STREET: WEST

PRESENT OWNER: DR. & MRS. CHARLES W. SHABICA PHONE: 446-4357

DATE PURCHASED: March 17, 1975

PREVIOUS OWNERS: (Please list if known)

NAME

PRESENT ADDRESS

YEARS (FROM/TO)

CONSTRUCTION:

- Frame
- Brick
- Stucco

STYLE:

- Victorian <sup>Italian Villa style</sup>
- Georgian
- \_\_\_\_\_

DATE BUILT: 1878

SOURCE: \_\_\_\_\_

ARCHITECT/BUILDER: \_\_\_\_\_

FOUNDATION:  BRICK  STONE  CONCRETE

OUTBUILDINGS? (Specify-Garage, etc) COACH HOUSE converted from barn

ROOF: GABLE ( Front, Side, Composite )  HIP MANSARD GAMBREL

TOWERS? \_\_\_\_\_ CUPOLA? \_\_\_\_\_ DORMERS? \_\_\_\_\_ EVIDENCE FOR Belvedere or windows walk

ENTRANCE: FRONT--CENTER  FRONT--SIDE SIDE OTHER

OTHER FEATURES: (Porch; Portico, etc.):

WINDOWS  BAY WINDOWS  STAINED GLASS?

ORNAMENTAL:  BRACKETS UNDER EAVES?  CORBELLED CHIMNEY? (Please describe) \_\_\_\_\_

REMODELING: (Please describe known changes): SEE ATT

Please attach current photo if possible. Are older photo donation? YES

Do you have any articles, clippings or other historical d copying? YES

Would you be interested in showing your home for an histo YES ( ) NO ( )

Please expand your commentary on history of your home on sheet.

THE WINNET Herita Robert



WTKA HERITAGE HSE COMM  
C/O ROBT, REMPERT  
379 ROSEWOOD WTKA IL 60093

OCT 5, 1871 JOHN ALLES TO W. H. T. DALE

JUNE 10, 1872 W. H. T. DALE SUBDIVIDES INTO 2 BLS

SEP 20, 1872 STACY W. OSGOOD TO W. H. T. DALE

MAR 6 1879 W. H. T. DALE - 2ND SUBDIVISION

JUNE 13 1879 W. H. T. DALE ET. AL. ?

W

JUNE 2, 1886 - ELLA M. BACON TO MARY S. GOSS <sup>SANFORD;</sup>

AUG 26, 1929 - MINNIE GOSS SOLD TO PARK & MARY PHIPPS

(PHIPPS DID MOST OF ALTERATIONS  
OWNED PROPERTY 1929-1950

<sup>PARK PHIPPS TO</sup>  
JUNE 5, 1950 - JONATHAN W. STRONG

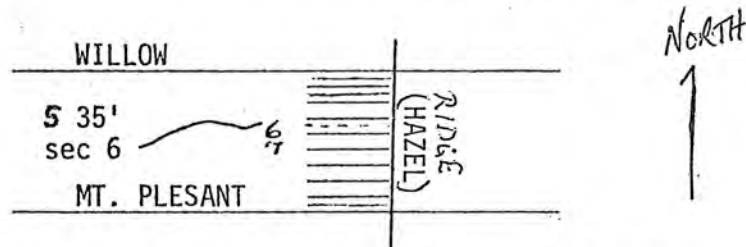
MAY 12, 1971 - JONATHAN STRONG TO W. R. DUNLAP

MAR 17 1975 - W. R. DUNLAP TO CHAS. SUSAN SHABICA.



GOSS HOUSE BUILT 18:  
 326 Ridge (originally Hazel) Avenue  
 Winnetka, Illinois  
 Current owners: Dr. & Mrs. Charles W. Shabica

- Oct. 5, 1871 Jno. Ellis sells to Jno. T. Dale - property des. as Und.  
 1/5 of N 1/2, SE 1/4, sec 20, T42N, R13E of 3rd prime  
 meridian (warantee deed).<sup>1</sup>
- Dec. 7, 1871 Cath Shaefert Ho to J. T. Dale - Und 1/5, NE 1/4,  
 SE 1/4, sec 20 (quit claim).<sup>1</sup>
- Jan. 1, 1872 J. T. Dale to Village of Winnetka - Part sec. (quit  
 claim).<sup>1</sup>
- June 10, 1872 J. T. Dale - Subdivides into 2 blocks - NE 1/4, NE 1/4,  
 SE 1/4, sec 20, (plat survey).<sup>2</sup>
- Sept. 20, 1872 Stacy W. Osgood to J. T. Dale - E 1/2, NE 1/4,  
 SE 1/4, sec 20 (Release).<sup>1</sup>
- March 6, 1879 J. T. Dale et al. - Second subdivision NE 1/4, NE 1/4,  
 230716<sup>1</sup>, SE 1/4, sec 20 into 2 blocks (plat survey).<sup>1</sup>  
 Dale's original price of lots was \$10 - \$12/foot depth-  
 \$1770 (@ \$10/ft.).<sup>3</sup>
- June 13, 1879 J. T. Dale et al. - NE 1/4, NE 1/4, SE 1/4 (vacation).<sup>2</sup>



- June 2, 1896 Ella M. Bacon to Mary S. Goss - Lots 6 & 7,  
 Dales 2nd Subdivision.<sup>1</sup>
- Dec. 1, 1887 Sheriff J. T. Waters to Mary S. Goss - (Levy) - 1st  
 preceding in foreclosure).<sup>2</sup>  
 1894 WATER SERVICE INSTALLED TO HOME BY SANFORD A. GOSS
- June, 1898 Wm. Welsh makes sewer connection for Sanford A. Goss.<sup>4</sup>

1. Cook Co. Document number, 8th A room 802.
2. Cook Co. Document number, vol. 24ED, pg. 245, 269, 271.
3. Chamberlain, E. (1874) Chicago & its Suburbs pg. 392.

- ? Front porch added on (see photo 1).
- March 24, 1916 Sanford Goss dies.<sup>2</sup>
- August 26, 1929 Minnie Goss sells house to Mary (Park) Phipps et al. (warantee deed).<sup>2</sup>
- Oct., 1929 Park Phipps begins alteration (removes front porch). Removes 10' from rear of house<sup>6</sup> (photo 1), adds (rear door on N side (photo 3).  
Front door hood railing removed - pencilled in on photo 3 by Mary Phipps 1930.
- July, 1941 Park Phipps moves barn to present location.<sup>4</sup>
- Dec., 1941 Park Phipps converts barn to coach house.<sup>8</sup>
- 1942 2nd floor bath divided into 2 baths.
- 1947 Clay sewer converted to iron.
- June 5, 1950 Park Phipps sells house to Jonathan W. Strong<sup>2</sup> (warantee deed).  
Bay built off master bedroom N-side of house.
- May 12, 1971 Jonathan W. Strong sells house to J. R. Dunlap.<sup>2</sup>
- 1972 House declared historic structure.<sup>5</sup>  
Dunlap replaces furnace.  
installs space-pak air conditioning.  
installs storm windows - round tops covered w/ sheet aluminum. See slide 1.
- March 17, 1975 J. R. Dunlap sells house to Charles & Susan Shabica (warrantee deed).
- 1975 2nd fl. landing - non-original walls removed, railing & ballusters restored. Slides 16-19. Frame-in 2nd floor closet. Slides 20-21. Entrance hallway - plaster and wall paper. Slides 22,23.

- 4. Winnetka zoning permits.
- 5. Ill. Hist. Structures Survey, 1800 S. Prairie Ave., Chicago. Nat. Trust for Hist. Pres.
- 6. John Phipps - CWS letter, 7-30-76.
- 7. Letter Park Phipps to John Phipps July 11, 1976.
- 8. Better Homes & Gardens, Nov., 1946.

- 1976 House exterior - 12 layers paint removed - painted original white color. Slides 1-4.
- 1976 Kitchen expanded to include maid's room. Sliding glass doors to porch. Found seaweed insulation in wall (probably installed by Park Phipps, 1929). Slides 7,8,9.
- 75-76 Coach house slides 10,11,12.
- 1977 Balcony over front door restored based on literature rsch & 1929 photo #3. Slides 4,6.
- 1978 Deck constructed off kitchen - children's playhouse rebuilt & raised on stilts. Slides 13,14,15.
- 1978 Dining rm. - ceiling plastered, wall paper. Slides 24,25.
- 1979 Driveway expanded & resurfaced. Slide 26.
- 1979 Roof - 4 layers shingles removed - new shingles + 1/2" sheathing inst. Slides 27,28.
- 1981 Utility shed constructed rear-yard.
- 1982 Roof rafter insulated w/foil insulation, 120 bags. Vermiculite poured down walls from attic. (Fuel savings measured - 2 month study 21%).

Future Plans

Roof - restore Railing or Belvedere.

Rear porch - build railing appropriate to style of house.

ADDRESS 326 RIDGE

OTHER SURVEYS ISS, HERIT. HOME

HISTORIC NAME

COMMON NAME

LOCAL CRITERIA

7, 6, 10

TARGET AREA

DATE 11/13/89

SURVEYOR

SB



(Building C)

Roll # 8 Photographer SB  
Frame # 27-28 Date 10/13/89  
Building facing E

WINNETKA HISTORICAL AND ARCHITECTURAL SURVEY

GENERAL DESCRIPTION

1. Classification: Building  Site \_\_\_\_\_ Structure \_\_\_\_\_ Object \_\_\_\_\_  
Other (describe) \_\_\_\_\_

2. Original Use: RESID 3. Current Use: RESID

4. Status: Occupied  Unoccupied \_\_\_\_\_ 5. Public or Private? PRIV.

6. Open to Public? N 7. Integrity: Unaltered \_\_\_\_\_ Altered  Unsure \_\_\_\_\_

Work in Progress (describe) \_\_\_\_\_

8. Type of Alteration: Restoration \_\_\_\_\_ Rehabilitation \_\_\_\_\_ Remodeling \_\_\_\_\_  
Addition \_\_\_\_\_ Building Sided? \_\_\_\_\_ Material \_\_\_\_\_

Building Moved (Date): \_\_\_\_\_ Orig. Location: \_\_\_\_\_

Describe Alterations, with dates: GARAGE Addition - or  
ADDED CONNECTING SPACE  
DOORWAY?  
PAINT REMODELED +

STORMS

ARCHITECTURAL INFORMATION

9. Architectural Style: ITALIANATE

10. Noteworthy Features: WINDOWS

CORNICE

11. Architect: \_\_\_\_\_ 12. Builder: \_\_\_\_\_

Source of Information: \_\_\_\_\_

13. Date of Construction: c1874 Source: SB + NN PLAQUE

14. Comments on Significance: SIMPLE ITALIANATE DESIGN

wt typical detailing of the period  
at the ROOFLINE, CONTRIB. BLDG IN. H.P.

PHYSICAL FEATURES

15. Overall Shape or Plan: RECT
16. Stories: 2 Approx. Dimensions(see Sanborns): \_\_\_\_\_
17. Foundation (Material and Color): BRICK
18. Walls (Material and Color): BEIGE CLAPBOARD
19. Roof: Type HIP Material ASPHALT Original? N  
Pitch LOW Color BL
20. Dormers? No., Location, Material: \_\_\_\_\_
21. Chimneys? No., Location, Material: 1 red brick: N SIDE OF HOUSE  
WR RECTANGULAR PANELS SEPARATED BY
22. Ornamental Trim (Material and Color): BEIGE - SINGLE ORNAMENTAL  
BRACKETS & DENTILS UNDER CORNICE
23. Entrance(s) (Location and Description): DOOR WR RECTANGULAR PANELING  
(NOT OF PERIOD) TOPPED BY DEEP BRACKETED CORNICE  
WITH 2 SPINDLED BALUSTRADE
24. Porches: \_\_\_\_\_
25. Window Treatment: 1/2 WINDOWS TOPPED WR SEMI-CIRCULAR  
ARCHES
26. Other: PROJECTING BAYS WR RECTANGULAR PANELS &  
DENTILS UNDER CORNICE

SITE INFORMATION

27. Landscape Description: Style \_\_\_\_\_  
Ravine \_\_\_\_\_ Riparian \_\_\_\_\_ Other \_\_\_\_\_  
Noteworthy Features: BRICK GATEPOSTS at N<sup>th</sup> END of  
DRIVEWAY
28. Landscape Architect: \_\_\_\_\_ Source of Info.: \_\_\_\_\_
29. Secondary Structures? \_\_\_\_\_ Type: Fence \_\_\_\_\_ Wall \_\_\_\_\_ Coach House \_\_\_\_\_  
Barn \_\_\_\_\_ Detached Garage  Greenhouse \_\_\_\_\_ Other \_\_\_\_\_
30. Relation to Streetscape: FACES ST

BACKGROUND DATA

1. Current Owner: \_\_\_\_\_ Address: 326 Ridge Phone: \_\_\_\_\_

32. Occupant: \_\_\_\_\_ 33. Original Owner: \_\_\_\_\_

34. Historical Information on Ownership: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

35. Permit Information: Sawyer app #4123 made 11-8-29 Connection  
made 5-24-30. Alter + Add to 2 story 105 per #5066  
12-22, 41. Owner P. Phipps Arch M. YOST

36. Legal Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ (Location) \_\_\_\_\_

37. P.I.N. #: \_\_\_\_\_ 38. Zoning Classification: \_\_\_\_\_

39. Listing on Existing Surveys (Give Date Listed):  
National Register \_\_\_\_\_ Heritage Home \_\_\_\_\_ IHSS \_\_\_\_\_  
IHLS \_\_\_\_\_ Other: NHL \_\_\_\_\_ IR \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_

40. National Register Potential: Individual \_\_\_\_\_ Contrib. in District \_\_\_\_\_  
Architectural Merit But Sided \_\_\_\_\_

HISTORICAL INFORMATION

41. Area of Significance: \_\_\_\_\_  
42. Historic Information on Historic Events, Persons identified with Building, Importance  
in Area of Significance: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

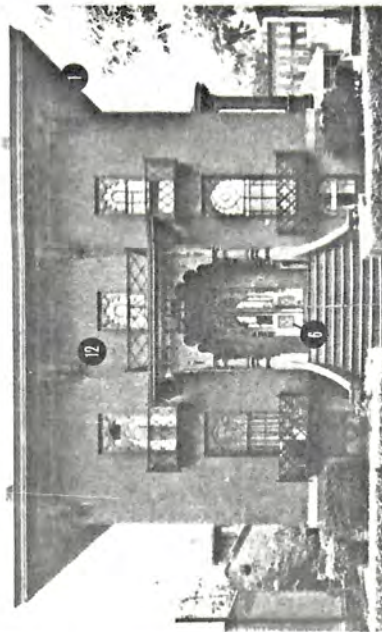
Sources of Information: \_\_\_\_\_

43. Level of Significance: Local \_\_\_\_\_ State \_\_\_\_\_ National \_\_\_\_\_

## Italianate 1840-1880

The Italianate style is a rectangular (almost square), two or three-story house with very wide eaves usually supported by large brackets, tall thin first floor windows, and a low-pitch hip roof topped with a cupola. The formal balance of the house often is accentuated by pronounced moldings and details, such as string course and rusticated quoins. A central one-bay porch or long porches also are evident in the style.

1. Wide eaves
2. Large brackets
3. Tall first floor windows
4. Low pitch hip roof
5. Cupola
6. Double doors with glass panels
7. String course
8. Rusticated quoins
9. Stilted segmental window
10. Round arch
11. Hood mold or eyebrow window heads
12. Paired brackets
13. 2-light or pane sash
14. Enriched overdoor
15. Ancones





**ITALIANATE (1860-1874)**

Italianate architecture borrowed heavily upon the Italian country home as its model. Italianate homes were the first residences in Evanston of any size and ornamentation. A part of the picturesque movement, this was the practical style of the day. It was not an ecclesiastical or governmental style, but a domestic and a commercial one.

**CHARACTERISTICS**

**PLAN:**

generally symmetrical, but can also sometimes be L-shaped and wrapped around a square three story tower; balustraded balconies are common.

**ROOF:**

gently sloping hipped or gabled roofs; distinctive wide eaves with brackets sometimes grouped in pairs around the roof overhang, frequent use of polygonal or square belvederes or cupolas atop the roof.

**WINDOWS:**

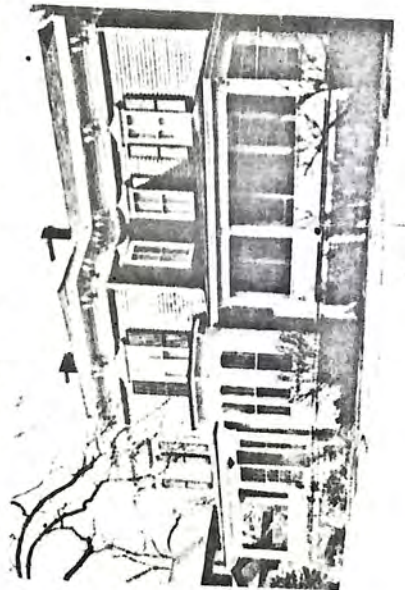
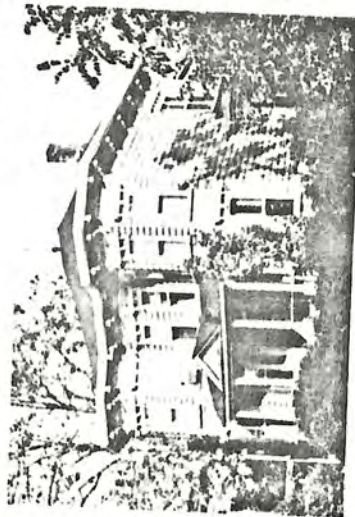
frequently windows have hoodmolds or pediments and sometimes they are rounded at the top; bay windows are common.

**MATERIALS:**

clapboard, brick, stone or smooth stucco.

**DECORATIVE DETAILS:**

eaves and cornices are decorated with over-scaled brackets; there are often columns or pilasters (flat representations of columns) which appear to support an entablature (a group of horizontal beam-like elements).



326 RIDGE

WATER SERVICE RECORD

VILLAGE OF WINNETKA

Location of Roundway 307'S.S. Willow Rd. 13'E.W. Ridge Avenue

Location of Tap \_\_\_\_\_

Type of Service:

Lead, Strong

Lead, Extra Strong

Copper

Cast Iron

|  |
|--|
|  |
|  |
|  |
|  |
|  |

Size of Tap \_\_\_\_\_ Size of Service \_\_\_\_\_

Size of Main \_\_\_\_\_ Size of Shut-off Box 1-1/4"

Depth of Main \_\_\_\_\_ Date Installed 1894

Plumber W. Welsh

Original Owner St. A. Goss

Permit No. \_\_\_\_\_ W.O. \_\_\_\_\_

Remarks **No other information on old card**

(Sketch on other side if necessary)

**Ridge Avenue**

**326**

Street

Number

WINNETKA HISTORICAL SOCIETY  
BIOGRAPHICAL DATA

DATE: May 19, '82

HOME ADDRESS: 326 Ridge, Winnetka, IL 60093

PURCHASED THIS WINNETKA HOME IN - (DATE) March 17,  
1925

HUSBAND'S FULL NAME: Charles Wright Shabica

WIFE'S FULL NAME: Susan Ewing Shabica NEE: Ewing

CHILDREN'S NAMES: Jonathan  
Andrew  
Dana

HUSBAND'S OCCUPATION: Professor - OCEANOGRAPHY

COMPANY NAME & LOCATION Northwestern ILL. Univ.

POSITION HELD: Full Professor

PRIOR EMPLOYMENT: (NAME & DATES)

WIFE'S OCCUPATION: Housewife

COMPANY NAME & LOCATION:

POSITION HELD:

PRIOR EMPLOYMENT: (NAME & DATES)

HUSBAND'S HIGH SCHOOL: Carteret School  
COLLEGE/UNIVERSITY: Univ. of Chicago  
DEGREES: PhD YEAR GRADUATED: 1971  
POSTGRADUATE WORK/DEGREES?

WIFE'S HIGH SCHOOL: Southern Pines, High School N.C.  
COLLEGE/UNIVERSITY: Wake Forest Univ.  
DEGREES: BS YEAR GRADUATED: 1965

MARRIAGE: <sup>1967</sup> PLACE: Southern Pines, N.C. DATE: 1967  
PRIOR HOME ADDRESSES & DATES (FROM/TO):  
2732 Lawndale Ave, Evanston, IL.

RELIGIOUS PREFERENCE: Protestant

SOCIAL/CIVIC/PHILANTHROPIC ORGANIZATIONS:  
Illinois Shore Girl Scout Council, Inc.

HAVE YOU OR ANY OF YOUR FAMILY LIVED IN WINNETKA  
BEFORE? (IF SO, PLEASE GIVE NAMES, ADDRESSES, & DATES)

NO

326 RIDGE

INTERVIEW WITH SUSAN SHABICA

5/19/82

IN WALLS - PENNY POSTCARD FOUND <sup>DTD</sup> 1893

FOR INSULATION - SEALED BUTTON-TUFTED  
BTW. NEWSPAPER & PLACED INSIDE WALLS  
NEWSPAPERS WERE MASS PAPERS. N.D.?  
THIS WAS COMMON PRACTICE IN THE  
EAST.

CORCHA HSE WAS BARN - CONVERTED<sup>n</sup> 1941.

1946 - BOSTON HOMES & GARDENS ARTICLE

BI-3208

ELIAS GOSS - PHOTO 1880'S - HIS FATHER WAS A

DEPOT AGT & STOREKEEPER IN WINNETKA IN 1875.

3709 -<sup>ca</sup> HIS FATHER WAS ONE OF WINNETKA'S FIRST  
STOREKEEPERS (LATER MAX MOYERS STORE?)

2146 - GOSS = HOAG - WHOLESALE & RETAIL GROCERIES

32 NO CLARK - CHGO - 1868

326 RIDGE

The Winnetka Historical Society

OCT 5, 1871 JOHN ALLES TO W. H. T. DALE

JUNE 10, 1872 - W. H. T. DALE SUBDIVIDES INTO 2 BLKS

SEP 20, 1872 STACY W. OSGOOD TO W. H. T. DALE

MAR 6 1879 - W. H. T. DALE - 2ND SUBDIVISION

JUNE 13 1879 W. H. T. DALE ET. AL. ?

W

JUNE 2, 1886 - ELLA M. BACON TO MARY S. GOSS  
SANFORD;

AUG 26, 1929 - MINNIE GOSS SOLD TO PARK & MARY PHIPPS

(PHIPPS DID MOST OF ALTERATIONS

OWNED PROPERTY 1929-1950

PARK PHIPPS TO  
JUNE 5, 1950 - JONATHAN W. STRONG

MAY 12, 1971 - JONATHAN STRONG TO W. R. DUNLAP

MAR 17 1975 - W. R. DUNLAP TO CHAS. SUSAN SHABICA.

The Winnetka Historical Society

5/20/82

326 RIDGE

1904-DIRECTORY:

LEONARD, C.S. WS RIDGE AV 2D So WILLOW - TANNER'S SUPPLIES

ORTH, M.S. " " " " " " " " " "

ORTH, MRS C.H. (WIDOW) " " " " " " " " " "

ON 1896 MAP of VILLAGE of WINNETKA:

2ND HSE So of WILLOW - WEST/SIDE RIDGE IS <sup>at</sup> 326

|              |  |                               |                   |                       |                        |  |
|--------------|--|-------------------------------|-------------------|-----------------------|------------------------|--|
| Excl. Agents | Address of House<br><b>326 RIDGE AVE. Winnetka</b> | Size of Lot<br><b>100x190</b> | Rooms<br><b>9</b> | Baths<br><b>2 1/2</b> | Porches<br><b>open</b> | Price<br><b>20,000</b><br>S.O.<br>1907<br>M.T. 187 |
|--------------|--|-------------------------------|-------------------|-----------------------|------------------------|--|

Situated between How house may be seen  
 Garage **3 car (barn)** Living quarters  
 State exactly how we came to have this listing

Owner **Mrs. Park Phipps**

Whom to notify regarding prospective purchaser

Tenant

Assessed valuation

Terms **\$11,000**

1st Mortgage **Rate 6% Maturity (held by bank in Lake Forest) can be paid off anytime.**

Prepayment privileges

2nd Mortgage **Rate Maturity**

Prepayment privileges

Restrictions

Construction **Frame** Roof **oil** Architect **Hardwood Floors**

Heating **oil** Hot water **oil** Lighting **Hardwood Floors**

Remarks **New basement New plumbing & wiring**

Basement **2 liv - din - kit - 1bedrm (running water) - ser. porch** Stories

1st floor **4 bedrooms - 2 baths**

2nd floor

3rd floor

Date **9/20/38** Listed by **HM-insp.**

Address **OP**

Ph: Res. **Winn 3185** Ofc.

Address **Can reduce price by selling 12' to Ofc. Mr. Matter next door**

Ph: Res.

Lease expires **Taxes \$250.** Rent **door**

Abstract or Guaranty policy **Spent \$10,000 on remodeling 9 yrs. ago.**

Zoning Use Height Area

Sign Privileges

Continuance of Listing Confirmed **9/8/40**

|              |   |                                |                     |                   |         |                          |
|--------------|---|--------------------------------|---------------------|-------------------|---------|--------------------------|
| Excl. Agents | Address of House<br><b>325 Ridge Ave., Winnetka</b> | Size of Lot<br><b>85 x 132</b> | Rooms<br><b>8-5</b> | Baths<br><b>2</b> | Porches | Price<br><b>\$23,500</b> |
|--------------|---|--------------------------------|---------------------|-------------------|---------|--------------------------|

Situated between How house may be seen  
 Garage **2 car** Living quarters  
 State exactly how we came to have this listing

Owner **Ira Wilson**

Whom to notify regarding prospective purchaser **Burtlett = (Will vacate)**

Tenant

Abstract or Guaranty policy

Terms **Clear**

1st Mortgage **Rate Maturity**

Prepayment privileges

2nd Mortgage **Rate Maturity**

Prepayment privileges

Restrictions

Insurance { Fire } { Tornado }

Construction **Shingle Col** Roof **HW oil** Architect **Hardwood Floors**

Heating **HW oil** Hot water **Hot water** Lighting **Hardwood Floors**

Remarks **Liv., Din., Kit. = Sun Rm = T x L** Stories

1st floor **4 bedrooms, 1 bath = slpg porch**

2nd floor **2 bedrooms, 1 bath**

3rd floor

Date **3/26/44** Listed by **BC**

Address **OP**

Ph: Res. **Winn 1008** Ofc. **7038 or FRA. 3850**

Address **Winn 1008**

Ph: Res.

Lease expires **Taxes 254** Rent

Special Assessments

J.A.P. ✓  
 W.A.S. ✓  
 H.L.H. ✓  
 L.C.L. ✓  
 J.L.W. ✓  
 G.B.T. ✓  
 M.E.B. ✓  
 R.L.R. ✓

Sign Privileges

Continuance of Listing Confirmed **7/8/43**

|              |                          |             |       |       |         |          |
|--------------|--------------------------|-------------|-------|-------|---------|----------|
| Excl. Agents | Address of House         | Size of Lot | Rooms | Baths | Porches | Price    |
|              | 326 Ridge Ave., Winnetka | 85x132      | 8-6   | 2     |         | \$27,500 |

Situated between How house may be seen: Fronts, ft. alley at: When available

Garage: State exactly how we came to have this listing: Living quarters: How heated: Date 5/25/44 Listed by JAP

Owner: Ira Wilson Address: Ph: Res. Winn 1008 Ofc. Fra 3850

Whom to notify regarding prospective purchaser: Address: Ph: Res. Ofc.

Tenant: Lease expires: Taxes 48 Special Assessments 254

Abstract or Guaranty policy: Terms: Maturity: J.A.P. ✓ W.A.S. ✓ H.L.H. ✓ L.C.I. ✓ A.V.M. ✓ R.L.P. ✓ S.L.W. ✓ G.B.T. ✓

1st Mortgage: Rate: Maturity: Rent

Prepayment privileges: Rate: Maturity: Use Height Area

Restrictions: Insurance { Fire Tornado: Construction: shingle colonial Hot water Roof: Architect: Lighting: Hardwood Floors

Heating: HW oil

Remarks: Basement: Stories

1st floor: L.D. Kit, sunroom L&T

2nd floor: 4 bedrooms, 1 bath slip porch

3rd floor: 2 bedrooms, 1 bath

|              |                          |             |       |       |         |         |
|--------------|--------------------------|-------------|-------|-------|---------|---------|
| Excl. Agents | Address of House         | Size of Lot | Rooms | Baths | Porches | Price   |
|              | 326 Ridge Ave., Winnetka | 85x187      | 8-4   | 3     |         | \$9,500 |

Situated between How house may be seen: Fronts, ft. alley at: When available: July 1st on date

Garage: State exactly how we came to have this listing: Living quarters: How heated: Date 3/28/50 Listed by EH

Owner: Address: Ph: Res. Ofc. Baumann-Cook

Whom to notify regarding prospective purchaser: Address: Ph: Res. Ofc. Win 6-5200

Tenant: Lease expires: Taxes 48 (380) Abstract or Guaranty policy

Assessed valuation: Terms: Maturity: 7 H.G.

1st Mortgage: 13300 Rate: Maturity: 7 H.G. Rate: Rate: \$15,200 (B.W)

Prepayment privileges: Rate: Maturity: BB 4/50

2nd Mortgage: Rate: Maturity: L.B.A. ✓ W. ✓ Zoning Use Height Area

Prepayment privileges: Rate: Maturity: Architect: A.P. ✓ L.W. ✓ L.G. ✓

Restrictions: Insurance { Fire Tornado: Construction: Authentic Victorian frame Roof: Lighting: Hardwood Floors

Heating: HW oil & setting of plates Hot water

Remarks: Basement: full

1st floor: double LR, DR, kit. maid's rm & bath

2nd floor: 4 bedrooms, 2 baths

3rd floor:

Directions: 2 blocks west of Green Bay, South of Willow

|   |  |  |   |  |  |                                    |
|---|--|--|---|--|--|------------------------------------|
| Address: 326 Ridge<br>City: Winnetka<br>Constr: Frame<br>Style: Victorian<br>Roof: Asphalt shingle<br>Built: 1871?  |  | 5-14-71<br>C-6453<br><i>Sold<br/>B+W.<br/>Winn</i> |   | Lot Size 85' x 187'  |  | \$ 79,500<br><i>Sold<br/>74500</i> |
| Basmt: Full.  |  | Rms. 9   | Bed. 4  | Baths 2½   | Heat Steam-oil<br>Cost \$648                     |                                    |
| 1st Entry hall, open staircase, living room, bay, marble fireplace, parlor with bay, dining room, modern kitchen, built-in stove and range, D&D, stainless steel sink and some counter tops, eating bar, powder room, maid's room or laundry or den.<br>2nd: Four bedrooms, two baths, one new. |  | Year - Taxes 1969<br>\$1181.50                     |   | Porches One  | Garage 2<br>Det.<br>Elect: 220V- <del>110V</del> |                                    |
| Check:  | School: Grade: Crow Island<br>Transp: RR. C&NW<br>Mortgage: Existing<br>City water, Well, Sanitary Sewer, Storm Sewer, Septic Tank<br>Special Assessments \$ none known for<br>Remarks and any special conditions:<br>A house with much charm and liveability plus convenient location.<br>Garage apartment rented to a school teacher 9 mo. a year @\$125 mo. | JHS: Skokie-Washburne<br>Bus: Evanston             | HS: New Trier East<br>Other: Faith Hope, NSCD<br>Available: | Contract:<br>Approximate<br>LR 15½x14+bay<br>DR 11x13<br>K 12x17<br>Parlor:<br>12x15+bay<br>BR's<br>Mstr: 12x17+<br>Study: 6x13<br>12x15<br>12x9<br>12x11 Irr.<br>Possession: 6/15/71<br>(maybe earlier) |  |                                    |
| Titleholder: Jonathan W. Strong & Anne Burnham, h/w Phone:  |  | Reason for Sale:<br>OOS                            |   | Title CT&T   |  |                                    |

This sheet is printed from information supplied by others. This information is considered accurate but neither the Corporation nor the Realtor is liable for errors. The listing may be changed without notice.

For office use only 030271

Realtor Office: BAIRD & WARNER, WINNETKA  
Sales Person: Cal Davis

Phone: 446-1855  
Home Phone: 446-5521

Evanston-North Shore MULTIPLE LISTING CORPORATION



335  
The Winnetka Historical Society

Directions: West of Green Bay - Between Willow and Hill Road

S. 3/75 St Hunt

|                                  |  |                  |
|----------------------------------|--|------------------|
| Address: 326 Ridge               | Lot Size: 85 x 187   | \$ 120,000       |
| City: Winnetka 1306              | Rms. 9 Bed. 4 Baths 2½ Heat steam gas Cost boiler                |                  |
| Constr: Frame                    | Year 1974 Taxes 1974 Porches Screened Garage 2                   | Contract:        |
| Style: Victorian + Coach House   | Roof: A.S. 1st inst \$885.21                                     |                  |
| Built: Approx: 1871? Faces: East | Basmt: Full, divided, dark room w/sink, storage rooms, lavatory. | Elect: 220V-110V |

1st Entrance hall w/open staircase, living rm w/bookcases & marble frpl plus bay, dining rm w/built-ins & bay, parlor, kitchen w/birch cabinets & built-in stainless steel range + 2 ovens, D&D, and eating area, extra room could be den, laundry or TV rm, w/sink, pdr rm.

2nd; Master bedroom w/alcove that could be study or dressing room, door to deck, 3 other bedrooms, 2 hall baths, cedar closet(1 updated).

Approx:

LR 18'6x14'6  
 DR 15x12'8  
 K 17'3x12  
 DEN 13x11  
 FR TV Rm 11.2 x 9.8  
 BR's 19x12+  
 alcove 13'6x6'8  
 12'3x9'3  
 12'6x11'2  
 13'6x10'7

Check: School: Grade: Crow Island JHS: Skokie-Washburn HS: New Trier East  
 Transp: RR. C&NW Bus: Other: Faith Hope  
 Mortgage: Existing Available:  
 City water, ~~West~~ Sanitary Sewer, ~~Skokie Sewer~~ Suptic Tank  
 Special Assessments \$ none known for  
 Remarks and any special conditions:  
**A FANTASTIC COACH HOUSE THAT RENTS FOR \$250 PER MONTH  
 SEE SECOND SHEET**

Possession: Immediate  
 Reason for Sale: Out of state  
 Title

Titleholder: James Dunlap Brokerage Fee: 6% 1st \$50M; 5% on balance (50/50)  
 This sheet is printed from information supplied by others. This information is considered accurate but neither the Corporation nor the REALTOR® is liable for errors. The listing may be changed without notice.

For office use only 022175 REALTOR® Office: BAIRD & WARNER, WINNETKA Phone: 446-1855  
 Sales Person: Joan Manierre Home Phone: 446-2703

1306A

326 Ridge, Winnetka

This authentic Victorian has had major and expensive work completed. New gas boiler in Fall 1974, central space pak air conditioning, custom made triple track storms and screens, new carpeting in all bedrooms, new disposal and one year old G.E. dishwasher. Kitchen has auxiliary electric heater and handsome new plaid carpeting. Circuit breakers and updated wiring.  
 All that's left to be done is the decorating.

A most exciting COACH HOUSE filled with charm and artistically decorated that is presently rented on a month to month basis. Total of four rooms.

First floor: kitchen with stove and refrigerator, separate dining room with brick fireplace.  
 Second floor: Handsome pine panelled living room-family room combination with cathedral ceiling, brick fireplace, bedroom and full bath.  
 Separate furnace and hot water heater for coach house but not separate meters.

Coach House room measurements: Liv. Rm: 19'6x19'8 Bedroom: 16'6x14  
 Din. Rm: 14x11'8 Kitchen: 10x7'4

Exclude: plaid drapes and chandelier in kitchen, gas BBQ  
 Include: gas refrigerator in basement, drapes and carpeting.

BAIRD & WARNER, WINNETKA  
 446-1855

022175

The Winnetka Historical Society





Virtual Tour

**Detached Single**      MLS #: 12218268      List Price: \$1,495,000  
 Status: **NEW**      List Date: 12/05/2024      Orig List Price: \$1,495,000  
 Area: 93      List Dt Rec: 12/05/2024      Sold Price:  
 Address: **326 Ridge Ave, Winnetka, IL 60093**  
 Directions: **West of Green Bay Road, south of Willow Road, 326 Ridge is located on the west side of the street.**

Closed:      Contract:  
 Off Market:      Financing:  
 Year Built: 1904      Bt Before 78: Yes  
 Dimensions: 85 X 187      Subdivision:  
 Ownership: Fee Simple      Township: New Trier  
 Corp Limits: Winnetka  
 Coordinates:      Bathrooms: 3 / 2  
 Rooms: 13      (full/half):  
 Bedrooms: 5      Master Bath: None  
 Basement: Full      Bsmnt. Bath: Yes

Lst. Mkt. Time: 1  
 Concessions:  
 Contingency:  
 Curr. Leased:  
 Model:  
 County: Cook  
 # Fireplaces: 3  
 Parking: Garage, Exterior Space(s)  
 # Spaces: Gar: 1.5 Ext: 3  
 Parking Incl. Yes  
 In Price:

Remarks: Welcome to 326 Ridge Avenue, an exquisite home where character and charm blend seamlessly with opportunities to customize and expand. Nestled on a lush .36-acre lot (85' x 187') in a premier, in-town location, this timeless property features a 4-bedroom, 2.2-bath main house and a rare, two-story coach house. Think high ceilings, marble fireplace, elegant built-ins, crown molding, and sun-drenched spaces that exude warmth and sophistication. The main house layout offers the perfect canvas for your vision: spacious living and dining rooms, a flexible office/play area off the kitchen, and a large eat-in kitchen that opens to a tranquil screened porch. The primary suite includes a tandem room ideal for a nursery, home office, or the walk-in closet of your dreams. A walk-up attic adds even more possibilities, from additional storage to a studio or bonus room. Beyond the main residence, there's a coach house with living room, kitchen, upstairs great room, bedroom, bath, two fireplaces, and its own screened porch... ideal for home office, guest quarters, rental income, or creative retreat. Located in one of Winnetka's most sought-after neighborhoods, this home is just steps from the train, award-winning schools, parks, and downtown's vibrant offerings: grab coffee at Hometown, enjoy lunch at 501 Local, shop at Bunny & Babe, and end the day with dinner at Pomeroy. Beaches, bike trails, and the Winnetka Park District's many amenities (ice arena, golf, tennis, paddle, and more) are all nearby, along with the historic Schmidt-Burnham log house. Being sold As-Is, the home is a treasure for those looking to restore and re-imagine a chance to create a modern masterpiece while preserving and building on history. After 49 years of loving care by the same family, 326 Ridge Avenue is ready for its next chapter. Don't miss this extraordinary opportunity to own a special piece of Winnetka history at this fabulous address!

**School Data**

Elementary: Greeley (36)  
 2nd/The Skokie  
 Alternate:  
 Junior High: Carleton W Washburne (36)  
 High School: New Trier Twp H.S. Northfield/Winnetka (203)

**Assessments**

Amount:  
 Frequency: Not Applicable  
 Special Assessments: No  
 Special Service Area: No  
 Master Association:  
 Master Assc. Freq.: Not Required

**Tax**

Amount: \$22,878  
 PIN: 05204030180000  
 Mlt PINS: No  
 Tax Year: 2023  
 Tax Exmps: Homeowner

**Miscellaneous**

Waterfront: No  
 Appx SF: 3267\*\*  
 SF Source: Other  
 Bldg. Assess. SF:  
 Acreage: 0.36

**Square Footage Comments:**

\*\*Level Square Footage Details: Upper Sq Ft: 1778, Main Sq Ft: 1489, Above Grade Total Sq Ft: 3267, Unfinished Basement Sq Ft: 1154, Total Basement Sq Ft: 1154, Aprox. Total Finished Sq Ft: 3267, Total Finished/Unfinished Sq Ft: 4421

| Room Name      | Size  | Level          | Flooring | Win Trmt | Room Name      | Size  | Level      | Flooring | Win Trmt |
|----------------|-------|----------------|----------|----------|----------------|-------|------------|----------|----------|
| Living Room    | 15X19 | Main Level     |          |          | Master Bedroom | 18X13 | 2nd Level  |          |          |
| Dining Room    | 12X15 | Main Level     |          |          | 2nd Bedroom    | 16X11 | 2nd Level  |          |          |
| Kitchen        | 17X12 | Main Level     |          |          | 3rd Bedroom    | 13X9  | 2nd Level  |          |          |
| Family Room    |       | Not Applicable |          |          | 4th Bedroom    | 13X11 | 2nd Level  |          |          |
| Laundry Room   | 10X13 | Basement       |          |          | Breakfast Room | 14X12 | Main Level |          |          |
| Play Room      | 14X11 | Main Level     |          |          | Foyer          | 8X20  | Main Level |          |          |
| Screened Porch | 11X12 | Main Level     |          |          |                |       |            |          |          |
| Other          | 14X12 | Main Level     |          |          |                |       |            |          |          |
| Office         | 12X7  | 2nd Level      |          |          | 5th Bedroom    | 14X16 | 2nd Level  |          |          |
| Great Room     | 21X20 | 2nd Level      |          |          | 2nd Kitchen    | 13X8  | Main Level |          |          |

Interior Property Features: **Hardwood Floors, Bookcases, 10' Ceiling, Some Carpeting, Some Wood Floors**

Exterior Property Features: **Balcony, Deck, Porch Screened**

Age: 100+ Years, Rebuilt in 1985      Laundry Features: **Laundry Chute**      Roof: **Asphalt/Glass (Shingles)**  
 Type: **2 Stories, Coach House**      Additional Rooms: **2nd Kitchen, 5th Bedroom, Sewer: Sewer-Public**  
 Style: **Victorian**      **Breakfast Room, Foyer, Great Room, Office, Play Water: Lake Michigan**  
 Exterior: **Wood Siding**      **Room, Screened Porch, Other**      Const Opts:  
 Air Cond: **Central Air, Space Pac**      Garage Ownership: **Owned**      General Info: **School Bus Service, Commuter Train**  
 Heating: **Gas**      Garage On Site: **Yes**      Amenities:  
 Kitchen: **Eating Area-Breakfast Bar, Island, Breakfast Room**      Garage Type: **Detached**      Asmt Incl: **None**  
 Appliances: **Oven-Double, Microwave, Dishwasher, Refrigerator, Washer, Dryer, Disposal, All Stainless Steel Kitchen Appliances, Cooktop, Gas Cooktop, Wall Oven**      Garage Details: **Garage Door Opener(s)**      HERS Index Score:  
 Dining: **Separate**      Parking Ownership: **Owned**      Green Discl:  
 Attic: **Interior Stair**      Parking On Site: **Yes**      Green Rating Source:  
 Basement Details: **Unfinished**      Parking Details:      Green Feats:  
 Bath Amn: **Separate Shower**      Driveway: **Concrete**      Sale Terms:  
 Fireplace Details: **Wood Burning**      Foundation:      Possession: **Closing**  
 Fireplace Location: **Living Room, Other, Great Room**      Exst Bas/Fnd:  
 Electricity: **200+ Amp Service**      Disability Access: **No**      Occ Date:  
 Equipment:      Disability Details:      Rural:  
 Other Structures: **Guest House, Shed(s)**      Exposure:      Addl. Sales Info.: **List Broker Must Accompany**  
 Door Features:      Lot Size: **.25-.49 Acre**      Broker Owned/Interest: **No**  
 Window Features:      Lot Size Source: **Survey**      Relist:  
 Gas Supplier: **Nicor Gas**      Lot Desc: **Landscaped Professionally**      Zero Lot Line:  
 Electric Supplier: **Other**

# 326 Ridge Ave, Winnetka, IL 60093



## RESTAURANTS

- 1 Tocco  
507 CHESTNUT ST, 0.4 MI
- 2 501 Local  
501 CHESTNUT ST, 0.4 MI
- 3 Pomeroy  
844 SPRUCE ST, 0.5 MI
- 4 Towne & Oak  
921 GREEN BAY RD, 1.3 MI
- 5 Mino's  
985 GREEN BAY RD, 1.4 MI

## COFFEE

- 1 Peet's Coffee  
817 ELM ST, 0.4 MI
- 2 Starbucks  
566 CHESTNUT ST SPACE 3-4, 0.5 MI
- 3 Tala Coffee Roasters -  
Winnetka Cafe  
93 GREEN BAY RD, 0.7 MI

## SHOPPING

- 1 Valentina  
538 CHESTNUT ST, 0.4 MI
- 2 Maze Home  
735 ELM ST, 0.4 MI
- 3 The Book Stall  
811 ELM ST, 0.4 MI
- 4 Bunny and Babe  
555 CHESTNUT ST, 0.5 MI
- 5 Serena & Lily Winnetka  
1070 GAGE ST, 1.3 MI

## GYM

- 1 Community House  
Winnetka  
620 LINCOLN AVE, 0.6 MI
- 2 CorePower Yoga -  
Winnetka  
850 GREEN BAY RD, 1.1 MI

## SCHOOLS

- 1 North Shore Country Day  
310 GREEN BAY RD, 0.2 MI
- 2 Faith, Hope and Charity  
School  
180 RIDGE AVE, 0.3 MI
- 3 Greeley Elementary  
School  
275 FAIRVIEW AVE, 0.6 MI
- 4 The Skokie School  
520 GLENDALE AVE, 0.8 MI
- 5 The Carleton W.  
Washburne School  
515 HIBBARD RD, 1.0 MI

## ENTERTAINMENT

- 1 Winnetka Ice Arena  
490 HIBBARD RD, 1.0 MI
- 2 A.C. Nielsen Tennis  
Center  
530 HIBBARD RD, 1.1 MI

## PARKS

- 3 Winnetka Platform Tennis  
Club  
490 HIBBARD RD, 1.2 MI
- 4 Winnetka Golf Club  
1300 OAK ST, 1.2 MI
- 1 Dwyer Park  
856 ELM ST, 0.4 MI
- 2 Maple Street Park/Beach  
725 SHERIDAN RD, 0.8 MI
- 3 Lloyd Park and Stepan  
Family Boat Launch at  
Lloyd Beach  
799 SHERIDAN RD, 1.0 MI
- 4 Tower Road Park/Beach  
899 SHERIDAN RD, 1.1 MI
- 5 Skokie Playfields  
540 HIBBARD RD, 1.2 MI
- 6 Hubbard Woods Park  
939 OLD GREEN BAY RD, 1.4 MI



**Susan Sullivan**  
MOBILE: (847) 910-7413  
susansullivan@atproperties.com





## 326 RIDGE AVENUE

5 BEDROOMS · 3.2 BATHS · 3,267 SQUARE FEET

Welcome to 326 Ridge Avenue, Winnetka, an exquisite home where character and charm blend seamlessly with opportunities to customize and expand. Nestled on a lush .36-acre lot (85' x 187') in a premier, in-town location, this timeless property features a 4-bedroom, 2.2-bath main house and a rare, two-story coach house. Think high ceilings, marble fireplace, elegant built-ins, crown molding, and sun-drenched spaces that exude warmth and sophistication. The main house layout offers the perfect canvas for your vision: spacious living and dining rooms, a flexible office/play area off the kitchen, and a large eat-in kitchen that opens to a tranquil screened porch. The primary suite includes a tandem room ideal for a nursery, home office, or the walk-in closet of your dreams. A walk-up attic adds even more possibilities.

- Two-story coach house with its own screened porch is ideal for home office, guest quarters, rental income, or creative retreat.
- Steps from train, award-winning schools, parks, and downtown's vibrant offerings. Beaches, bike trails, and Winnetka Park District ice arena, golf, tennis, and paddle are all nearby.
- Extraordinary opportunity to own a special piece of Winnetka history at this fabulous address!



SUSAN SULLIVAN *luxury broker*  
 947 911 7418  
 susansullivan@atproperties.com

@properties | CHRISTIE'S  
 INTERNATIONAL REAL ESTATE

**326 RIDGE AVENUE**  
WINNETKA



@properties

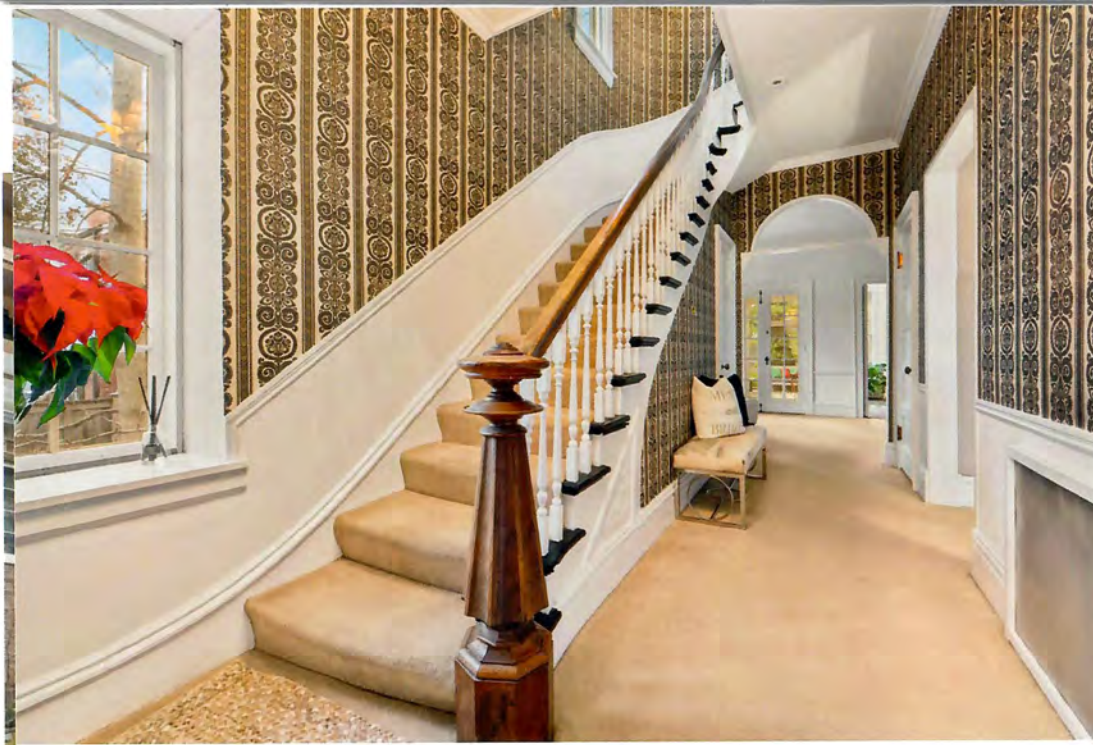
CHRISTIE'S  
INTERNATIONAL REAL ESTATE



## HEART OF WINNETKA BEAUTY

Welcome to 326 Ridge Avenue, an exquisite home where character and charm blend seamlessly with opportunities to customize and expand. Nestled on a lush .36-acre lot (85' x 187') in a premier, in-town location, this timeless property features a 4-bedroom, 2.2-bath main house and a rare, two-story coach house. Think high ceilings, marble fireplace, elegant built-ins, crown molding, and sun-drenched spaces that exude warmth and sophistication. The main house offers the perfect canvas for your vision: spacious living and dining rooms, a flexible office/play area off the kitchen, and a large eat-in kitchen that opens to a tranquil screened porch. The primary suite includes a tandem room ideal for a nursery, home office, or the walk-in closet of your dreams. Beyond the main residence, there's a coach house with living room, kitchen, great room, bedroom, bath, two fireplaces, and its own screened porch... ideal for home office, guest quarters, rental income, or creative retreat. This home is just steps from the train, award-winning schools, parks, and downtown's vibrant offerings: grab coffee at Hometown, enjoy lunch at 501 Local, shop at Bunny & Babe, and end the day with dinner at Pomeroy. Beaches, bike trails, and the Winnetka Park District's many amenities (ice arena, golf, tennis, paddle, and more) are all nearby. This home is a treasure for those looking to restore and re-imagine—a chance to create a modern masterpiece while preserving and building on history. Don't miss the opportunity to call this fabulous address home!

**5 BEDROOM**  
**3.2 BATH**  
**TAXES: \$22,878**



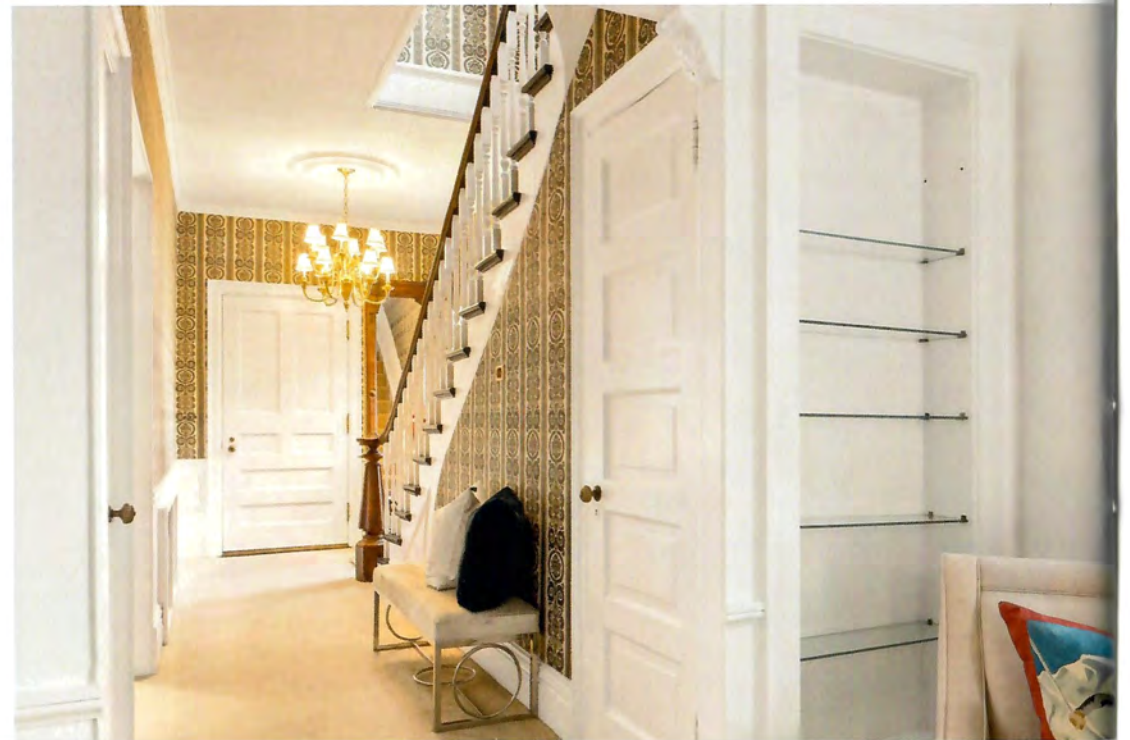
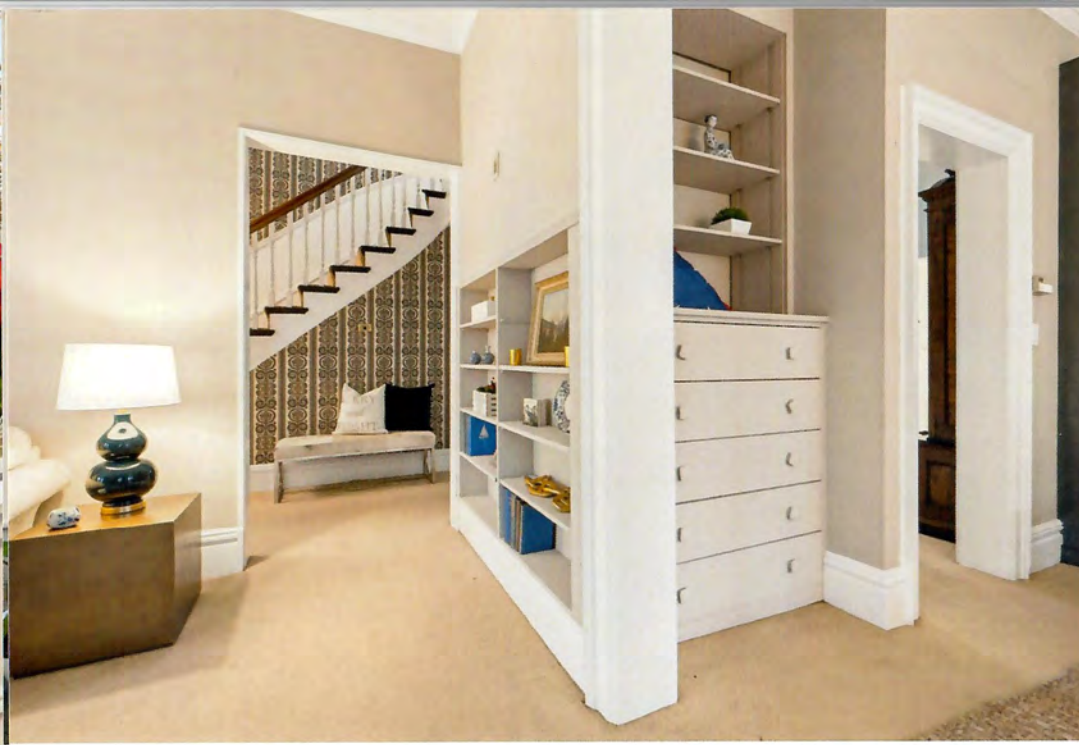
4 326 RIDGE AVENUE





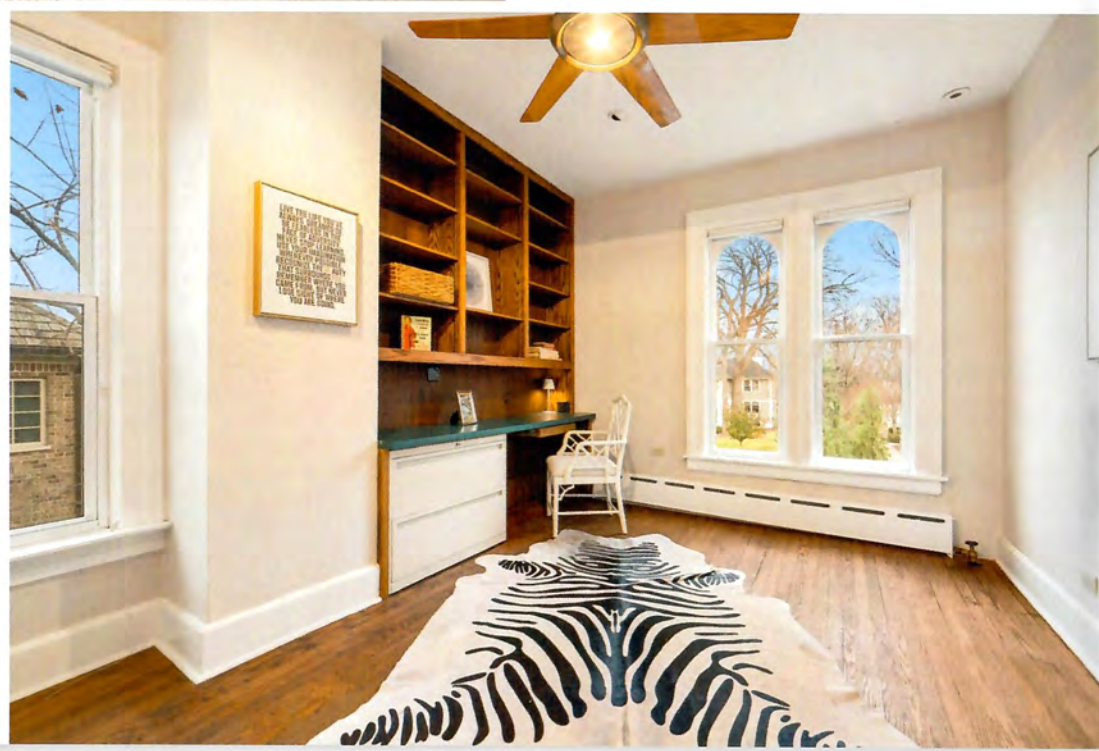
6 326 RIDGE AVENUE





8 326 RIDGE AVENUE





10 326 RIDGE AVENUE



326 RIDGE AVENUE 11





## **WINNETKA IS BEAUTIFUL INSIDE AND OUT - FROM ITS PICTURESQUE DOWNTOWN AND SCENIC BEACHES TO HOMES DESIGNED BY RENOWNED MASTERS OF ARCHITECTURE.**

Gorgeous neighborhoods surround the village's downtown business district, putting residents near a variety of boutique shops and eateries. Three Metra stations are also located throughout the community, providing convenient commuting options to downtown Chicago. With Winnetka's beautiful beaches, golf courses, A.C. Nielsen Tennis Center, Ice Arena, and numerous parks, you may never want to leave.

Public schools in Winnetka include New Trier High School, which consistently ranks among the best in the country.

Winnetka's housing choices range from multimillion-dollar lakefront mansions to in-town condominiums and townhomes. Victorians, Colonials, and Tudors are interspersed with contemporary and new construction homes on graceful tree-lined streets. Neighborhoods feature homes by some of the most distinguished architects of their day including George Maher, Howard Van Doren Shaw, and David Adler.

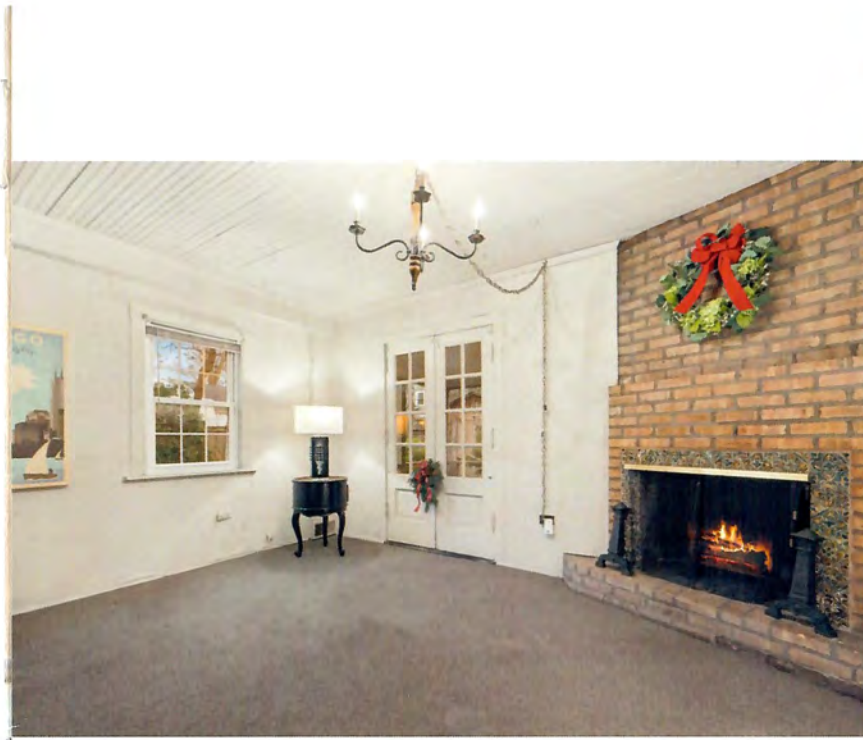
For all of its beauty, residents will tell you it's what's on the inside that counts. They love Winnetka's close-knit feeling and sense of community, with neighbors coming together for block parties, parades, and fireworks.



FT STUDIOS



14 326 RIDGE AVENUE



326 RIDGE AVENUE 15



## SUSAN SULLIVAN

LUXURY BROKER

847.910.7418

SUSANSULLIVAN@ATPROPERTIES.COM



@properties

CHRISTIE'S  
INTERNATIONAL REAL ESTATE

All specifications, features, designs, price, assessments, taxes and materials are subject to change without notice. Depicted floor plans and architectural renderings are only an artist's impression.





1 - 1929 Renold in early 30s



5 - 1982



2 - 1930s house shortened 10' in rear



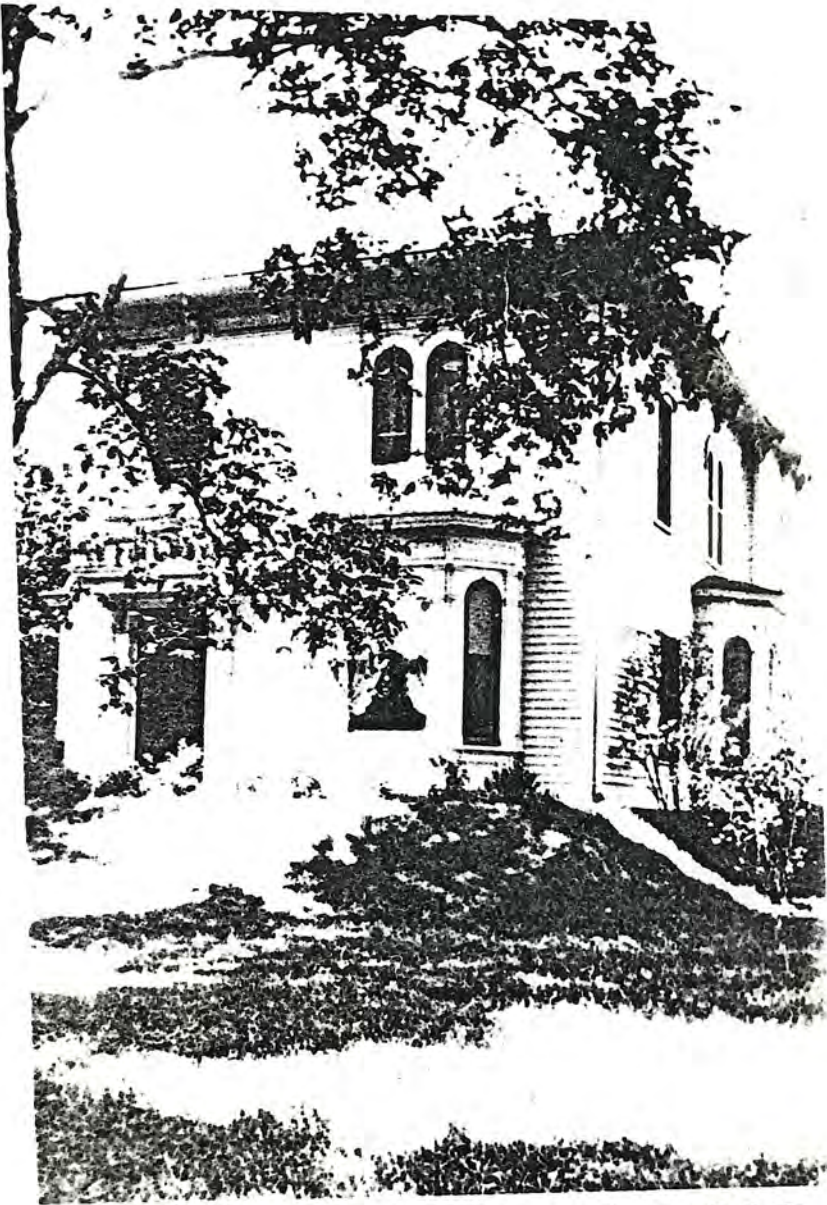
3 - 1930s



4 Barn 1-1929 (see also)



326 RIDGE



1930 PHOTO . 326 RIDGE



B.

Page No. 30  
 Supervisor's Dist. No. 1  
 Enumeration Dist. No. 228

Note A.—The Census Year begins June 1, 1879, and ends May 31, 1880.  
 Note B.—All persons will be included in the Enumeration who were living on the 1st day of June, 1880. No others will. Children BORN SINCE June 1, 1880, will be OMITTED. Members of Families who have DIED SINCE June 1, 1880, will be INCLUDED.  
 Note C.—Questions Nos. 13, 14, 22 and 23 are not to be asked in respect to persons under 10 years of age.

SCHEDULE I.—Inhabitants in Village of Mendota, in the County of \_\_\_\_\_, State of \_\_\_\_\_, enumerated by me on the Seventeenth day of June, 1880.

| Inhabitant | Sex               | Age | Color | Marital Status | Profession, Occupation or Trade | Health |           | Education |        | Native       |                |                |
|------------|-------------------|-----|-------|----------------|---------------------------------|--------|-----------|-----------|--------|--------------|----------------|----------------|
|            |                   |     |       |                |                                 | Sound  | Not Sound | Years     | Months | Days         | Place of Birth | Place of Birth |
| 1          | 2                 | 3   | 4     | 5              | 6                               | 7      | 8         | 9         | 10     | 11           | 12             | 13             |
| 215 251    | Robert            | W   | 23    | Married        | Servant                         | 1      |           |           |        | Sweden       | Sweden         | Sweden         |
| 216 252    | Heath, George     | W   | 24    | Married        | School Teacher                  | 1      |           |           |        | New York     | N.Y.           | N.Y.           |
|            | Janet             | W   | 22    | Married        | Keeping House                   | 1      |           |           |        | Mass         | Mass           | Mass           |
|            | Emma              | W   | 21    | Single         | School Teacher                  | 1      |           |           |        | Wisconsin    | N.Y.           | Mass           |
|            | Ella M.           | W   | 15    | Daughter       | At home                         | 1      |           |           |        | Wisconsin    | N.Y.           | Mass           |
|            | Malvina           | W   | 20    | Daughter       | At home                         | 1      |           |           |        | Mass         | Mass           | Mass           |
| 217 253    | Denuth, Joel      | W   | 26    | Married        | Servant                         | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
|            | Agnes             | W   | 27    | Married        | Keeping House                   | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
|            | John              | W   | 10    | Son            | At school                       | 1      |           |           |        | Illinois     | Pennsylvania   | Pennsylvania   |
|            | Margaret          | W   | 11    | Daughter       | At school                       | 1      |           |           |        | Illinois     | Pennsylvania   | Pennsylvania   |
|            | Barbara           | W   | 9     | Daughter       | At school                       | 1      |           |           |        | Illinois     | Pennsylvania   | Pennsylvania   |
|            | Branie            | W   | 6     | Daughter       | At school                       | 1      |           |           |        | Illinois     | Pennsylvania   | Pennsylvania   |
|            | Mary              | W   | 3     | Daughter       | At school                       | 1      |           |           |        | Illinois     | Pennsylvania   | Pennsylvania   |
|            | Kate              | W   | 1     | Daughter       | At school                       | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
|            | Procha, Margaret  | W   | 25    | Married        | At home                         | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
| 218 254    | Busscho, John     | W   | 24    | Married        | Carpenter                       | 1      |           |           |        | Holland      | Holland        | Holland        |
|            | Kate              | W   | 26    | Married        | Keeping House                   | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
|            | Mary              | W   | 5     | Daughter       | At home                         | 1      |           |           |        | Illinois     | Holland        | Pennsylvania   |
|            | Albert            | W   | 2     | Son            | At school                       | 1      |           |           |        | Illinois     | Holland        | Pennsylvania   |
|            | Frances           | W   | 2     | Daughter       | At school                       | 1      |           |           |        | Illinois     | Holland        | Pennsylvania   |
| 219 255    | Davis, Seth       | W   | 22    | Married        | Carpenter                       | 1      |           |           |        | Vermont      | Mass           | Mass           |
|            | Elyza C.          | W   | 24    | Married        | Keeping House                   | 1      |           |           |        | Illinois     | Mass           | Mass           |
| 220 256    | McKinney, George  | W   | 20    | Married        | At school                       | 1      |           |           |        | Illinois     | Mass           | Mass           |
|            | Joseph            | W   | 18    | Married        | At school                       | 1      |           |           |        | Illinois     | Mass           | Mass           |
|            | Allice            | W   | 13    | Daughter       | At school                       | 1      |           |           |        | Illinois     | Ill            | Ill            |
|            | Miriam            | W   | 11    | Son            | At school                       | 1      |           |           |        | Illinois     | Ill            | Ill            |
| 221 257    | Garland, John     | W   | 25    | Married        | At home                         | 1      |           |           |        | New York     | Ill            | N.Y.           |
|            | Helen             | W   | 21    | Married        | Keeping House                   | 1      |           |           |        | Illinois     | N.Y.           | N.Y.           |
|            | Malford           | W   | 23    | Married        | Keeping House                   | 1      |           |           |        | Illinois     | Ill            | Ill            |
|            | Maria             | W   | 21    | Married        | Keeping House                   | 1      |           |           |        | Illinois     | Ill            | Ill            |
|            | John C.           | W   | 11    | Son            | At school                       | 1      |           |           |        | Illinois     | Ill            | Ill            |
| 222 258    | Perchote, George  | W   | 24    | Married        | Laborer                         | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
|            | Roscoe            | W   | 23    | Married        | Keeping House                   | 1      |           |           |        | Pennsylvania | Pennsylvania   | Pennsylvania   |
| 223 259    | Osgood, Elizabeth | W   | 24    | Married        | Keeping House                   | 1      |           |           |        | Michigan     | N.Y.           | N.Y.           |
|            | Mary              | W   | 23    | Married        | Keeping House                   | 1      |           |           |        | Illinois     | N.Y.           | N.Y.           |
|            | Elizabeth         | W   | 11    | Daughter       | At school                       | 1      |           |           |        | Illinois     | Mich           | Ill            |
|            | Raymond           | W   | 10    | Son            | At school                       | 1      |           |           |        | Illinois     | Mich           | Ill            |
|            | Samuel            | W   | 6     | Son            | At school                       | 1      |           |           |        | Illinois     | Mich           | Ill            |
|            | Mary              | W   | 2     | Daughter       | At school                       | 1      |           |           |        | Illinois     | Mich           | Ill            |
|            | Mary              | W   | 2     | Daughter       | At school                       | 1      |           |           |        | Illinois     | Mich           | Ill            |
| 224 260    | Shibley, Elyza C. | W   | 18    | Married        | At home                         | 1      |           |           |        | Illinois     | N.Y.           | Mich           |
|            | Eddy, Charles     | W   | 21    | Married        | At home                         | 1      |           |           |        | New York     | Ill            | Mich           |
|            | Elizabeth         | W   | 20    | Married        | Keeping House                   | 1      |           |           |        | Ill          | Ill            | Mich           |
|            | Soul, Emile       | W   | 24    | Married        | At home                         | 1      |           |           |        | Ill          | Ill            | Mich           |
|            | Mary              | W   | 23    | Married        | Keeping House                   | 1      |           |           |        | Ill          | Ill            | Mich           |
|            | Caroline          | W   | 22    | Married        | Keeping House                   | 1      |           |           |        | Ill          | Ill            | Mich           |
| 225 261    | Benjamin, Charles | W   | 15    | Married        | At home                         | 1      |           |           |        | New York     | Ill            | N.Y.           |
|            | McConnell, George | W   | 16    | Married        | At home                         | 1      |           |           |        | Illinois     | N.Y.           | N.Y.           |
|            | Maria             | W   | 12    | Married        | Keeping House                   | 1      |           |           |        | Illinois     | Ill            | Penn           |
|            | Marion            | W   | 16    | Daughter       | At school                       | 1      |           |           |        | Illinois     | Ill            | Ill            |
|            | Robert            | W   | 14    | Son            | At school                       | 1      |           |           |        | Illinois     | Ill            | Ill            |

Note D.—In columns 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Page No. 31  
 Supervisor's Dist. No. 1  
 Enumeration Dist. No. 228

SCHEDULE I.—Inhabitants

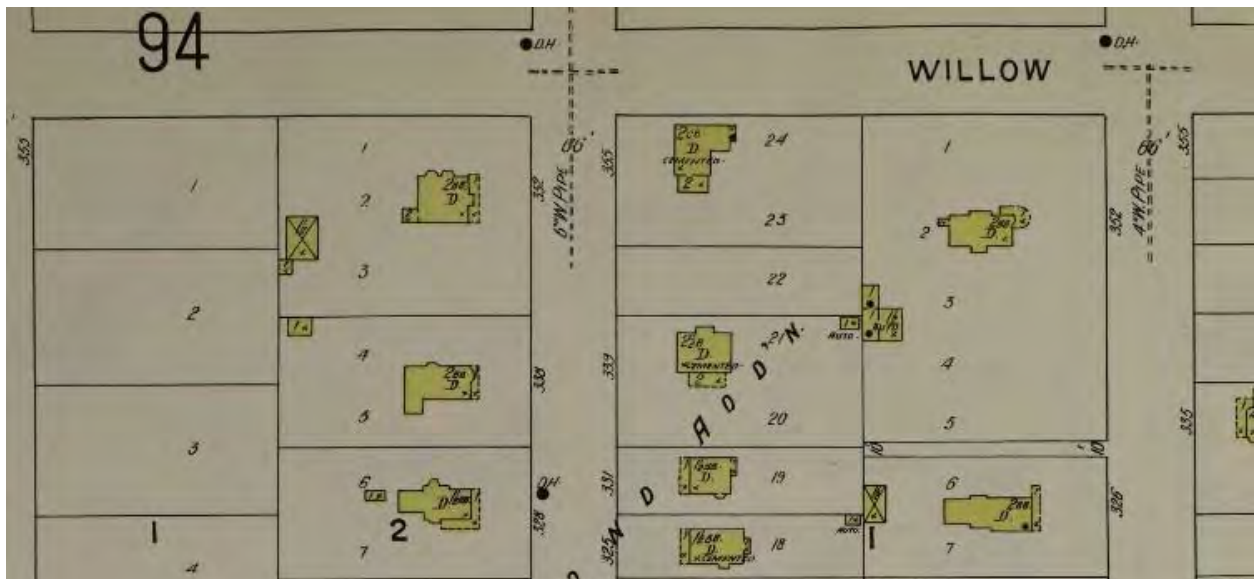
| Inhabitant | Sex    | Age | Color | Marital Status | Profession, Occupation or Trade | Health |           | Education |        | Native   |                |                |
|------------|--------|-----|-------|----------------|---------------------------------|--------|-----------|-----------|--------|----------|----------------|----------------|
|            |        |     |       |                |                                 | Sound  | Not Sound | Years     | Months | Days     | Place of Birth | Place of Birth |
| 1          | 2      | 3   | 4     | 5              | 6                               | 7      | 8         | 9         | 10     | 11       | 12             | 13             |
| 258 299    | Conrad | W   | 21    | Married        | At home                         | 1      |           |           |        | Sweden   | Sweden         | Sweden         |
| 259 300    | Quinn  | W   | 20    | Married        | At home                         | 1      |           |           |        | Illinois | Ill            | Ill            |
| 260 301    | McLain | W   | 20    | Married        | At home                         | 1      |           |           |        | Illinois | Ill            | Ill            |
| 261 302    | Call   | W   | 20    | Married        | At home                         | 1      |           |           |        | Illinois | Ill            | Ill            |
| 262 303    | Miller | W   | 20    | Married        | At home                         | 1      |           |           |        | Illinois | Ill            | Ill            |
| 263 304    | Allen  | W   | 20    | Married        | At home                         | 1      |           |           |        | Illinois | Ill            | Ill            |

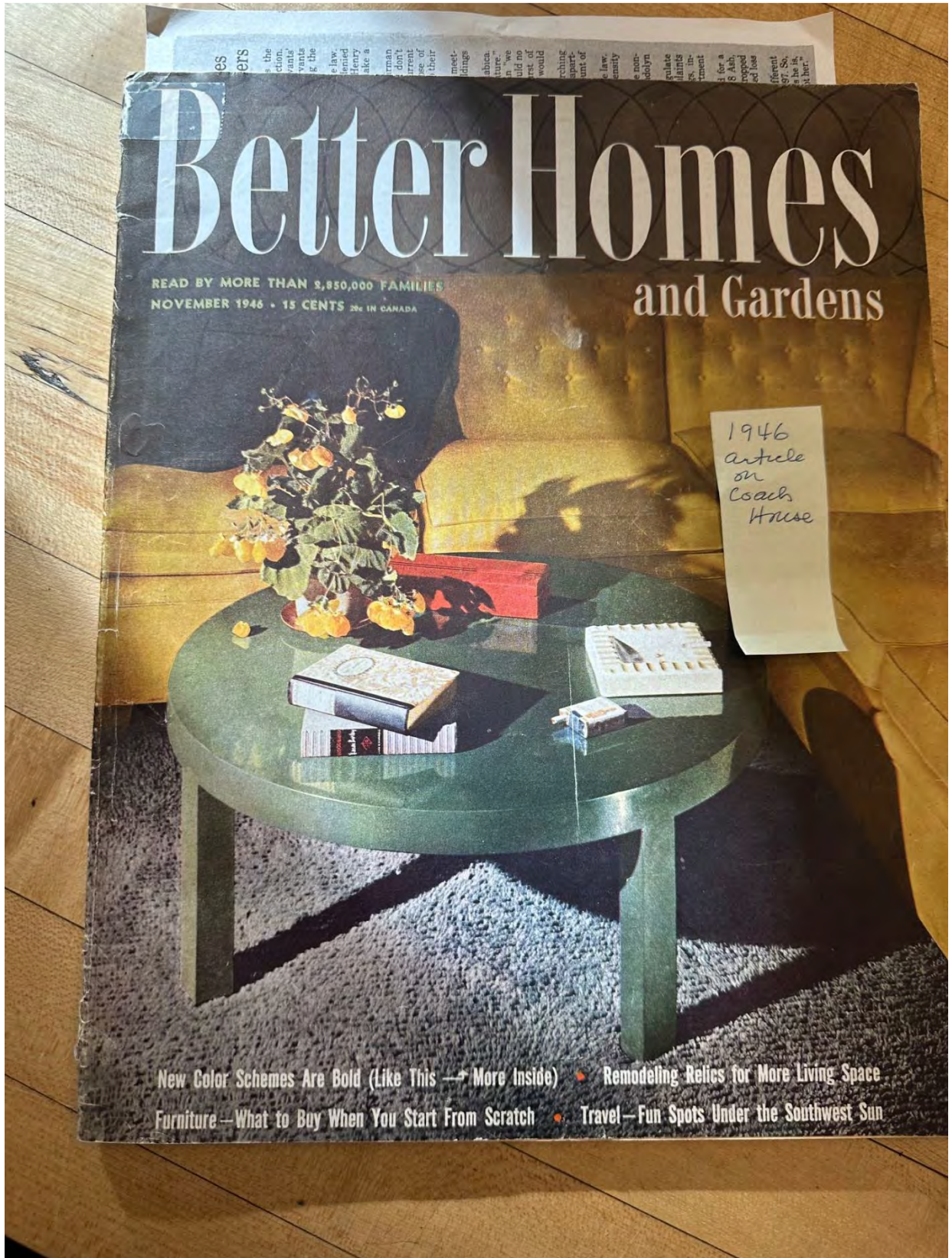
Note D.—In columns 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157

1896 structure map showing 326 Ridge



1914 Sanborn map





# THIS WAS A BARN

Salvaged materials were added whenever they could be found

By E. Morgan Yost, A. I. A.

Photographs by Sufer, Hedrich-Blessing



**BEFORE** The barn before remodeling was a plain rectangular box with a rakish cupola set atop it like a boy's cap on the back of his head

The fireplace corner of the living room is secluded and comfortable. The other end (lower picture) is well-lighted and cool. Furniture is arranged so the whole area is usable in spite of the low ceiling at the side walls. Note the use of regular clapboards on the sloping ceiling



**AFTER** A screened porch, broad chimney, dormers, and a more graceful window arrangement made the barn more up to date than the house it adjoined



r,  
to  
be  
re-  
th  
fo  
wa

slo  
bill  
a  
glas

MA

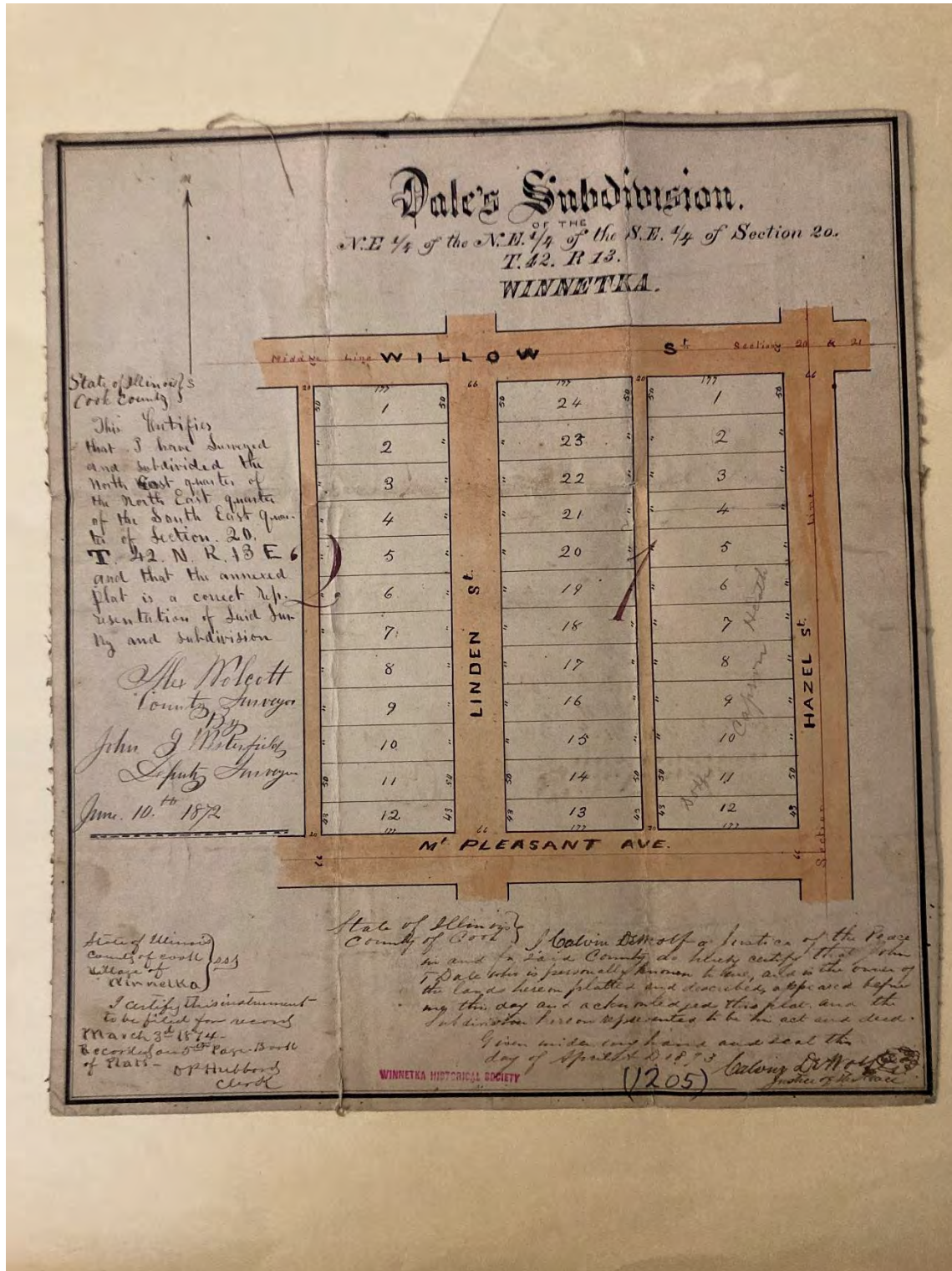


**I**N 1929, Mr. and Mrs. Park Phipps of Winnetka bought a substantial Victorian house on a large piece of property. In one corner of the lot stood a barn, unused. They wanted to remodel it into a guest house, but for 15 years the barn just sat and deteriorated.

Then I was called in as architect to plan the remodeling. Plans were drawn, but much was left undecided because Mr. Phipps was constantly picking up materials and millwork—an old balustrade, for example, or a door. I dropped by when needed. Carpenters and masons did the exterior work, while Mr. Phipps did the interior.

Because zoning laws prohibit two houses on one lot, the barn was moved and connected to the house by a bridge. Now guests or relatives feel included in family activities, yet are provided with extra privacy of their own living room, bedroom, and bath, and their own dining room, with its compact kitchen and sitting porch overlooking the garden. It's a fine solution for the doubled-up lot.

Plat of Survey for Dale's first subdivision, 1872 (326 Ridge comprises lots 6 and 7, which are labeled "Heath")



Ella Bacon (née Heath), 1884



George Heath, 1870s



George Heath's Will, 1890

George W. Heath.

Know all men by these presents, that I, George W. Heath of Winnetka County, of Cook and State of Illinois, being of sound mind and in full possession of all my mental faculties, do hereby make this my last will and testament, viz: - 1<sup>st</sup> That my Executors shall pay all just debts that I may owe at time of my demise, out of the effects of my estate. 2<sup>d</sup> That within six months after my demise my Executor shall pay out of the effects of my estate the sum of one hundred dollars to each of my two daughters Emma J. Heath and Ella M. Heath. 3<sup>d</sup> That after providing for items named in sections 1 and 2 of this instrument I give grant and bequeath all the balance of my estate including all property of whatsoever kind and nature, to my wife Jane S. Heath, to have, use and keep for her sole benefit. 4<sup>th</sup> I hereby request the Probate Judge of Cook County State of Illinois, to appoint such person Executor of this will as may be chosen by my wife Jane S. Heath and my daughters Emma J. Heath and Ella M. Heath. In case they make no choice I name Stacy W. Osgood of Winnetka, County of Cook and State of Illinois as my Executor to carry out the provisions of this will. Given under my hand this sixth day of August in the year Eighteen hundred and Eighty six.

George W. Heath.  
Signed in presence of M. K. Meyer. R. S. Moth.  
Will proved & admitted to record in open court this 25<sup>th</sup> day of February A.D. 1890.  
Christian C. Kohlbaat. Probate Judge.

Inter-Ocean, May 16, 1879 (shows real estate taxes paid in 1878)

| Name        | Lt | Blk | Yr   | Amt     | Total tax |
|-------------|----|-----|------|---------|-----------|
| John T Dale | 1  | 1   | 1878 | \$1 32  |           |
| do          | 1  | do  | For  | 1 88..  | 3 20      |
| do          | 2  | do  | 1878 | 25 95   |           |
| do          | 2  | do  | For  | 25 75.. | 53 70     |
| do          | 3  | do  | 1878 | 1 32    |           |
| do          | 3  | do  | For  | 1 88..  | 3 20      |
| do          | 4  | do  | 1878 | 1 32    |           |
| do          | 4  | do  | For  | 1 88..  | 3 20      |
| do          | 5  | do  | 1878 | 1 32    |           |
| do          | 5  | do  | For  | 1 88..  | 3 20      |
| J W Heatb   | 6  | do  | 1878 |         | 3 20      |
| do          | 7  | do  | 1878 |         | 1 32      |
| J T Dale    | 8  | do  | 1878 |         | 1 32      |
| A B Capson  | 9  | do  | 1878 |         | 1 32      |
| do          | 10 | do  | 1878 |         | 1 32      |
| L B Dodge   | 11 | do  | 1878 |         | 1 32      |
| do          | 12 | do  | 1878 |         | 1 32      |
| J T Dale    | 13 | do  | 1878 |         | 1 32      |

John T. Dale, c. 1880



# Suburban Sun-Times

NORTH/NORTHWEST

FRIDAY, FEBRUARY 10, 1984

## Rent or gentry?

Winnetka's year-old law to ultimately ban most coach-house rentals is coming under siege.

By Philip Franchine

Winnetka has moved to again make the village safe for coach houses and other multiple family dwellings.

A zoning law now on the books prohibits multiple-family dwellings in single-family residential districts, which cover most of the village, starting in 1997.

Residents protested the law at a Law Committee meeting last week, and the village board Tuesday night voted to hold a public hearing March 5 for the purpose of amending the ordinance.

The ordinance also would prohibit single-family houses in commercial zones and commercial properties in single-family districts.

The delayed enforcement, known as amortization, is intended to provide owners time to recoup their investments.

The earliest the law could be repealed would be March 20, following approval of an amendment on first hearing March 6.

"I was shocked to find out that I was being amortized," said Charles Shabica at last week's special meeting of the village board's Law Committee to give property owners a chance to air grievances.

Although the law was passed in February 1983, Shabica and others say they only found out about it in January, after receiving an annual housing form from the village.

Shabica lives in the house he owns at 326 Ridge and rents out the coach house behind it. His houses were built in 1874. Thus, when the village passed its first zoning ordinance in 1922, the coach house was permitted while new multiple-family dwellings were banned.

In 1972, the Illinois Historic Structure Survey named his house and coach house an Illinois Historic Structure, and in 1982 the Winnetka Historical Society gave his buildings a Heritage Home Award.

"These coach houses are an important part of the heritage of the town," says Shabica, professor of earth sciences at Northeastern Illinois University.

Nevertheless, unless the village board changes the law, property owners must receive variances from the zoning board of appeals and the village board by 1997 for more than one family to live on a property.

The law affects about 60 housing units on 55 properties, says village planner Curtis Allison, but does not affect apartment buildings in areas zoned for multifamily use. Winnetka had 694 apartments, including coach houses, in the 1980 census.

The law appears to exempt servants' quarters by excluding buildings housing "full-time household employees of the family occupying

See COACH, Page 3

# Coach:

## Winnetka's coach-house rules start to draw fire from owners

Continued from Page 1

the principal building," although Allison says the village has not decided how to interpret that section. Village attorney Dean Cameron agrees that servants' quarters may be exempt, on the grounds that servants may be considered part of the family occupying the main house.

Village officials differ sharply on the effect of the law.

Only poorly maintained properties would be denied variances, says Law Committee chairman Henry Synek. "In all probability, if each of you can make a case, you can get relief," said Synek.

However, this view was contradicted by the chairman of the zoning board of appeals, Wilbur Legg. "I don't think the zoning board will be influenced by the current maintenance practice," said Legg. "The purpose of amortization is to provide (owners) time to recoup their investment."

Property owners attending the Law Committee meeting were not satisfied that well-maintained buildings would automatically receive variances.

"There aren't objective standards," said Shabica. "You are at the whim of board members in the future."

A denial of the variance request would mean "we would have to maintain our building after we could no longer use it," said Heather Higgins to a burst of applause. "Without income to support it, it would steadily deteriorate."

She also complained that the village is researching the possibility of turning a local school into 64 apartments for senior citizens while reducing the amount of housing in residential districts.

Village officials have offered two reasons for the law.

They say the law enforces the single-family density rules set out in the village's zoning ordinance.

"You must remember that these (properties) are non-conforming uses," says village President Gwendolyn Trindl.

And they say the ordinance offers a way to regulate maintenance. Village officials have received complaints about deterioration of multiple-family dwellings, including coach houses and two- and three-apartment houses.

Craig Peterson of Evanston already has filed for a variance for his two-flat and coach house at 878 Ash, charging that his property already has dropped \$136,000 in value, or 53%, because of the expected loss of rent.

Shabica also may turn to the law, but in a different way. He doesn't want to turn out his tenant 1997. So, even though his tenant is nearly the same age as he is, "if forced into this thing, we would probably adopt her."

John T. Dale was born April 25, 1841, at Sandbach, England. In 1849 his parents immigrated to Salem, Kenosha County, Wisconsin, where he remained until reaching maturity, except when teaching in District schools.

When twenty-one years of age, (1862) he came to Chicago to seek his fortune, without friends or family, and after a few months in trying various occupations, he began the study of law, and for nearly two years was a Law Clerk and student in a Law office. In 1865 he was admitted to the Bar. From then on he was engaged in a Law practice in Chicago, principally in a practice pertaining to real estate matters.

In 1870 he married Miss Leila W. Graves of Chicago, a young lady of musical accomplishments, and they moved to Winnetka, where he began investing in large parcels of local real estate. John T. Dale succeeded Artemus Carter as President of the Village Board, continuing in office until 1874, when James L. Willson succeeded him. In 1876 Mr. Dale was again elected President, and was elected for the third time in 1887.

John T. Dale was a member of the Congregational Church and superintendent of Sabbath school in Winnetka and a member of the Congregational Club in Chicago. He was also a member of the I.O.O.F. and of the Humane Society of Chicago. They had one child, Ruth G. Dale.

From: Andreas-History of Cook County - 1884

The John T. Dale houses are not only some of Winnetka's most beautiful, they are also some of its oldest.

Born in England in 1841, John T. Dale immigrated to the US in 1849, first living in Salem, Wisconsin before settling in Chicago in 1862. Once in Chicago, Dale started studying law and working as a clerk in an attorney's office. In 1865, he became a lawyer focusing on real estate law.

In 1870, Dale married Leila W. Graves of Chicago and moved to Winnetka. By 1871, Dale had started investing in local real estate. He purchased a large swath of land just south of Willow Road with the intent of developing it into a housing subdivision.

Within a year, he built his own home within the subdivision on the southwest corner of Willow and Linden, now 352 Linden. WHS records indicate that Dale hired his father, Thomas, to build his home. Thomas was a master carpenter who was highly skilled as both an architect and builder. While we don't know for sure, it is likely that Thomas both designed and built all of the John Dale houses in Winnetka before he died at his son's home in Winnetka in 1880.

While living in Winnetka, both Dale's law and real estate careers flourished. He eventually became the head of his own law firm with offices first in the Tribune building and later in the historic Unity Building, which stood at 127 North Dearborn until it was torn down in 1989. He also helped plat much of the Village of Winnetka, and is credited with naming many of its streets.

In addition to practicing law and developing real estate, Dale was accomplished as a writer and local government leader. He wrote a book on morals for young men, which became required reading for New Trier boys. He also served as the second president of the Village of Winnetka from 1873 to 1874. Remarkably, Dale served two additional terms as Village president in his lifetime, from 1876 to 1877 and again from 1887 to 1888.

In addition to 352 Linden and 352 Ridge, Dale built a third Italianate home at 326 Ridge in 1872. It was purchased by the Heath family after they were displaced by the Great Chicago Fire of 1871. In 1886, it was purchased by the Goss family, who owned it for over 30 years.

In 1929, the Goss family sold 326 Ridge to Park Phipps, an artist who taught classes at the Art Institute of Chicago. Phipps lived there for over 20 years and did several updates to the house, including removing the front porch. He also converted the barn into a coach house in 1941.

In 1975, the house was purchased by the current owners, who underwent a large-scale restoration of the house. Thanks to their care and appreciation for its history, 326 Ridge maintains several quintessential Italianate characteristics, including the gently sloping roof, the distinctive wide eaves with decorative brackets around the overhang, and the bay windows.

Dale also built a large Italianate home at 352 Ridge, which was sadly demolished in 1967.

# Ella M Heath

in the Illinois, U.S., Marriage Index, 1860-1920

**Detail**   **Source**

|                |                                |
|----------------|--------------------------------|
| Name           | Ella M Heath                   |
| Gender         | Female                         |
| Marriage Date  | 27 Dec 1888                    |
| Marriage Place | Cook, Illinois, USA            |
| Spouse Name    | <a href="#">J Vinton Bacon</a> |
| Spouse Gender  | Male                           |

© 2025 Ancestry.com

# Ella Mary Bacon

in the Illinois, U.S., Deaths and Stillbirths Index, 1916-1947

**Detail**

**Source**

|                    |                                      |
|--------------------|--------------------------------------|
| Name               | Ella Mary Bacon<br>[Ella Mary Heath] |
| Birth Date         | 15 Jul 1861                          |
| Birth Place        | Wis                                  |
| Death Date         | 16 Mar 1930                          |
| Death Place        | Chicago, Cook, Illinois              |
| Burial Date        | 18 Mar 1930                          |
| Burial Place       | Chicago, Cook, Ill.                  |
| Cemetery Name      | Rose Hill                            |
| Death Age          | 68                                   |
| Occupation         | Housewife                            |
| Race               | White                                |
| Marital Status     | W                                    |
| Gender             | Female                               |
| Residence          | Chicago, Cook, Illinois              |
| Father Name        | Geo Heath                            |
| Father Birth Place | Rochester, N.Y.                      |
| Mother Name        | Emily Jane Wood                      |
| Mother Birth Place | Spring Prairie, Wis.                 |

|                 |                     |
|-----------------|---------------------|
| Spouse Name     | Justus Vinton Bacon |
| Comments        | Residence 50y       |
| FHL Film Number | 1892488             |

© 2025 Ancestry.com

# George W. Heath

in the 1880 United States Federal Census

Detail

Source

|                           |                                     |
|---------------------------|-------------------------------------|
| Name                      | George W. Heath                     |
| Age                       | 41                                  |
| Birth Date                | Abt 1839                            |
| Birthplace                | New York                            |
| Home in 1880              | Winetka, Cook, Illinois, USA        |
| Dwelling Number           | 276                                 |
| Race                      | White                               |
| Gender                    | Male                                |
| Relation to Head of House | Self (Head)                         |
| Marital Status            | Married                             |
| Spouse's Name             | Jane S. Heath                       |
| Father's Birthplace       | New York                            |
| Mother's Birthplace       | New York                            |
| Occupation                | Schoolteacher                       |
| Neighbors                 | <a href="#">View others on page</a> |

| Household Members (Name)      | Age                | Relationship         |
|-------------------------------|--------------------|----------------------|
| <b>George W. Heath</b>        | <b>41</b>          | <b>Self (Head)</b>   |
| <a href="#">Jane S. Heath</a> | <a href="#">42</a> | <a href="#">Wife</a> |

| <b>Household Members (Name)</b> | <b>Age</b> | <b>Relationship</b> |
|---------------------------------|------------|---------------------|
| Emma J. Heath                   | 21         | Daughter            |
| Ella M. Heath                   | 18         | Daughter            |
| Eliza Holmes                    | 38         | Sister-in-law       |

© 2025 Ancestry.com

# Roswell B Mason

in the 1920 United States Federal Census

[Detail](#)

[Source](#)

[Discover](#)

|                           |                                       |
|---------------------------|---------------------------------------|
| Name                      | Roswell B Mason<br>[Rosereil B Mason] |
| Age                       | 45                                    |
| Birth Year                | abt 1875                              |
| Birthplace                | Illinois                              |
| Home in 1920              | New Trier, Cook, Illinois             |
| Street                    | Ridge                                 |
| House Number              | 326                                   |
| Residence Date            | 1920                                  |
| Race                      | White                                 |
| Gender                    | Male                                  |
| Relation to Head of House | Head                                  |
| Marital Status            | Married                               |
| Spouse's Name             | Janet Warren Mason                    |
| Father's Birthplace       | Illinois                              |
| Mother's Birthplace       | Illinois                              |
| Able to Speak English     | Yes                                   |
| Occupation                | Lawyer                                |
| Employment Field          | Own Account                           |

Home Owned or Rented      Rented  
Attended School      No  
Able to read      Yes  
Able to Write      Yes  
Neighbors      [View others on page](#)

| <b>Household Members (Name)</b>    | <b>Age</b>         | <b>Relationship</b>      |
|------------------------------------|--------------------|--------------------------|
| <b>Roswell B Mason</b>             | <b>45</b>          | <b>Head</b>              |
| <a href="#">Janet Warren Mason</a> | <a href="#">36</a> | <a href="#">Wife</a>     |
| <a href="#">Annie Warren Mason</a> | <a href="#">6</a>  | <a href="#">Daughter</a> |
| <a href="#">Julie S Mason</a>      | <a href="#">1</a>  | <a href="#">Daughter</a> |
| <a href="#">Elizabeth Wagner</a>   | <a href="#">23</a> | <a href="#">Maid</a>     |

© 2025 Ancestry.com

## GEORGE W. HEATH.

Proudly prominent among the Chicago schools, previous to the conflagration was the Ogden school, on the North Side, which latterly was ruled by Geo. W. Heath, the newest of the Principals. Mr. Heath's incumbency was very brief, he having come to the city only about a year ago; but it was long enough to give promise of very great efficiency. Pre-eminently self-made, possessing sound discretion, gifted with remarkable faculties of instruction, of well-cultivated habits of patient investigation, and a mind well stored with facts on a vast range of subjects, there is no doubt but that he would have not only maintained the reputation of the school, but have added to it new and desirable qualities. Since the fire Mr. Heath has been out of the city, but upon the reconstruction of the North Side school-houses he will doubtless be recalled.

CORVON A. STOWELL

Judge Gardner yesterday granted a decree of divorce to Jennie C. Lines from Charles G. Lines, on the ground of adultery; to Mary Scott from Elmore Scott, for desertion; to Sanford A. Goss from Mary A. Goss, for the same cause; and to Sarah Fessenden from John C. Fessenden, on the ground of adultery.

---

## CHARGES AGAINST A PRINCIPAL.

### He Is Accused of Harsh Conduct Toward a Teacher, and Other Things.

At a meeting of the Committee on Teachers of the Board of Education Monday night there were under investigation certain charges against Mr. George W. Heath, Principal of the Ogden School. As a result he was suspended for one week only, until the Board of Education meets next Wednesday to take final action on the matter. The Committee on Teachers in the meantime will collect all additional evidence they can and look into the matter thoroughly so that an intelligent report can be made to the board. While the prima-facie proof seemed so strong that the members all agreed in their opinion that the Principal ought to be suspended, yet on further examination a different conclusion may be arrived at.

It is charged by Miss Scanlan, who has been employed for three or four years and is considered one of the best teachers at present in the service of the city, that Mr. Heath overstepped his authority in many instances; that he undertook to reprimand her in the presence of her class, saying it was the most disorderly one in the school, and put her back to the fifth grade while she had been teaching in the seventh, and this without consulting Superintendent Howland or Mr. Brand, the member of the board who has special care of the Ogden School. The rule is that no Principal shall make a change of this character, but must leave it to the Superintendent and the respective members of the board. Furthermore it is charged that Mr. Heath on one occasion was unduly rough in his language towards Miss Scanlan, while at the same time charging her with being too partial to a boy in her class. This boy, as a matter of fact, is said to be a very fine pupil and is no longer in the Ogden School. During all this time, it was charged before the committee, Mr. Heath did not run the school at all, but that it was managed by those who had him under their influence.

Many of the charges the committee regarded as trivial, but several were deemed of sufficient importance to justify an investigation. Mr. Heath was notified yesterday morning of the action taken. He was very indignant, and took the matter so much to heart that an attack of illness was precipitated, and he was compelled to leave for his home in Winnetka.

https://www.newspapers.com/image/349837541/



GEORGE W. HEATH. CHESTER C. DOGE.

ent position since 1874. The school now numbers 700 pupils, and is taught by nineteen teachers. Mr. Slocum married about the time he began teaching in Chicago.

Miss Elsie H. Gould is a native of Massena, N. Y., and was educated there and at Peacham, Vt. She began work in the Chicago schools in 1857, and has been Principal of Vedder Street School for fourteen years. Miss Gould spends all her vacations at Lyndon, Ill., on Rock River.

Lilly Skaats Hawley, Principal of the Skinner School, has been identified with public school work in Chicago for a quarter of a century. Skinner School has twenty-five teachers and a membership of more than a thousand pupils, eighty-five of whom are in the eighth grade.

Oliver S. Westcott, Principal of North Devon High School, is a native of Rhode Island and is 54 years old. He has had thirty years' experience teaching, has been twice married, and has five children. He spent a part of his vacation on the north shore of Lake Superior, returning in time to attend the meeting of the American Association for the Advancement of Science, in which organization he is a fellow and a devoted worker. He expects this year to have thirteen teachers and more than 600 pupils.

William M. Lawrence, Principal of Sheridan School, was born at Aurora, Ill., and is now 41 years old. He passed his boyhood in Janesville, Wis., graduating from the High School in 1863. The next year, at the age of 17, he enlisted in Company M of Fourth Wisconsin Cavalry, and served over two years, doing special duty on the Rio Grande for a year after the war closed. After being mustered out, he taught several years in Stoughton, Wis., took a full classical course at

Will C. Dodge, Principal of the Franklin School, was born in Pulaski, N. Y., in 1848. He is a brother of C. C. Dodge of the Oakley School. He taught in country schools in New York, and at the age of 20 he took a situation in the State Industrial School at Waukesha, Wis. He graduated from the Cook County Normal School in 1871, and soon began teaching in that institution. He afterward attended Cornell and Columbia Colleges and the Illinois State University. He is married. He has spent the most of his time in the Cook County Normal, having taught there thirteen years. He came to Chicago in September, 1885, and taught one year in the Wicker Park School. He was transferred the next year to the Brainard School, and when Prof. Sabin was raised to the Superintendent's force from the Franklin School Mr. Dodge was sent to take his place. The Franklin School is probably the largest school in Chicago, having thirty-six teachers and nearly 2,000 pupils.

Chester C. Doge, Principal of Oakley School, was born in Pulaski, N. Y., in 1852. His parents



W. C. DODGE. WILL J. BARTHOLF.

came to Illinois and settled on a farm at Barrington, Cook County, in 1854, and there he spent his early days. He graduated from the Cook County Normal School in 1873, and afterwards from the Chicago Homeopathic Medical College. He also studied medicine in Europe. He is married. He began teaching in 1873 in District No. 2, Town of Lake, corner State and Forty-seventh streets, and began in Chicago in the Central Park School in 1881; was transferred to the Oakley School in 1883, where he has since continued. The Oakley is a fifteen-room building situated on Oakley avenue and Ohio street, with a branch on Indiana street near Oakley avenue. There are twenty-one teachers and about 1,100 pupils.

George W. Heath, Principal of Ogden School, is a native of Ontario County, New York, and is 50 years old. In 1853 he was a surveyor's assistant in locating a line of railway out of Chicago. He commenced teaching in Wisconsin in 1856. He served a year in a Wisconsin regiment. In 1871 he took charge of Ogden School, where he now has 1,100 children and a corps of twenty-five teachers.

A. R. Robinson, Principal of Dore School, has



### **Prof. George W. Heath.**

Prof. George W. Heath, for twenty years Principal of the Ogden School, died yesterday morning at his home, No. 610 Lincoln avenue, of pneumonia. Funeral services will be held at the New England Church Wednesday at 1 p. m. Prof. Heath was born in New York, in 1838, going to Wisconsin at the age of 15, where, unaided, he educated himself as a teacher, in which work he had been engaged thirty-three years. He taught at East Troy and Racine, Wis., before coming to this city. Prof. Heath leaves a widow and two married daughters—Mrs. James Dickson of Springfield, Ill., and Mrs. J. V. Bacon of this city.



**A Quiet Wedding.**

Married in Chelsea at 10 o'clock a. m. Thursday, July 19, by Rev. W. E. Allen, Miss Minnie E. Sanborn of this town and Sanford A. Goss of Chicago, Ill. The ceremony took place at the bride's home on Main street in the presence of a few of her most intimate friends.

The room was profusely decorated with flowers presented by friends for the occasion.

The happy couple left on the afternoon train for Boston where they will remain for a few days, then go to Chicago, stopping en route at Albany, Buffalo, Rochester, Niagara Falls, N. Y., and Detroit, Mich. They will be at home after August 5 at Wilmette, Ill., a suburb of Chicago.

The bride was the recipient of some very handsome presents from friends in town. Her present from the groom was a beautiful solitaire diamond ring.

The bride is the daughter of the late Harvey Sanborn of this town, where she has always lived. After the death of her mother, she became housekeeper for her father and sacrificed the early years of her life to caring for him in his declining years. He died in 1896, since which time she has lived alone, a brother who lives West and herself being all that remain of the family. Although not given much to going into society, she has a large circle of friends who regret her removal from town, but Chelsea will not lose her entirely as she will retain her house and spend most of the summer months here.

Mr. Goss was born in Morrisville, the son of the late Charles W. Goss. His ancestors all came from this vicinity, his grandfather on the father's side being Charles Goss of Randolph, and Parker Carpenter, his mother's father, resided in Strafford.

Mr. Goss graduated at the Vermont Methodist seminary at Montpelier and for four years after taught penmanship and bookkeeping at St. Johnsbury academy. He went to Chicago in 1879 and was in company with J. E. Temple & Sons, manufacturers of plumbers' supplies, being vice president of the company until 1885. While with them, he invented the Goss rubber bucket for chain pumps used so extensively throughout the country. In 1887 he was appointed deputy sheriff of Croke county, which position he holds at the present time, being Judge A. N. Waterman's personal court deputy. In 1890 he was elected the Republican county central committeeman for the third district of Croke county, a very important position in the party, especially during a campaign. He retained this position until November, 1895.

He came to Philadelphia last month as a delegate by the Republican national convention and seems to Vermont, ostensibly to see the weather, who goes in this town, but really it was the young lady whom he has carried away his bride that called him back to the green hills of old Vermont. He met Miss Sanborn last summer while visiting here with his sister, Mrs. John G. Allen, also of Chicago.

Mr. Goss has a residence in Chicago and also one a few miles out of the city at Winnetka. They will make the latter place their home in the spring.

After many intricate experiments, scientists have discovered methods for obtaining all the natural digestants. These have been combined in the proportion found in the human body and united with substances that build up the digestive organs, making a compound called Kodol Dyspepsia Cure. It digests what you eat and allows all dyspeptics to eat plenty of nourishing food while the stomach troubles are being radically cured by the digestants it contains. It is pleas-

SANFORD A. GOSS, for many years deputy sheriff of Cook county and personal bailiff in the courts of Judge Waterman and Judge Kersten, and more recently connected with the real estate office of McGuire & Orr., died Thursday at his summer home in South Royalton, Vt.

<https://www.newspapers.com/image/355019048/>

BACON—Ella Mary Bacon, nee Heath, beloved wife of the late Dr. J. Vinton Bacon, mother of George, Vinton, Ella, and Elbert Bacon, sister of Emma Jane Dickson. Remains at chapel, 955 Diversey-pkwy. Funeral services Tuesday, March 18, 1930, at Wesley M. E. church, Diversey-pkwy., corner Seminary-av., at 2 p. m. Interment Rosehill cemetery.

Copyright © 2025 Newspapers.com. All Rights Reserved.

# Winnetka Works for Victory

## Make Survey to Locate Tools for Defense Uses

All over the country basement shops and garages are being made into defense plants, manufacturing small parts under the sub-contracting system now being perfected and refined by the War Production board. The board is asking Chambers of Commerce to assist in the location of idle tools which might be put to defense uses.

Robert Johnson, secretary of the Winnetka Chamber of Commerce has asked the assistance of the Defense council in making a survey of the village for such tools and machines. Lloyd Long, industrial arts instructor at Skokie school, has been asked to serve as coordinator of this activity, and the two men will work out details of the survey. They will welcome help from manufacturers, mechanics, inventors, attorneys, or anyone who has a creative idea on how the small shop can aid in the defense effort.

\*\*\*

## Wanted, at Once! Rags for Victory

Spring cleaning time is here, and this year you can have the double satisfaction of getting rid of accumulated odds and ends and at the same time aid in the war effort, for rags are badly needed.

There are many uses for this material. A large portion of our wood pulp supply has been cut off, and rags can help fill this shortage. Kapok, a product of the East Indies, is used in life belts, and would be most welcome. Wiping rags for machinery are greatly needed.

Clothing which is no longer wearable, particularly shirts, underwear and cotton dresses, kapok-filled pillows or mattresses, sheets, pillow cases, flour sacks, burlap bags in good condition, and old carpeting are among the things which you may find you have.

Gather your collection today and bring it to the Rummage room at Community House, marked "Rags Only." From here it will go to the proper channels for reuse.

\*\*\*

## Maurice Evans to Give Benefit for B.W.R.

Maurice Evans, one of the greatest Shakespearean actors of our day, will present a lecture-recital entitled "Shakespeare Speaks Today" at New Trier High school, May 3, at 4 p.m., for the benefit of the British War Relief society. The money from the benefit will go toward clothing for the 2,000,000 children in Britain who are still in need. The Winnetka and Evanston units of the B. W. R. are combining in sponsoring the benefit. Tickets may be purchased from Mrs. Kenneth Boyd, general chairman for Winnetka of the British War Relief, from Mrs. Charles Yeomans, ticket chairman for the benefit, or from the following women who form the nucleus of the ticket committee:

Mrs. Laird Bell, Mrs. William Elliott, Mrs. Samuel Greeley, Mrs. Dennison Hull, Mrs. George G. Jones, Miss Polly

King, Mrs. Jasper King, Mrs. Clark Laurence, Mrs. Frederick Mason.

Mrs. Martin Lindsay, Mrs. Clarence Randall, Mrs. John Ritchie, Mrs. George D. Smith, Mrs. Perry Smith, Mrs. Paul Starr, Miss Dorothy Stirling, Mrs. Arthur Walsh.

\*\*\*

## Victory Gardens

Do you need an excellent and simplified guide for vegetable gardening? One especially prepared for the Chicago area?

Whether you are an experienced gardener or planting vegetables for the first time, you will be pleased with the guide now available at the Victory Gardens headquarters in the Winnetka Village hall, prepared by the Glencoe Park district and the Men's Garden club of Glencoe for the Glencoe Victory Gardens.

It lists recommended varieties of much used vegetables, giving also the planting and maturity time for each, directions for culture, and whether the crop is grown for table use, canning or storage. It also gives information about type of soil, fertilizer, pests and diseases and their remedies, and additional points such as the amount of seed needed.

Now is the time to get this chart, as George Brave, the representative of the professional Gardeners' association on the Victory Gardens committee, advises that he is now planting spinach, lettuce and onions in the garden. Before this is done, the plot must be carefully spaded. The surface must be fine, and there must be no clumps of soil on the top. Then rake level, and stretch string between two stakes to get the rows straight. If you need more detailed information call Victory Gardens Headquarters, Winnetka 678.

The planting depth should be gauged according to the size of the seed. Smaller seed should be planted shallowly. Lettuce should be put in  $\frac{1}{2}$ " below the surface, while spinach should be  $\frac{3}{4}$ " deep.

An attractive model of a suburban home and garden, which may give you some new gardening ideas, is now on display at the Indian Trail Tea Room. The model, made by Mr. and Mrs. L. M. Hamburger of Winnetka as an entry of the Men's Garden Club for the National Flower and Garden Show of the Chicago Area at the International Amphitheatre, won the blue ribbon and gold medal over 44 other entries.

\*\*\*

## Will Speak on Consumer Education

"Housekeeping for Victory" is the keynote of the first program to be arranged for Winnetka by the Consumer Education committee of the Winnetka Civilian Defense council. Three speakers will discuss various aspects of consumer co-operation in the war effort on Friday afternoon, April 17, at 2 o'clock in Community House.

Winnetka women attending the meeting will be asked to fill out consumer-interest cards, so the committee can plan future meetings to meet specific needs. Nutrition, textiles, budgeting, labeling and grading, rationing, and the care of household equipment are among the subjects about which the local OCD has had inquiries.

Mothers with small children may

leave them at a nursery to be maintained at Community House during the meeting by the consumer committee. Thus, all women in the Village will be able to participate in this important meeting and learn how to become an active worker for victory.

\*\*\*

## Victory Booths

### Brisk Business Reported By Women's Committee

"We are delighted with the patronage our Victory Booths are receiving," reports Mrs. Curt Heinfeld, who is in charge of manning these booths. "Seventy five women have volunteered to give their time as saleswomen. Our only difficulty is getting women who are free to serve on Thursdays and Saturdays, which are, of course, busy days for housewives. But they are also the best days to sell War Savings stamps.

"Any woman who can so arrange her household affairs so as to spare a few hours on Thursdays or Saturdays will be doing a real service to the Savings staff. Please telephone Win. 1635."

"The Victory Booth at Community is especially active on Friday and Saturday nights at movie time and during the luncheon hour. Mrs. Oakley Brown will be on duty there this Friday and Saturday evening. One of our workers, Mrs. E. V. L. Brown, last week took applications for bonds to the amount of \$1175,

at the Booth in Rogers company store."

Mrs. Carson Taylor, chairman of the Victory Booth committee, has installed a booth in the North Shore Gas company, which is proving a convenience and center of interest to the women who are attending the Nutrition classes now being held there.

"Our eagle with its red, white and blue streamers, will very soon make its appearance in Best and company's store," says Mrs. Taylor. "Women who are to be on duty there are pleased at the thought of two - birds - with - one - stone - serving, beneath the eagle, the Savings staff, and watching a style parade at the same time."

Mrs. Oakley Brown, chairman of the Speaker's bureau for the Women's committee, reports fullest cooperation from the clubs, groups and organizations that she has approached for permission to send three-minute speakers about War Savings bonds to their meetings. Mrs. Thomas J. Condon is scheduled to speak at the benefit bridge and fashion show given by the Junior Auxiliary of the Winnetka Woman's club Friday, April 10. Mrs. Condon has been heard many times on the radio, speaking for the Illinois Savings staff.

"During the Pledge campaign May 11, 12 and 13," says Mrs. Brown, "we hope to have our speakers making minute talks before every group, large and small, in Winnetka."

## Savings Staff Drafts Artists



Evanston Photographic Service

Park Phipps, head of the Department of Advertising and Printing Design of the Art Institute school, directs the work of the Poster and Display committee whose members have offered their services to the Women's Committee of the Winnetka Savings Staff in their window-display project. In the picture from left to right are: Standing, Mrs. Edward Kopper, Mrs. George Englehard, Mrs. Frank Farnham; seated, Mrs. Langdon Pratt, Mr. Phipps, Mrs. Noyes Huston, and Mrs. Charles Ball.

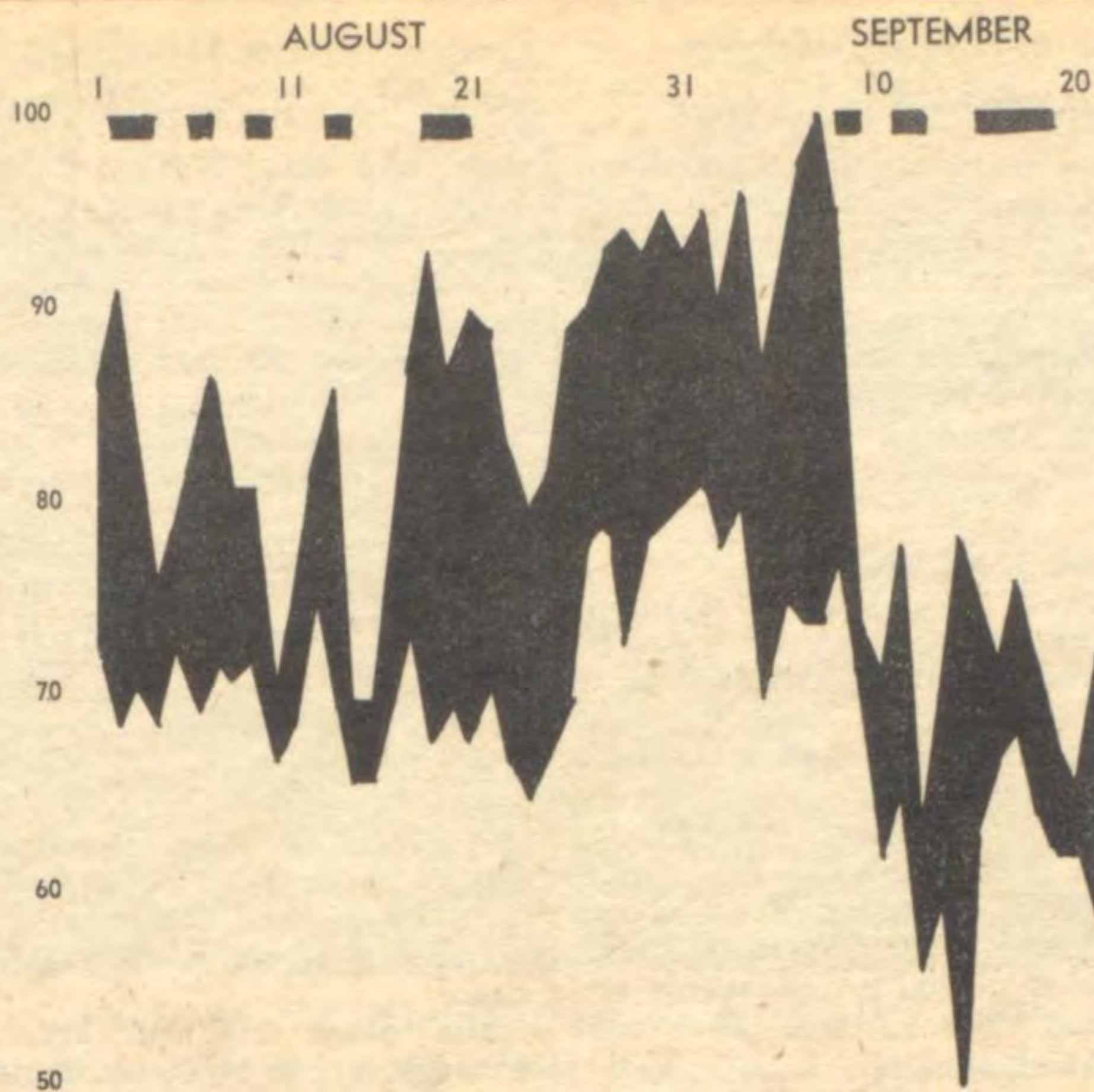
Winnetka artists have shouldered their paint brushes, sharpened their palette knives and enlisted in war service for the duration. A group of them, all of whom at one time followed artistic careers, have formed a class for further study in poster making and lettering.

The class meets every week to work under the direction of Park Phipps, head of the Department of Advertising and Printing Design of the Art Institute school.

This Poster and Display committee, composed of the members of this group, has already been responsible for many posters depicting various civilian war activities. They have offered their services to further a project of the Women's committee of the Illinois Savings

staff which is to enlist the interest of every merchant in Winnetka in having window displays co-incident with the pledge campaign scheduled for May 11, 12 and 13.

Suggestions will be made to those making window displays and designs provided. Dramatizing the statistics of war and its financial aspects is one way in which the War Savings program will be graphically presented. Among the Winnetka merchants who have already offered their windows for this purpose are the North Shore Gas company, Shore Line Motors, Oddly Enough Shop, Village Bakery, Variety Shop, D. W. Rogers and company, Dina Frocks, Chestnut Court Book Shop, and Odhner Tailors.



**Summer Wanes With Higher Temperatures**

Departing summer, which had brought the North Shore moderate temperatures all through June and July and the first half of August, then decided to show what it could do in the heat-producing line. The graph shows the daily range of the thermometer from Aug. 1 to Sept. 21.

Late in August and during the first week in September, the mercury climbed above the 90-degree mark every day and at one time (Sept. 7) hit 100 degrees. Except on Sept. 1, however, the temperature dipped below 80 degrees during the night.

Then, about the time school started, the temperature dropped into the 70s. The black bars at the top of the graph show the days on which there was rain in the area.

**Mrs. Strong Is Newly Appointed Librarian**

Mrs. Jonathan W. Strong has been appointed librarian at the North Shore Country Day School.

She will direct the work of the lower and middle school libraries in addition to the new library in the upper school.

A resident of Winnetka, Mrs. Strong has served with various community organizations including the League of Women Voters and the Winnetka Associates of the woman's board of the Art Institute of Chicago. She studied at Vassar College and the University of Chicago. Mrs. Strong resides with her husband and two children, Jonathan and Debby, at 326 Ridge avenue.

**Story of 'Morning Ex' to Be Told at School**

The story of "Morning Exercise," the daily assembly at the North Shore Country Day School, will be the subject of a talk tomorrow morning by Perry Dunlap Smith, headmaster emeritus, at the assembly at the school. On Monday, morning exercise will feature "The Prairie Trek," a report of a summer camping trip by Gerald Ostrom, faculty member. Morning exercise is held 10:30 a.m. daily in the auditorium at Country Day. The public is invited to attend.

**P.T.A. District 21 to Hold Glenview Meeting Thursday**

Mrs. Harry Morgan, 2232 Prairie street, Glenview, is in charge of general arrangements for the 30th annual fall conference of District 21 of the Illinois Congress of Parents and Teachers which is scheduled for next Thursday.

Registration will begin at 9:30 a.m., and the call-to-order at 9:45 a.m. at the Glenview Community Church. The group will recess for lunch at 11:30 p.m. so there will be time to visit the information centers where district assistants will be available for counsel.

**Noon Luncheon**

Luncheon will be served at noon. Reservations may be made with Mrs. Miron Roberts, 112 Harlem avenue, Glenview.

More than 400 delegates from 130 North Shore and Northwest suburban schools will be present. The conference is dedicated to the theme "Home and School—Foundation for Tomorrow's Citizen."

Taking part in the conference will be Mrs. George Carty, second vice president of the congress; Dr. Carl S. Winters, Oak Park; Mrs. Elbert Tourangeau, character and spiritual education chairman of the congress; and Dr. Franklin Fitch, social hygiene chairman of the congress.

There will be 15 information centers manned by district assistants who are specialists in all phases of P.T.A. activity. They will be available for consultation and distribution of publications pertaining to their particular field.

The Illinois Congress of Parents and Teachers is a branch of the national congress. The state is divided into 33 districts. District 21 covers elementary and high schools located in the suburban area north of Chicago through Lake Forest and northwest as far as Palatine.



**Everest & Jennings**  
**Wheel Chairs and Walkers**  
RENTALS AND SALES



*Lyman*

1138 Central Ave.  
400 Linden Ave.

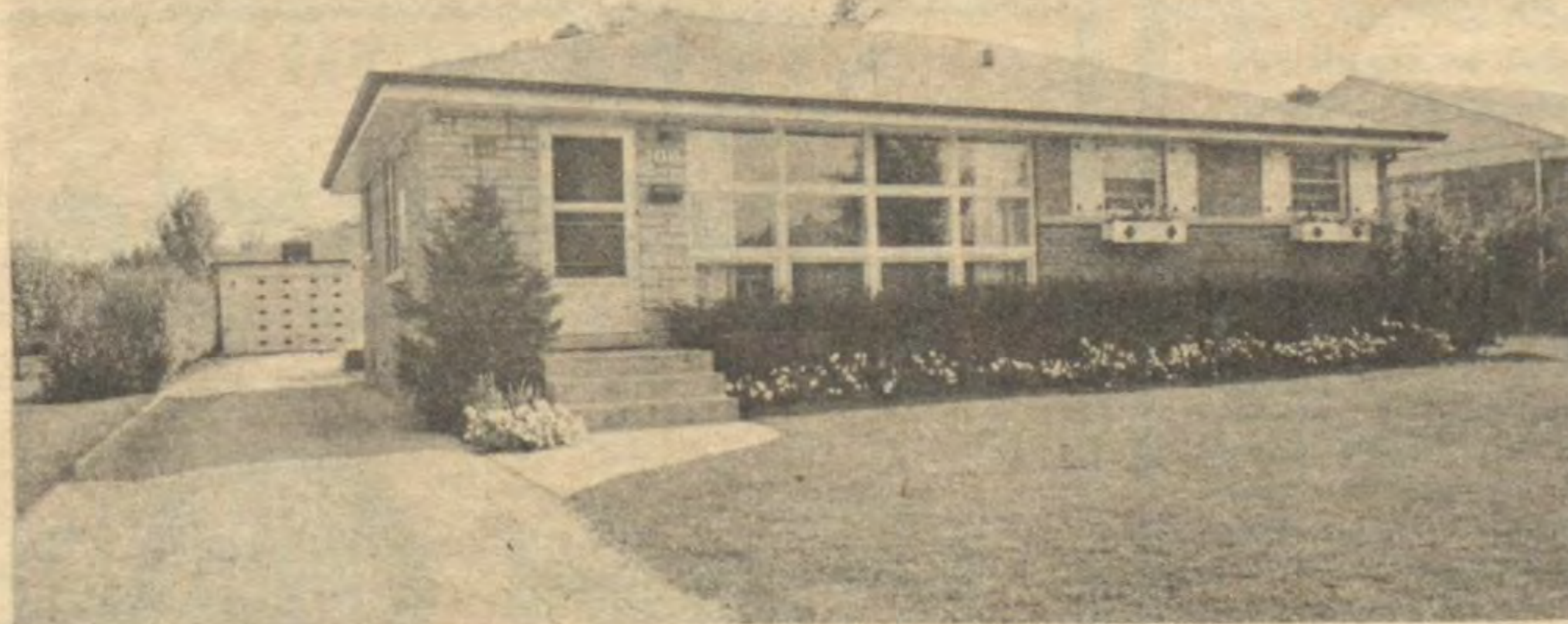


**SARGENT'S**

Wilmette  
Wilmette

ALpine 6-0028  
ALpine 1-0463

OPEN SUNDAY 2-5 P.M.



2435 Robincrest, Glenview

- Beautifully maintained, and in finest condition throughout. Excellent interior.
- All brick construction.
  - Walled Patio, pretty yard.
  - Living-dining combination.
  - 1½ car garage.
  - 3 Nice bedrooms.
  - 1 block to Rugen School.
  - Fine Basement, recreation area.
  - Immediate possession.
  - Big kitchen, breakfast area.
  - Priced low for quick sale.

Or call MR. DEAKINS today.

**BAIRD & WARNER**

Since 1855



1157 Waukegan Road  
Park 4-1855

Glenview, Illinois  
IRving 8-2204

**ARE YOU PLANNING A PARTY SOON?**

Then Throw a Real SHINDIG IN OUR

**PARTY**



Or Take Some OLD-FASHIONED

**HAY RIDES**

For Complete Information

CALL Casey

CR 2-0205

Northbrook

**CASE • MOR**

Horse and Pony Farm

2830 Shermer and Willow

CR 2-0205

Northbrook, Ill.

**FINE INTERIORS**



*You are cordially invited to visit the 20th Festival Model Home furnished by Barnitz Studios decorators*

MONDAY THRU FRIDAY, 2 P.M. TO 5 P.M.  
SATURDAYS AND SUNDAYS, NOON TO 7 P.M.  
THROUGH SUNDAY, OCT. 9



FESTIVAL HOUSE NO. 20

375 Meadowbrook Drive  
Sunset Ridge Estates  
Northfield  
Located East off of Sunset Ridge Rd.  
North of Willow Road  
Builder: Northfield Building & Construction Co.

North Shore's Largest Collection of Prestige Home Furnishings



1724 SHERMAN AVE., EVANSTON  
GReenleaf 5-5050

910 LINDEN AVE., WINNETKA  
Hillcrest 6-5151



These six North Shore women from the chancel choir of the Winnetka Presbyterian Church will perform in a skit, "Powder Room," Monday at the 9th annual Chicago Emmy Awards show. They are (seated, from left) Mrs. M. Lee Bishop and Mrs. Richard Horchner, both of Winnetka, and Mrs.

James Potter of Wilmette and (standing, from left) Mrs. Paul Mikelson of Winnetka, Mrs. George Souchek of Northfield, and Mrs. John Heiser of Northbrook. Robert Dressler of Wilmette, director of the church's choirs, directed the vocal portions of the Emmy Show.

# Kenilworth Group Wants Land Pledge

Kenilworth residents whose property had been ticketed for eventual purchase by the school district this week asked again that their land be dropped from consideration for 15 years.

They referred to an item in the Sears School 10-year master plan calling for eventual acquisition of five lots in the 500 block of Abbotsford Rd., the 300 block of Cumnor Rd. and the 300 block of Melrose Av., southeast of the school.

The master plan did not state when these lots would be purchased but it was the final item in the expansion plans.

The school board decided to drop consideration of the item Apr. 23 due to the concern of residents about "a cloud hanging over their property" if they should decide to sell it before the school district wanted to buy it.

Last Thursday four villagers appeared at the Kenilworth Park District Board meeting to further explain the property owners' concern in the event that the park board should be asked by the school board to co-operate in any way with this item in the future.

The villagers were Mr. and Mrs. Allen Venner, 514 Abbotsford Rd., and Mr. and Mrs. John J. Freeman, 337 Melrose Av.

These same four also explained their views at Monday's village board meeting along with Dr. Jerry G. Grover, 523 Cumnor Rd., Mr. and Mrs. Philip E. Stonehouse, 515 Cumnor Rd., and Mr. and Mrs. Harry F. Meislahn, 353 Melrose Av.

Also present as observers at this meeting were Mrs. Edward P. Johnson, 520 Earlston Rd., Kenilworth, representing the Winnetka, Northfield, and Kenilworth League of Women Voters; Peter N. Todhunter, 25 Warwick Rd., president of the school board; and Dr. Philip N. Jones, 328 Warwick Rd., a

member of the school board.

The citizens asked for a statement by the school board that this item will not come up again for at least 15 years, Kenilworth Village Mgr. Robert Daley said. No such official statement on the citizens request has yet been issued by the school board, which will meet Monday.

In other business, the park board elected Harold B. Keith president. He succeeds John N. McConnell, who became building and grounds chairman. Mrs. Bruce Telfer became the horticulture chairman. Robert Prentiss, finance chairman, and John Dix, recreation chairman, retained their chairmanships.

## Plan Talk By Markey At Meeting

Brig. Gen. Howard T. Markey of Winnetka, Air Force jet ace and now a lawyer, will speak Wednesday at the annual banquet of Parents for Responsible Education, Inc.

He will discuss defense and politics at the 6:30 p.m. event in the Michigan Shores Club. Another visitor, the Rev. John W. Beretta, an instructor at St. Rita High School in Chicago, will give the invocation.

P.R.E. is a group of North Shore parents and educators who meet regularly to discuss current educational problems and policies.

One of the earliest American jet pilots, Gen. Markey now is commander of the 126th Air Refueling Wing of the Illinois Air National Guard and is a lawyer in the firm of Parker and Carter, Chicago.

He served in the Air Force from 1941-46 and again for 19 months during the Korean conflict. He has won the Legion of Merit, Distinguished Flying Cross, Soldier's Medal, Purple Heart, Air Medal, Bronze Star, the Military Merit Ulchi Medal of the Republic of Korea, and nine service medals.

In civilian life he has received the George Washington Honor Medal in speech from the Freedom Foundation in Valley Forge, Pa.

He has devoted most of his recent life to public speaking and research in patent law. After World War II, he received his law degree from Loyola University School of Law and a master's degree in patent law from John Marshall Law School.

He is a member of more than a dozen Chicago-area civic, educational, and military organizations. He often lectures on American government and the role citizens play in it.

## Professor Philip Crane Named to Head Academy

Dr. Philip M. Crane, a history professor at Bradley University, has been appointed director of Westminster Academy, an accredited elementary school west of Glenview.

Dr. Crane has masters and doctorate degrees from Indiana University, where he has been a faculty member. He also has done postgraduate work at the University of Michigan and the University of Vienna and has lectured at numerous colleges and conducted seminars for the Intercollegiate



Dr. Crane

Studies Institute.

Dr. Crane is president of the American Public Affairs Educational Fund, vice president of the Educational Foundation for Human Rights, a charter member of the American-African Affairs Association, and a member of the National Institute of Social Sciences.

A contributor to professional and popular journals, Dr. Crane is on the editorial advisory board of the Intercollegiate Review and has written a syndicated newspaper feature, "Lessons of History."

A member of various historical and political science associations, Dr. Crane is listed in "Who's Who in American Education." He is a veteran of the Korean conflict and the father of six children.

## Sen. William Proxmire Plans To Speak at Independence Fete

Sen. William Proxmire (D-Wis.) will speak on behalf of the Combined Jewish Appeal of Metropolitan Chicago at an Israel Independence Day celebration at 8 p.m. Tuesday in the Wilmette Beth Hillel Congregation.

Funds raised by CJA are used for transit, resettlement, and rehabilitation aid for thousands of new immigrants in Israel and France; for relief and other welfare programs for Jewish people in 27 countries overseas; and in the United States for religious, morale-building, and welfare programs for members of the military services and the support of Jewish educational institutions in Chicago and suburbs.

CJA funds are also used for the partial support of the 12 Jewish Federation medical and social welfare agencies which serve more than 212,000 Chicagoans yearly. The goal of the 1967 Chicagoland Combined Jewish Appeal Campaign is \$6,750,000.

Co-chairman for the local meeting are Herbert A. Moline, 2219 Sandy Ln., Wilmette; and Frank J.

Katlin, 529 Koerper Ct., Wilmette. Rabbi William Frankel, 438 Lavergne Av., Wilmette, is spiritual leader of Beth Hillel. He is a member of CJA's Rabbinic Action Committee.

Other officers of Beth Hillel are Gerald B. Rivlin, 218 Valley View Ct., Wilmette, congregation president; Merle Mattenson, 2640 Wilmette Av., Wilmette; Sheldon Moss, 322 Wilshire Dr., Wilmette; Theodore Spak, 718 Chilton Ln., Wilmette; and Alvin D. Star, 320 Euclid Av., Winnetka, all vice presidents.

## Two Planners Re-appointed

Two Winnetka Plan Commission members were re-appointed to their three-year posts last week by the village council.

Jonathan W. Strong, 326 Ridge Av., will serve his second term and Samuel S. Greeley, 800 Tower Rd. will serve his first full term after being appointed

to the commission last year to fill the unexpired term of Raman W. Stultz.

Mr. Strong, a life-long resident of Winnetka, is president of Stede, Inc., Winnetka.

Mr. Greeley, also a life-long village resident, is executive vice president to the Masonite Corp. He was president of the Harvard Club of Chicago and is a member of the American Bar Association.



Mr. Greeley



Functional as well as decorative, they act as sound and temperature insulation, saving on air conditioner load in summer and on heating plant in winter.

**It's Shadowproof!**

**NORTH SUBURBAN GLASS & MIRRORS**

By Joanna Western 809 Ridge Rd., Wilmette 251-7990

## Boy's Assailant Still Unknown

Police have no new information on the teen-age boy who assaulted David Pettit, 11, of 840 Locust St., last week while he was fishing behind the Winnetka electric plant.

David was spearfishing with two friends Apr. 30 at the cooling pond behind the plant when three boys about 13- or 14-years-old walked up to him and tried to tell him how to spearfish.

When David asked the boys to let him alone, one boy picked him up, dragged him to a grass area, and began beating him on the stomach and head.

David said that he heard the boys say they were from Northbrook. He described his assailant as about five feet tall with shaggy, blond hair and horn-rimmed glasses repaired with black tape at the left side corner.

**Pembridge House NURSING CENTER**



OFFERS THE ULTIMATE in skilled professional care for the aged, convalescent and chronically ill—

located in a residential area within walking distance of the lake front, parks, churches and downtown Evanston. Public transportation at our door.

**WE INVITE YOUR INSPECTION.**

1406 Chicago Ave.  
Evanston, Ill.  
DA 8-6503

# Mystery driver injures local family

By JEFF RUBENSTEIN

Millie J. Lullo wishes she knew who forced her off the road at 8:45 a.m. Dec. 20 giving her daughter Jenny, 8, what could prove to be a life-long limp. And no witnesses have appeared.



Jenny Lullo lies in traction at Lutheran General Hospital in Park Ridge.

"I received a concussion and was knocked unconscious," recalls Mrs. Lullo, 17 South Branch, Northfield.

She, her two children and her mother were eastbound on Lake St. between Sunset Ridge Rd. and Hawthorne Ln. in Glenview during rush hours when the accident occurred.

"I broke the steering wheel with my breast bone. In addition from suffering whiplash I needed six stitches to close my right knee. I was in the hospital for three days," she adds.

"My son, Howard, was the luckiest of the four of us. He only received a sprained shoulder.

"My mother, May Stangle, Northfield, broke her leg, chipped her pelvis and was hospitalized 11 days.

"And then there's my daughter Jenny," she sighs. "Her thigh bone broke. She'll be in traction four to six weeks before doctors can attempt to set it. Her upper lip required 20 stitches. She was knocked unconscious, remained in intensive care for two and one-half days and may never walk without a limp."

Insurance covers medical payments but Mrs. Lullo doubts it will pay the whole bill.

Jenny's fees alone will cost around \$10,000.

Mrs. Lullo is divorced. Her former

husband helps out financially as much as he can. She is a secretary.

"I'm telling this story in the hopes the driver who forced me off the road will identify himself. Avoiding the other driver I possibly saved his life," she adds.

"I don't bear any malice to that person. I only wish restitution from his insurance company."

Howard was the only one conscious as he lay inside the car, which was upended against the tree into which it had slammed. The 10-year-old says, "I opened my back window and hung out yelling for help

but no one stopped—everyone kept on going!"

It was a couple of minutes before two county highway men finally pulled over. Harry Foreman of Morton Grove and Bill Schilling of Northbrook started pulling the four out just before the police and ambulances arrived.

"Jenny is an extremely energetic little girl—a whirlwind," muses Mrs. Lullo.

"Because of the accident she may not be able to ride her bike, roller skate, walk her dog or just run in an open field for a long time to come," she adds.

## New Trier Board items

When the New Trier High School Board met Monday, it took the following action:

- Authorized acceptance of a bid for the purchase of \$5 million in tax anticipation warrants at an interest rate of 3.23 per cent from Harris Trust and Savings Bank.

- Accepted a bid of \$25,187 for further installation of fire protection equipment at New Trier East, and a bid of \$5,570 for sidewalk repair at East. Both bids were solicited in response to recommendations

made by the Cook County Superintendent's Office regarding Life-Safety Code regulations.

- Approved Supt. William Cornog's recommendations on ability grouping and grading. Both topics were studied by student, teacher, and parent groups during the past year. Task force reports were presented to the board at the beginning of the 1972-73 school year, and Cornog's recommendations resulted from several months of further study.

# Winnetka buildings cited in report

Their occupants don't know it, but more than 100 buildings in Winnetka, most of them residences, have been designated as being of esthetic or technological interest by the Illinois Historic Structures Survey.

The report is a division of the Illinois Historic Sites Survey, operating under the auspices of the state Department of Conservation.

The survey work was done last year for

the first time, in 50 counties, with 34 more counties to be covered this year. The surveyors made a block-by-block inspection by car, photographing structures whose exteriors they found interesting.

Survey director Paul E. Sprague says its purpose is to point out structures worthy of preservation through local efforts. "People generally know what's of historic interest," he notes, "but they frequently

overlook structures that are of great significance visually."

He emphasizes that the report is of an interim nature. It does not yet include noteworthy interiors of otherwise ordinary buildings, and the surveyors also hope occupants will supply such data as construction dates, the designer's name and the name of the original owner. The address of the survey is 1800 S. Prairie Av., Chicago 60616.

In the Winnetka list of 114 structures, 34 are said to be of "special distinction." Their addresses follow. Unless otherwise noted, the building is a residence.

38 Abbotsford, 519 Ash, 600 Berkeley, 127 Bertling, 822 Bryant, Hubbard Woods School, 592 Cherry St., 315 Chestnut, 82 Essex, 920 Euclid, 1050 Fisher, 900 Greenwood, Crow Island School, 402 Hawthorn, 411 Linden, 564 Maple, 830 Mt. Pleasant, 811 Private, 900 Private, 660 Pine, 982 Pine, 1004 Pine, 696 Prospect, 140 Sheridan, 627 Sheridan, 665 Sheridan, 1015 Starr,

1487 Tower, 19 Warwick, 62 Warwick, 335 White Oak, 358 Winnetka, New Trier East High School.

720 Ardsley, 457 Ash, 487 Ash, 147 Birch, 220 Birch, 760 Bryant, 787 Bryant, 801 Bryant, 864 Bryant, 875 Bryant, 1150 Chatfield, 1192 Chatfield, 1197 Chatfield, 1211 Chatfield, 175 Chestnut, 115 DeWindt, 332 Elder.

594 Elm, New Trier Township office, 925 Elm, 50 Essex, 978 Euclid, 1039 Fisher, 302 Forest, 674 Garland, Winnetka Village Hall, 993 Green Bay, 1029 Green Bay, 890 Greenwood, 388 Hawthorn, 800 Humboldt, 7 Kent.

672 Lincoln, 681 Lincoln, SS. Faith, Hope and Charity Church, 925 Linden Av. (Packard Auto), 715 Lloyd, 818 Lloyd, 630 Maple, 480 Oak, 644 Oak, 1161 Oakley, 1180 Oakley, 1189 Oakley, 595 Orchard, Winnetka Congregational Church, (no number) Pine, 1124 Pine, 1180 Pine.

214 Poplar, 660 Prospect, 666 Prospect, 690 Prospect, 777 Prospect, 835 Prospect, 326 Ridge, 1155 Scott, 1214 Scott, 1258 Scott, 175 Sheridan, 181 Sheridan, 191 Sheridan, 419 Sheridan, 445 Sheridan, 645 Sheridan, 745 Sheridan, 830 Sheridan, 973 Sheridan, 1085 Sheridan.

1108 Spruce, 790 Sunset, 82-84 Temple (Apartments), 7 Thorn Tree, 115 Thorn Tree, 165 Thorn Tree, 888 Tower, 1479 Tower, 591 Walnut, 1190 Westmoor.



Near the southeast corner of the Lloyd home rests this statue, sculpted by the late Charles Haag of Winnetka. Called "The Cornerstone of the Castle," it depicts a cold and weary laborer, and its base is engraved with quotations from two of Henry Demarest Lloyd's books. (Staff photos by Wendy Kornick)



The home of the late Mrs. William B. Lloyd Jr. at 830 Sheridan Rd., viewed here from the southwest, is among the 113 Winnetka buildings cited in the report of the Illinois Historic Structures Survey. The listing is on the basis of esthetics, but the home has historical importance too, being the longtime home of Henry Demarest Lloyd. He was the first of the "muckrakers," crusading journalists of the late 19th century.

## Getting to Know Winnetka's Own Science Guy

### An interview with WHS Board President Charlie Shabica

*By Sally Schneiders*

It all started just prior to a recent Winnetka Historical Society board meeting when Charlie Shabica plunked down on the table a replica of a Tully Monster, an antique flintlock pistol and a seventeenth century silver Spanish dollar.

Charlie passed each artifact around so we could hold them (although the pistol remained untouched), and asked us what we thought each might represent. I liked this new show-and-tell way of opening meetings! The board meeting commenced and people, myself included, checked their phones for any messages accrued during the previous five minutes, and digital life went on as usual.

However, my thoughts kept returning to this engaging man, our WHS Board President, and his enthusiasm for learning. Who was this guy? Why did he have these objects and what else did he have? I really wanted to know!

When Charles and Susie Shabica moved to Ridge Avenue with their young family in the mid 1970s, I was a teenager living with my family down the street. His PhD thesis work took him (and Susie) from the Woods Hole Oceanographic Research Institute to the University of Chicago. Their zest for outdoor activity and insatiable, child-like curiosity about the natural world around them was striking. Both he and Susie were active for many years in the Scouts and they prefer exploratory learning—hiking, canoeing, digging, collecting, examining, questioning—all very physical, all very Google-defying.

I subsequently came to find out that Charlie was born in Elizabeth and raised in Livingston, New Jersey. His mother Eleanor, of Puritan ancestry, loved to explore. She often took her three boys to the beach and to Martha's Vineyard in the summer. She was also an athlete who once beat an Olympic swimming champion in the breaststroke and skied well into her 80s. Charlie's father Tony was a Sicilian and a Golden Gloves boxer who earned his PhD in chemistry. Charlie decided at a young age: "I want to be a guy that studies rocks and beaches."

Today Charlie is a coastal geologist, engineer, consultant, and Emeritus Professor of Earth Science at Northeastern Illinois University. He has studied beaches since he was four years old, and now he builds beaches!

A visit to the Shabica home reveals an amazing collection of things that they have gathered: antique maritime paintings, fossils, ledgers, coins, books, restored bicycles and many more items covering window seats, lining shelves and filling cabinet drawers. One shelf displays fish decoys, some hand fashioned and painted by Ojibwe Indians. On another, an eight feet by four feet wooly mammoth tooth anchors a set of books on dinosaurs. Each item prompts a question whose answer might require a walk to the kitchen, up the stairs, to the garage and uncovering such topics as the Mazon Creek Fossil Bonanza, isotherms from the Quaternary Period, Shabica's ancestor Captain Thomas Swan and his part in the 1772 sinking of the British Schooner Gaspee, arrowheads, and/or the Vetta Man.

But the real cool story is the "beach guy" himself, Charlie Shabica. Here's what happened when I got the chance to speak with him, one on one:

**As I entered the kitchen, Charlie held up a ziplock bag of sand.**

"What is this?" he asked me.

**"Sand?"**

He smiled and leaned toward me, from across the table: "Yeah. But where do you think it came from?"

**The sand looked exceptionally pure, light peach in color, finer in texture than Winnetka beach sand and without those flecks of black. I ventured "from the Indiana Sand Dunes?"**

He smiled. "It's from an excavation on the corner of Cherry and Maple that Phil Hoza showed me." He had a picture of the excavation. "See where they are digging into the ground with the soil zone at the top? And then about 12 feet of sand with clay at the bottom?"

**"Okay, so what does this mean?" I asked.**

"You tell me."

**He said that a lot, 'you tell me', as if I might have the answer! "That Lake Michigan was there?"**

Charlie's 'yup' was barely audible.

**“When?”**

“Well, if we found something organic in the sand or clay, like this, we could carbon date it.” He handed me a small blackened object sealed in what looked like wax. “We found it in 85 feet of water on the bottom of Lake Michigan about 15 miles off Chicago. It's 8,300 years old.” He looked at it for a while, then at me. “What is it?”

**“A piece of wood?” I replied.**

“Yeahhhhhh! We had it radiocarbon dated and it's potted in polyethylene glycol otherwise it would turn to dust.” Charlie explained the preservation process. “We wrote a paper on a drowned forest in Lake Michigan.... Suffice it to say, Lake Michigan has been variously called Lake Algonquin, Lake Chippewa, and Lake Chicago, depending on its elevation. 12,000 years ago, the lake was 60 feet higher than it is today.

If a Paleo Indian family went east down what is now Cherry Street, on their way to the lake the first thing they would have encountered was a wide beach of beautiful fine sand, 12 feet thick. This is what the Illinois shore might have looked like before people built harbors and seawalls in the late nineteenth and twentieth centuries...a continuous beach from here to Indiana. The folks who would walk south on the beach, past Grosse Pointe all the way to the Chicago River were Indians, voyageurs and early nineteenth century settlers.

If we were here (Ridge Avenue) 12,000 years ago, what do you think it might have been like without the houses, leaf blowers and sidewalks?”

**Silence from my end.**

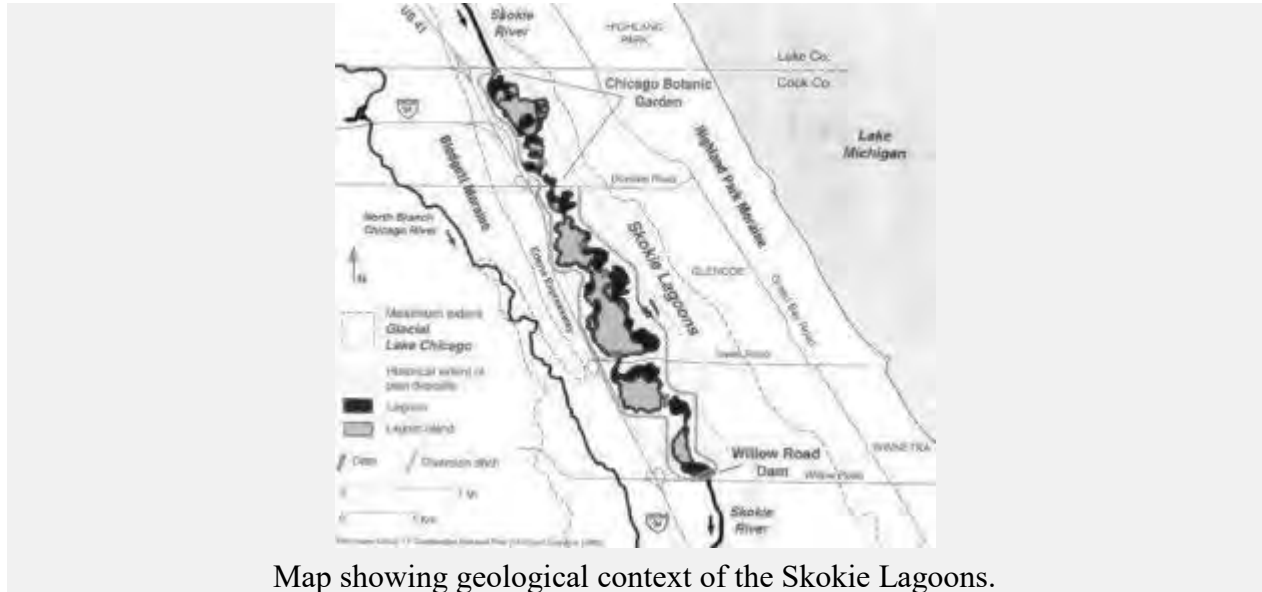
“Hey, it's a RIDGE.” He emphasized. “Ever hear of the Green Bay Trail? Walk along the ridge... what would you expect to find on the Green Bay Trail?”

**“Food? I don't know, hunting?”**

“Yeahhh, the woods, a path and travelers! So this would be woodland, to the east a little bit of a bluff, then a beach, then the lake. To the west a huge lagoon and marshes; Potawatomis called it the Kitchi-wap choku (big wet prairie). The remnants of the lagoon include the North Branch of the Chicago River and the Skokie Lagoons built by the Civilian Conservation Corps to control

flooding. The Indians walked the ridge, a geologic feature called the Highland Park Moraine that was deposited by the Wisconsin glacier.

It terminates at Indian Hill Club, and transitions into a long sand spit that runs south from Indian Hill toward Chicago. As recently as 160 years ago, a traveler (likely carrying a flintlock pistol and a few Spanish dollars for lodging) might have overnighted at the log house at Indian Hill.”



**“Wow, times have changed!” I said.**

Charlie reflected a minute and grinned. “So the pistol and Spanish dollars, and the sand and wood samples are components of our collective history.... told as a story, Sally. But unless the story is supported by evidence like the artifacts in the WHS collection, it’s only conjecture... a novel, a good yarn at best.”

Spend a half hour with Charlie and you may learn that his favorite task is to build sustainable beaches or living shorelines, stabilized with rocky headlands and native grasses. But most importantly, you will learn that an inquisitive mind paired with a generous spirit is the winning combination we have in Winnetka’s own natural scientist and first-rate storyteller, Charlie Shabica!

or legislation and the legis-  
e's composition, Rep. Daw-  
one of four women in the  
e, presented her tally sheet  
elected bills, including some

chairmanship of the House educa-  
tion committee, which considered  
206 bills. Of those passing both the  
House and Senate, she lent her  
approval to the following mea-

Fund; and granting \$5 million for  
city school lunch programs.

She voted "no" on excusing a  
pupil from sex education at the  
parent's request. She also voted  
against the following education  
measures not passed by the  
legislature: \$32 million in aid to  
non-public schools; election of  
Chicago school board members;  
and repeal of the sex education  
act.

However, she would have liked  
the legislature to pass bills in-  
creasing the school foundation  
level to \$550, providing for profes-  
sional negotiations for teachers,  
permitting a two-day personal  
leave for teachers, and providing  
for the use of average daily  
membership instead of attendance  
for computing school aid.

Rep. Dawson's "yes" votes  
helped the following bills clear  
both chambers: establishing state  
departments of local government,  
law enforcement, and correction;

measures  
tional ame  
viduals fr  
tax provid  
nity day c  
pollution c  
highway tr  
bonds.

Rep. D.  
changing  
from June  
gun regis  
County, an

"Yes" v  
ing unsucc  
use of DD  
watershed,  
under med  
ing a six-y  
death pena  
voting age

In notin  
ing Author  
ital improv  
said, "I sti  
more 'pay  
constructio

# L.T. Asks Delay in Tax Statement

New Trier Township assess-  
or has requested an extension on  
filing date for personal prop-  
erty tax schedules from Aug. 4  
to Aug. 22.

According to Thomas L. Goss,  
township assessor, the extension  
will eliminate the necessity of  
filing the 50 percent statutory  
penalty for late filing if the  
returns are mailed by Aug. 22.

Goss said the mailing,  
originally scheduled for July 21 with a require-  
ment to file by Aug. 4, "caught  
many New Trier residents on  
the wrong side of the law."

Goss also said there has been  
considerable confusion in filing  
returns for the tax return,  
partly due to announcements  
from Springfield that the personal  
property tax would be "eliminated  
for individuals when the state  
income tax became effective."

According to Mr. Goss, "these  
announcements were interpreted by  
many as being effective immedi-  
ately, whereas these announce-  
ments were qualified to the effect  
that the elimination of the per-  
sonal property tax would be up to  
the delegates to the Constitutional  
Convention. These delegates are  
to be elected and will not have  
a constitution prepared until  
November, 1970, after which it  
will be presented to the electors  
of Illinois for acceptance."

The township assessor said,  
"The confusion was created by  
press releases from Springfield to  
the effect that Senate Bill 816  
signed by the governor  
will eliminate assessments on  
cars and all furniture.

However, Mr. Goss said the  
Cook County Assessor's Corpora-  
tion Counsel has advised that this  
bill, if sustained by the court,  
"cannot be effective until the next  
regular statutory assessment date  
of April 1, 1970."

Mr. Goss explained that be-  
cause of this confusion and the  
delayed 1969 mailing of personal  
property tax returns, he made a  
request to extend the filing date.

## Week's North Shore Obituaries

### \* Ernst A. Benkert

Ernst A. Benkert, 70, of Tryon,  
N. C., a former Winnetka resi-  
dent, died July 24 in Rutherfordton  
N. C.

A native of Germany, Mr.  
Bankert attended the Pinz George  
Gymnasium in Dusseldorf and  
was graduated from the Lessing  
Oberreal Schule there in 1921. He  
came to the states a year later  
and studied architecture at the  
Armour Institute of Technology.  
He worked for the firms of  
Reborelli, Wentworth, and Dewey;  
Norman Brydges; and Oldfest  
and Williams in Chicago, before  
establishing his own practice in  
1928.

In 1929 he moved to Winnetka  
where he continued his practice  
until 1961. He has lived in Tryon  
since that time. Mr. Bankert was  
the first chairman of the Tryon

Planning Board. He served in that  
capacity for four years.

Surviving are his wife, Helen  
Limerick Benkert; two sons,  
Ernst G. of New York, and Kyle  
G. of Winnetka; two sisters, Miss  
Erna Benkert of Dusseldorf, and  
Miss Hedwig Benkert of Berlin;  
and eight grandchildren.

### Joseph Evert Sr.

Joseph Evert Sr., 74, of 46  
North Branch Rd., Sunset Trailer  
Park, Northfield, died July 27 in  
St. Francis Hospital.

For many years Mr. Evert had  
a poultry farm at 3116 Old  
Glenview Rd., Wilmette. He was a  
member of the Peter Hurter Post  
of the American Legion.

Survivors include three daugh-  
ters, Mrs. Rose Kish, Mrs. Mar-  
garet Nicholson, and Mrs. Paul-  
ine Nicholson, and a son, Joseph

Jr., all of  
one brother  
and two gr

A funera  
at St. Jos  
Rev. Rob  
Burial was  
tery, Techn

### Car

Mrs. Car  
Clover Ln.  
30 in Evan

Mrs. Lec  
dent of Ev  
field for

member o  
munity Chu

Surviving  
James L.  
two sons,  
Stephen;

Smith; and  
Funeral  
were priva

Wks: Aspen Med. Ctr, 53; Aspen Co. Store, 54; Aspen Health Ctr, AA, Herbert Bayer, 57; Gallun Bldg, 57; Aspen Highlands Rest. & Lodge, 58; Aspen Inn, 60; all Aspen, Colo. Hon. Awards: 1st Hon. Award, AIA, Colo. Chapt, 61. Res; Spec. Commendation, AIA, Colo. Chapt, 61, Gallun Bldg. Pub. Serv: Co. Plan. & Zoning Commn, Aspen, Colo, since 56. Hon. Mem: The Nat. Soc. of Arts & Letters, 61.

BENEDICT, HIRAM HUDSON.\* AIA 56. Arizona Central Chapter Box 1326, Scottsdale, Ariz.

BENEDICT, PAUL W(ILKINS)\* AIA 51. Eastern New York Chapter Benedict & Ryan, 10 Oak Street, Plattsburg, New York. b. Warrensburg, N.Y. Mar. 27, 04. Educ: Middlebury Col, B.S., 25; Col. Univ. B. Arch, 32. Super. & Dftsmn, Vt. State Plan. Bd, 34-35, 35-37; Construct. Qm, U.S.A, Plattsburg Barracks, 38-39; Sr. Arch. Dftsmn. & Off. Mgr, Alvin W. Inman, 40-50. Prev. Partnership: Benedict, Ryan & Sayer, 50-55. Present Firm: Benedict & Ryan, Archt, org. 55, joined firm 50. Reg: N.Y. Vt. Gen. Types: 1,2,4,5,12,13. Prin. Wks: 2 Grade Schs, Plattsburg, Sch. Adds, Willisboro, & Russell, 51; Grade Sch, Cadyville, 51; Clifton-Fine Sch, Star Lake, & Cent. Sch, Saranac, 52; AA on last 3, Reinsner & Urbahn; all 6 B R & S, & all N.Y. Super. Archt: Plattsburg Hsg. Proj, 54. Gov. Serv: Construct. Qm, U.S.A, Plattsburg Barracks, 38-39; Assoc. Archt, U.S.A.F, Borinquen Field, P.R, 39-41. AIA Act: East N.Y. Chapt; Treas, since 53.

BENEDICT & RYAN.\* 10 Oak Street, Plattsburg, New York.

BENEDICT, WALTER GREGORY. AIA 54. Southern California Chapter Hunter & Benedict, 3670 Wilshire Blvd, L.A. 5, California. b. L.A. Educ: Univ. of Pa, B. Arch, 42. Tau Sigma Delta. Present Firm: Hunter & Benedict, org. 57. Reg: Calif. Gen. Types: 2,3,4,5,6,7,9,16,18.

BENEFIELD, LeGRAND A.\* AIA 60. Washington-Metropolitan Chapter 3318 Ivanhoe Lane, Alexandria, Va.

BENEZET, ROGER (PAUL). AIA 51. Hawaii Chapter. 1 Roger P. Benezet, 1520 Kona St, Honolulu, Hawaii. b. La Crosse, Wisc, Dec. 17, 10. Educ: Dartmouth Col, A.B, 32; Yale Univ, Dept. of Arch, B.F.A. 36. 10 yrs. Arch. Drafting, 36-40 & 44-50; 4 yrs. Heavy Constr, 40-44. Present Firm: Roger P. Benezet, Archt, org. 50. Reg: Hawaii. Gen. Types: 4,5,10,13. Prin. Wks: Sacred Hearts Elem. Sch, 54, Archt. Assoc, Clifford F. Young; KULA TV Studio, 54; Pier 2 Harbor Facilities, 55, all Honolulu; Kaneohe Elem. Sch, Kaneohe, Oahu, T.H, 55, Rehab. of Aiea Hosp. as Camp H.M. Smith; & w. Frost & Frost, Archts, M.A.T.S. Facilities, Wake Is, 59. Educ. Act: Evening Instr, Univ. of Hawaii, 52.

BENGTSON, L(UDVI)G T(HEODOR)\* AIA 41. West Virginia Chapter 1 L. T. Bengtson, 200 Broad St, Charleston 1, W. Va. b. Boston, May 31, 87. Educ: MIT, Special Arch. Class, 15. Dftsmn. & Sec. Coolidge & Carlson, 08-13. Prev. Firms: Benton & Bengtson, Richmond, Va; Wysong & Bengtson, Charleston, W. Va. Present Firm: L. T. Bengtson, org. 21. Reg: W. Va. Gen. Types: 1,2,4,5,6,7,9. Prin. Wks: Bethlehem Luth. Ch, Richmond, Va, 23; St. George's Syrian Orthodox Ch, Charleston, W. Va, 31; Raleigh Co. Ct. Hse, Beckley, W. Va, 33; Res. for Mrs. Harold Sterrett, White Sulphur Springs, W. Va, 34; Soldiers & Sailors War Mem. Bldg, Fayetteville, W. Va, 50; HS, Add, S. Charleston, W. Va, 55. Gov. Serv: U.S.A, 19-21.

BENHAM, EUGENE T.\* AIA 42. Columbus Chapter Benham, Richards & Armstrong, 1124 Goodale Blvd, Columbus 8, Ohio. b. Columbus, Mar. 3, 89. Educ: Ohio State Univ; Carnegie Inst. of Tech. w. Howell & Thomas, 10-17. Present Firm: Benham, Richards & Armstrong, org. 19. Reg: Calif, N.Y, Ohio; NCARB Cert. Gen. Types: 2,3,4,5,6,9. Prin. Wks: Capital Univ. Lib, Bexley, Ohio, 37; Poughkeepsie New Yorker Newspaper, 42; Salinas Californian Newspaper, S, Calif, 45; Ohio Farm Bur. Ins. Companies, 50, & Mowhawk Jr. HS, Columbus, Ohio, 53; Upper Arlington HS, C, 55. Hon. Awards: Off. of the Yr, Farm Bur. Ins. Bldg. Educ. Act: Cecl. Lectr, Ohio State Univ, various HSs. Gov. Serv: Dir, Bur. of Camp Serv, Red Cross, 18-19.

BENHAM, RICHARDS & ARMSTRONG. 1124 West Goodale Blvd, Columbus, Ohio. Prins: Eugene T. Benham, Timothy G. Armstrong.

BENITEZ, JOSE LUIS BASORA.\* AIA 59. New York Chapter 52 Chase Manhattan Bank Building, Rio Piedras, P.R.

BENJAMIN, GLENN H. AIA 44. Detroit Chapter 1 Glenn H. Benjamin, 2730 Fairfield Avenue, Kalamazoo, Michigan. b. Grand Rapids, Mich, 96. Educ: Col. of Arch. Univ. of Mich. B. S, Arch. Eng, 21. Arch. Dept, Smith, Hinchman & Grylls; Des. Dept, Albert Kahn; Archt, C. Howard Crane; Bendix Aviation Corp. Present Firm: Glenn H. Benjamin, Archt. Reg: Mich. Gen. Types: 2,3. Gov. Serv: U. S. Eng. Corp, Pvt, 17.

BENKERT, ERNST A(UGUST). AIA 36. North Carolina Chapter 1 Ernst A. Benkert, 510 Laurel Ave, Box 997, Tryon, N.C. b. Dusseldorf, Germany, Apr. 16, 99. Educ: Prinz Georg Gym. & Lessing Ober-real Schule, 21; Armour Inst. of Tech, (Night School), & Pvt. Tutoring, 23. Chf. Dftsmn, E. Norman Brydges; Oldefest & Williams. Present Firm: Ernst A. Benkert, org. 28. Reg: Ga, Ill, N.C, S.C, Wisc; Lic. Engr. Gen. Types: 1.

BENKERT, KYLE GRANT.\* AIA 61. Chicago Chapter 545 Lincoln Ave, Winnetka, Illinois.

BENN, RICHARD B.\* AIA 57. Pittsburgh Chapter 5907 Penn Ave, Pittsburgh 6, Penn.

WM. W. BENN, ASSOCIATES. (Suc. to: Johnck, Ehmann & Benn). 7 S. Dearborn St, Chicago 3, Ill. Prins: William W. Benn, William Ehmann,

BENN, WILLIAM WOOLF. AIA 46. Chicago Chapter Wm. W. Benn Assoc, 7 S. Dearborn St, Chicago 3, Ill. b. London, Eng, Dec. 26, 05. Educ: Univ. of Ill, B.S, 30. Scarab Medal, 29. Prev. Firms: Johnck & Ehmann, Assoc; Johnck, Ehmann & Benn, Part. Present Firm: Wm. W. Benn, Assocs, org. 55. Reg: Ill; Lic. Engr. Gen. Types: 1,2,3,5,6,7,9,12. Prin. Wks: Am. Weekly Inc, Chicago, 52; Daubert Chemical Co, & Friedrich Enterprises, Traverse City, Mich 53; Revere Copper & Brass, 54; Irving-Cloud Pub. Co, Lincolnwood, Ill, 56; Cook Co. Hag. Proj, 48-61; Ingalls Mem. Hosp, 59; Am.-Colloid Co, 57-61. Pub. Serv: Dir. of Construct. & Superv. Archt, Bldg. Dept, City of Chicago, 55. Gov. Serv: Supervising Engr, Defense Plant Corp, 41-42. Books Pub: Units For Preliminary Estimates of Construct. Costs, 53.

BENNETT & BENNETT. 109 S. Los Robles Ave, Pasadena, Calif.

BENNETT & CRITTENDEN. 2814 Fairmount, Dallas 1, Tex. Prins: J(ames) Murrell Bennett, Norman W(irt) Crittenden.

BENNETT, EDWARD H(ERBERT) JR. AIA 50. Chicago Chapter 1 Edward H. Bennett, Jr, 80 E. Jackson Blvd, Chicago. b. Chicago, Ill, Dec. 22, 15. Educ: Harvard Univ. Grad. Sch. of Des, B. Arch, 50. Dftsmn, Herman Lockner, summers 46, 48, 49; Desr, Skidmore, Owings & Merrill, Jan. 51-Dec. 51; Archt, Self-Employed, Dec. 51-Dec. 52. Prev. Partshp: Schweikher & Elting; Elting & Bennett. Present Firm: Edward H. Bennett, Jr, org. 56. Reg: Ill. Gen. Types: 1,4,5,6,17. Pub. Serv: Chmn, Lake Co. Reg. Plan. Commn, 59.

BENNETT, GORDON STACEY.\* AIA 54. Southwest Washington Chapter P. O. Box 131B, Route 6, Olympia, Wash.

BENNETT, HIRAM R.\* AIA 57. Northeastern Pennsylvania Chapter 430 High Street, Troy, Penn.

BENNETT, J(AMES) MURRELL. AIA 39, FAIA 59. Dallas Chapter Bennett & Crittenden, 2814 Fairmount, Dallas 1, Tex. b. Cedar Hill, Tex, Aug. 22, 04. Educ: South. Meth. Univ, B.A, 23; Wash. Univ. Sch. of Arch, B. Arch, 27. Youngest Grad. of S.M.U. to that date, 23; Final Hons. at Wash. Univ, 27. James Harrison Steedman Travel. Felshp. in Arch, 28 Winner. Dftsmn. & Desr, Labaume & Klein, St. Louis, 26-29; Desr. & Delineator, Mauran, Russell & Crowell, St. Louis, 31-37. Prev. Firms: Gill & Bennett, 38-42; J. Murrell Bennett, 42-46. Present Firm: Bennett & Crittenden, Archts. & Plan. Conslts, org. 47. Reg: La, Okla, Tex; NCARB Cert. Gen. Types: 2,3,4,5,6,7,9,15. Prin. Wks: Moore Bus. Forms Factory & Offs, Denton, 48; Flow Mem. Hosp. (City & Co.), D, 50; Stephen C. Foster Elem. Sch, Dallas, 53; Ch. & Sch. St. Monica Cath. Parish, D, 55; Lovers Lane Meth. Ch, D, 47-54-58; all Tex; Mem. Chapel & Educ. Bldg, St. Paul Meth. Ch, Muskogee, Okla, 61. Hon. Mem: Col. of Fellows AIA, Elec. for Achievement in Des, 59. AIA Act: Last Pres, N. Tex. Chapt, AIA, 46; 1st Pres, Dallas Chapt, AIA, 47; Inst. Comm, AIA Comm. on Off. Practice, 53-58.

BENNETT, JOE (LYLE). AIA 46. Chicago Chapter 1 Joe L. Bennett, 3 N. Broadway, Desplaines, Ill. b. Rankin, Ill, Dec. 27, 06. Educ: Univ. of Ill, B.S. Arch, 31; B.S. Educ, 33. Archt, Schmidt Garden & Erikson, 45-50; Chf. Engr, Metcalle Hamilton Grove Cos, Turkey & Newfoundland, 51-54. Present Firm: Joe L. Bennett, Archt.-Engr, org. 54. Reg: Ill. Gen. Types: 1,3,4,5,6,7,8,11,12,13. Gov. Serv: Archt, State of Ill, Div. of Highways 35-42; Chf. of Technical Div, N. W. Div. Corp. of Engrs, Can. & Alaska, 43-44.

BENNETT, JOHN H. AIA 48. Washington Metropolitan Chapter 1 John H. Bennett, 2000 K St, N.W, Washington 6, D.C. Reg: D.C, Md, N.J, Va. Gen. Types: 2.

BENNETT, JOSH CHARLTON, JR.\* AIA 53. Alabama Chapter Josh Charlton Bennett, Jr, 1228 Concord Ave, Birmingham 13, Ala. b. St. Augustine, Fla, July 26, 20. Educ: Jacksonville Col, J, Fla, 39-40; Univ. of Fla, B. Arch. w. Hon, 48. Gargoyle, 46; Phi Kappa Phi, 48. Dftsmn, Bernard W. Close, Archt, Jacksonville, 38-40; Sr. Dftsmn, Guy C. Fulton, Archt. to Bd. of Control, Gainesville, Fla, 48-50; Bianculli, Palm & Purnell, Archts, Chattanooga, Tenn, 50-51. Prev. Firm: Josh C. Bennett, Jr, Archt, W. Dudley Hunt, Jr, Assoc, 51-53. Present Occup: Off. Engr, Portland Cement Assn, 53-55. Reg: Ala. Educ. Act: Instr, Jacksonville State Teachers Col, Ext. Div, 51-53.

BENNETT, MANSON OTIS.\* AIA 42. Washington State Chapter John Graham & Co, 1426-5th Avenue, Seattle 1, Washington

\*Denotes architectural firm. Gen. Types: 1 Residential; 2 Commercial; 3 Industrial; 4 Religious; 5 Educational; 6 Recreational; 7 Health Facilities; 8 Penal Institutions; 9 Public Buildings; 10 Public Structures; 11 Military Structures; 12 Transportation; 13 Communications; 14 Scientific Structures; 15 Mortuary Structures; 16 City Planning; 17 Landscape Design; 18 Interior Design; 19 Miscellaneous; 20 Restorations. \*No answer to questionnaire

<https://www.chicagotribune.com/1992/05/20/architect-l-morgan-yost-avid-packard-historian/>

## ARCHITECT L. MORGAN YOST, AVID PACKARD HISTORIAN



By [CHICAGO TRIBUNE](#)

UPDATED: August 10, 2021 at 5:47 AM CDT *Originally Published: May 20, 1992 at 1:00 AM CDT*

L. Morgan Yost, 83, a Chicago area architect for more than 40 years, was past president of the Chicago chapter of the American Institute of Architects. A resident of Cherokee Village, Ark., and formerly of Kenilworth, he died May 6 in Fulton County Hospital in Salem, Ark.

His architectural practice focused on residential, industrial and commercial buildings. These included churches, banks and residences as well as military installations.

A graduate of New Trier High School, he attended Northwestern University from 1925 to 1929 and received a degree in architecture from Ohio State University in 1931. He later was given a distinguished alumnus award by OSU.

He was president of the Chicago chapter of AIA from 1950 to 1952. He also was past executive director of the Chicago School of Architecture Foundation and helped raise funds to remodel the Glessner mansion, 1800 S. Prairie Ave.

**Up Next — Top Videos Trump looks to roll back regulations on household lightbulbs and water standar**

An instructor at the Art Institute of Chicago, he served as architectural editor of Small Homes Guide and as consulting editor of Household Magazine.

"He was more than an architect," said his wife, Winogene. "He was an advocate for and generous contributor to many research projects. Of special interest to him were the works of Frank Lloyd Wright. He also researched the works of David Adler and was a pioneering historian on Greene and Greene of Pasadena, Calif."

Mr. Yost was an avid collector and historian on the subject of Packard automobiles. He was co-author of the book, "Packard: A History of the Car and the Company." He was past president for the Illinois region of the Antique Automobile Club of America.

Besides his wife, survivors include three daughters, Elyn Mulder, Karyl Thorsen and Chari Binstadt; a son, G. Owen Yost; eight grandchildren; and a sister.

Services were private.

## Frank F. Polito

Mass for Frank F. Polito, 59, of 1912 Highland av., Wilmette, who died Friday in St. Francis hospital, Evanston, will be said at 10 a. m. tomorrow in St. Lambert Catholic church, 8148 Karlov av., Skokie. Mr. Polito was an architect with offices at 7356 N. Cicero av., Lincolnwood. He leaves his widow, Alice D.; a daughter, Mary Ellen; a son, Fred Dean; and two sisters.

Obituary for Frank F. Polito (Aged 59)

Clipped By:  
phillips3033  
Dec 4, 2019

## **545 Oak – Greek Revival**

The exquisite Greek Revival home at 545 Oak was built in 1937 for Dr. Paul and Eunice Greeley.

Dr. Paul W. Greeley, Jr. was a major figure in the field of plastic surgery. He was born in 1902 in Waterman, IL and moved to the Chicago area for medical school at Northwestern. He graduated in the mid-1920s and shortly after, in 1927, married Eunice Goebel. The couple moved to Winnetka, where Paul opened a medical practice in the Tudor Revival building at 545 Lincoln. In 1937, he was named Chief of the Division of Plastic Surgery at the University of Illinois' College of Medicine. In the 1950s he was named Chairman of the Department of Plastic and Reconstructive Surgery at Rush Medical College.

While living in Winnetka, the Greeleys hired noted architect Frank Polito in 1937 to design their home at 545 Oak. They reportedly requested that the design replicate Paul Greeley's great-grandfather's estate near Troy, NY, which had been built in 1811.

Little is known about Frank Polito's personal life, but his work speaks for itself. In addition to the Greeley home at 545 Oak, he also designed St. Lambert's Catholic Church in Skokie, 561 Earlston in Kenilworth, and 864 Boal Parkway in Winnetka, to name a few.

In 1960, the Greeleys sold the home to Mr. and Mrs. Philip Stone, who sold it to the present owner, Louise Holland, in 1970. Louise has been an important figure in Winnetka for several decades. In 1997, she was elected as Winnetka's fourth woman Village President. Louise has also served as president of the Winnetka Historical Society, chair of the Landmark Preservation Commission and, chair the Hadley Institute for the Blind and Visually Impaired. In 2018 the Chamber of Commerce honored Louise with a Lifetime Achievement Award.

Architectural historians agree that Louise's at 545 Oak house represents a wonderful example of the Greek Revival style. According to the National Register nomination, this house "exhibits remarkable historic integrity on all elevations as well as in all the interior living spaces. There have been no changes to any of the original architectural detailing." The front façade illustrates the style well, with its low-pitched gable roof and a front-facing triangular pediment.

In addition to her many, many accomplishments, Louise has provided impeccable care for her historic home at 545 Oak. This house is now a locally designated landmark and is listed on the National Register of Historic Places.



This four-bedroom Victorian house at 326 Ridge Ave. in Winnetka has a two-story coach house as well as a walk-up attic and an unfinished basement. (Petr Poliak, VHT)

## **Winnetka 4-bedroom house with 2-story coach house: \$1.5M**



By

| [ssyed@chicagotribune.com](mailto:ssyed@chicagotribune.com) | Chicago Tribune

PUBLISHED: December 17, 2024 at 5:00 AM CST

Address: 326 Ridge Ave., Winnetka

Listed: Dec. 5, 2024

Price: \$1,495,000

This four-bedroom Victorian house features 10-foot ceilings, a marble fireplace, built-ins and crown molding. The house has a two-story coach house, which has its own living room, kitchen, upstairs great room, bedroom, bath, two fireplaces and a screened porch. The main house has an office or play area off the eat-in kitchen that opens to a screened porch. The primary suite includes a tandem room that can be used as a nursery, office or walk-in closet. The house also has a walk-up attic and an unfinished basement.

Listing agent: Susan Sullivan, @properties Christie's International, 847-881-0200

### **Winnetka 4-bedroom house with 2-story coach house: Staircase**



This four-bedroom Victorian house at 326 Ridge Ave. in Winnetka has a two-story coach house as well as a walk-up attic and an unfinished basement. (Petr Poliak, VHT)

**Winnetka 4-bedroom house with 2-story coach house: Living space**



**Winnetka 4-bedroom house with 2-story coach house: Kitchen**



**Winnetka 4-bedroom house with 2-story coach house: Screened porch**



**Winnetka 4-bedroom house with 2-story coach house: Living space**



**Winnetka 4-bedroom house with 2-story coach house: Bedroom**



**Winnetka 4-bedroom house with 2-story coach house: Bedroom**



**Winnetka 4-bedroom house with 2-story coach house: Outdoor space**



**Winnetka 4-bedroom house with 2-story coach house: Living space**



**Winnetka 4-bedroom house with 2-story coach house: Coach house**



Some listing photos are “virtually staged,” meaning they have been digitally altered to represent different furnishing or decorating options.

VILLAGE OF WINNETKA, ILLINOIS  
DEPARTMENT OF COMMUNITY DEVELOPMENT

DEMOLITION APPLICATION

Permit No. \_\_\_\_\_

Property Information

Site Address: 326 Ridge Avenue Winnetka

Parcel Identification Number(s) (PIN): 05-20-403-018-0000

Description of all structures to be demolished: Home and detached garage and shed

Current Property Owner Information

Legal Name: Patrick Casey and

Jaqueline Mitchell magner

Primary Contact: Patrick Casey magner

Address: [REDACTED]

City, State, Zip: Winnetka, Illinois 60093

Phone No. [REDACTED]

Email: [REDACTED]

Date owner acquired property: 1/09/2025

Applicant Information

Legal Name: same as owner

Primary Contact: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Phone No. \_\_\_\_\_

Email: \_\_\_\_\_

Applicant's relationship to current property owner: SELF

(As previously noted, if contract purchaser, attach copy of executed purchase agreement)

Demolition Contractor Information (If known, otherwise indicate "not known at this time")

Legal Name: "Not known at this time"

Address: \_\_\_\_\_

City, State, ZIP: \_\_\_\_\_

Phone No: \_\_\_\_\_

Email: \_\_\_\_\_

**Property Maintenance Requirements**

During processing of the demolition permit, the owner and contractor must maintain the property in accordance with the Village Property Maintenance Code to avoid generation of nuisances. Accordingly, the following minimum requirements shall be adhered to:

- Grass shall be mowed and maintained at a height not to exceed 8 inches.
- Garbage, yard waste, miscellaneous rubbish, mail, and debris shall be removed from the property and not allowed to accumulate.
- Building(s) shall be secured (doors and windows in working order, closed and locked).
- No demolition or removal of building components may commence until the demolition permit has been issued. Commencement of demolition prior to issuance of permit will result in a Stop Work Order and double permit fees for all subsequent permits
- Approved tree fencing protections must be installed as directed by Village Forester prior to commencement of demolition. Lack of tree fencing will result in Stop Work Order and fines.

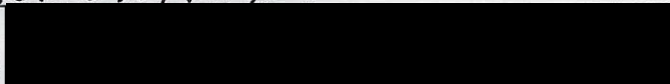
**Applicant/Owner Acknowledgments**

By execution of this application in the space provided below, the Applicant and Owner(s) do hereby certify, acknowledge, agree and affirm to the Village of Winnetka that:

1. The Village and its representatives have the right, and are hereby granted permission and license, to enter upon the property for purposes of conducting any inspections that may be necessary in connection with this application.
2. I (We) have carefully read this application, the applicable sections of the Winnetka Municipal Code and fully understand the applicable terms and provisions.
3. I (We) waive any rights to exemption from disclosure under the Illinois Freedom of Information Act of any and all documents and information submitted in connection with this application.
4. I/We hereby agree to demolish the above structure or portion thereof, in accordance with the information submitted herewith and in strict compliance with all provisions of the Building Code and other related ordinances and regulations of the Village of Winnetka, and I/We hereby consent to inspection of the work during demolition and to the responsibility of maintaining the subject site and adjacent public and private properties in a good, safe and clean condition, including but not limited to the "Property Maintenance Requirements" listed in the previous section.
5. I (We), in accordance with the requirements of the Annual Fee Resolution and the Winnetka Village Code agree to pay all applicable filing fees and be responsible for the payment of all reimbursable expenses associated with the processing of this application.

Signature of Applicant:  Date 1/28/25

Print Name & Title: Patrick Casey Magner

Signatures of Property Owner(s):  Date 1/28/25

Print Name & Title: Patrick C. Magner Property Address: 326 Ridge Ave

**\*\*If more than one applicant or property owner, please copy this page and have additional applicants/property owners sign form.**

## Proposed Demolition Schedule

**Property:** 326 Ridge Avenue

**Applicants/Owners:** Patrick Casey Magner and Jacqueline Mitchell Magner

**Date:** After obtaining the required permits, we start demolition in June and complete by July 1, 2025.



4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005  
(262) 786-6776 • paterallc.com

**STRUCTURAL OBSERVATION REPORT:**  
326 Ridge Ave in Winnetka, Illinois 60093

**Project Number & Date:**

25-142 - February 10, 2025

## Table of Contents

|  |    |
|--|----|
| Background: .....  | 2  |
| Observation:.....  | 2  |
| Main Single-Family Residence: .....  | 2  |
| Roof & Attic Framing:.....   | 2  |
| Picture 1: Existing Roof Framing .....   | 2  |
| Picture 2: Flat Roof Prop to Hallway Wall.....   | 3  |
| Picture 3: Existing Ceiling Joists .....   | 4  |
| Picture 4 & 5: Ceiling Joist Laser Level Measurement. ....                               | 4  |
| Second Floor Framing: .....  | 5  |
| Picture 6: Northeast Bedroom North Measurement.....                                      | 5  |
| Picture 7: Northeast Bedroom South Measurement.....                                      | 5  |
| Picture 8: Rough Second Floor Framing Thickness Measurement. ....                        | 6  |
| First Floor Framing: .....   | 7  |
| Picture 9: Foyer East Laser Level Measurement.....                                       | 7  |
| Picture 10: Foyer to Dining Room (east to west) High Point Measurement. ....             | 8  |
| Pictures 11 & 12: Existing First Floor Joist Depth & Water Damaged Sub-floor.....        | 8  |
| Picture 13: Typical Existing Main Support Beam in Basement. ....                         | 9  |
| Picture 14: Mortise Joist to Main Wood Beam.....   | 9  |
| Picture 15: West Temporary Adjustable Column. ....                                       | 10 |
| Picture 16: East Temporary Adjustable Column.....  | 10 |
| Picture 17: Adjustable Steel Column Base.....  | 11 |
| Coach House: .....   | 12 |
| Picture 18: Coach House Second Floor Living Space.....                                   | 12 |
| Picture 19: Measurement at High Point Roughly 3-ft South of Interior Partition Wall..... | 13 |
| Picture 20: Measurement at Interior Partition Wall.....                                  | 13 |
| Analysis and Corrections:.....   | 14 |
| Picture 21: Coach House East Exterior Knee Wall. ....                                    | 15 |
| Picture 22: Coach House West Exterior Knee Wall.....                                     | 15 |
| Conclusion:.....   | 16 |

## Background:

A structural observation was requested by Jeff Ralph from Edward Deegan Architects who is representing the owners of 326 Ridge Ave in Winnetka, Illinois for the existing primarily wood framed single-family residence as well as the existing primarily wood framed coach house.

The observation is limited to the existing structural elements and the analysis of these elements in question will follow the adopted 2021 International Residential Code and Winnetka's amendments to the code.

## Observation:

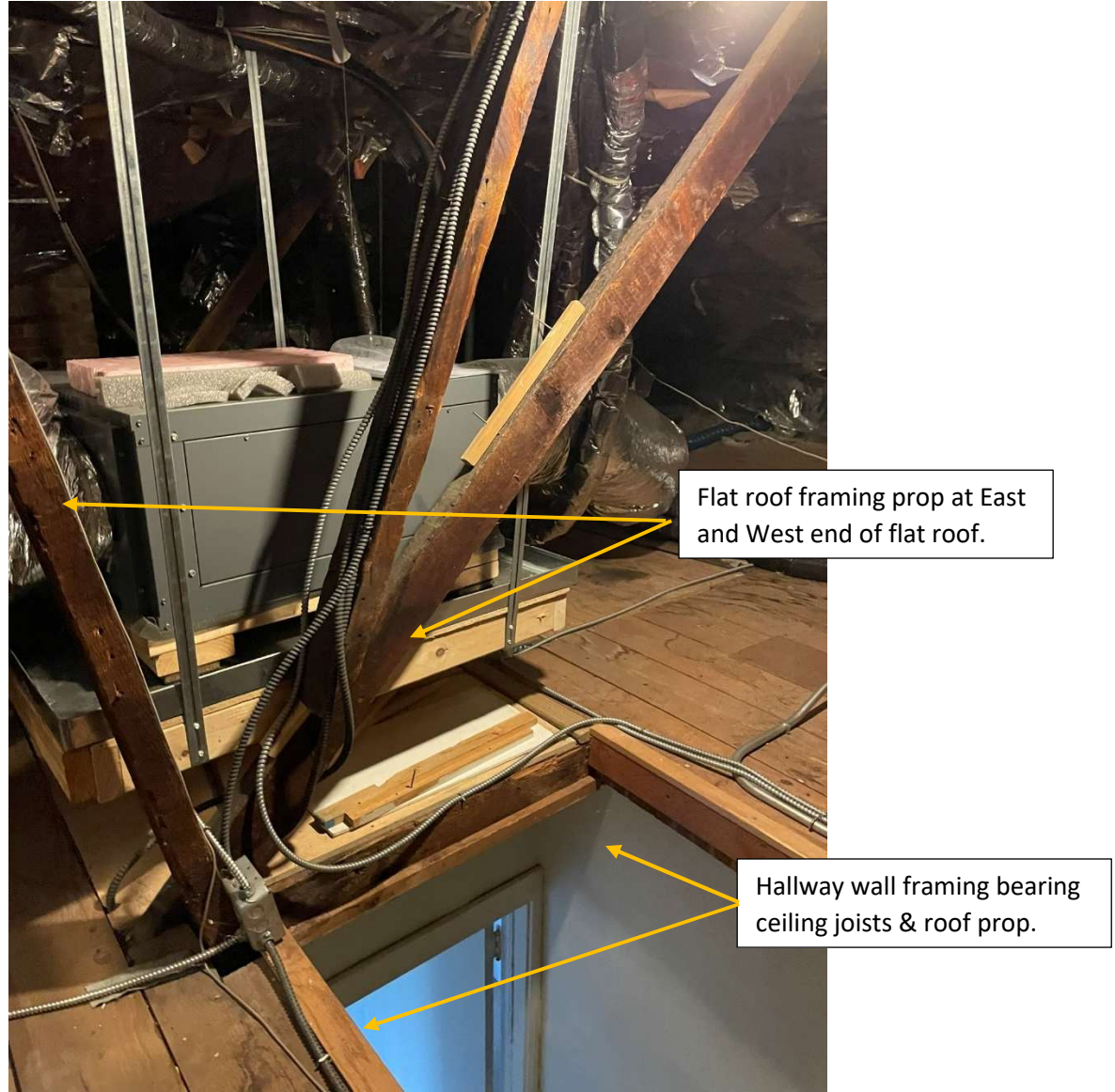
### Main Single-Family Residence:

#### Roof & Attic Framing:

The existing roof is comprised of hip roofs towards the west and the main roof is a hip with a flat roof framing in the middle. This roof is constructed with 2x4's roughly 24-inches center-to-center (picture 1). Bracing was installed to prop the flat roof portion and transfer the load down into the hallway wall. This hallway wall bearing the load does not appear to align with the main support in the basement (picture 2).



Picture 1: Existing Roof Framing

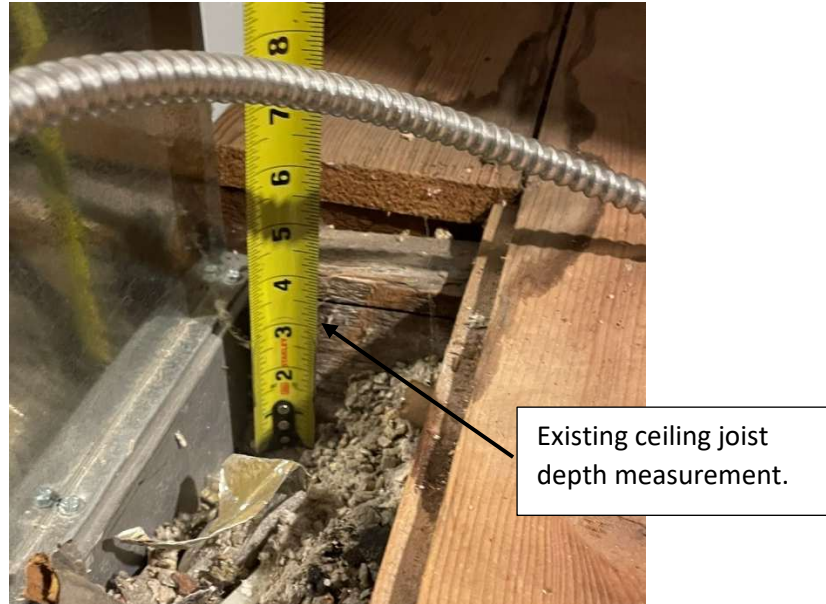


Flat roof framing prop at East and West end of flat roof.

Hallway wall framing bearing ceiling joists & roof prop.

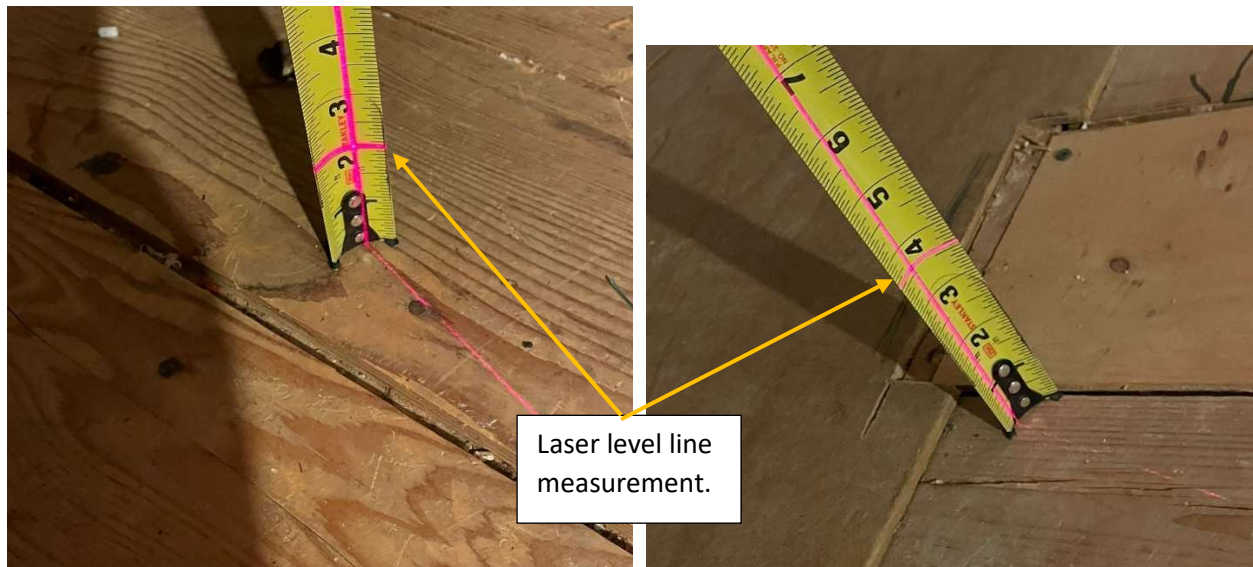
Picture 2: Flat Roof Prop to Hallway Wall

The existing attic floor framing is 2x4's at 16-inches center-to-center spanning 13.5 feet from bearing points in the north-south direction. The interior bearing element is the same hallway wall bearing the roof props. As mentioned before, this wall does not appear to align with the first-floor main bearing wall nor the basement main support system (picture 3).



Picture 3: Existing Ceiling Joists

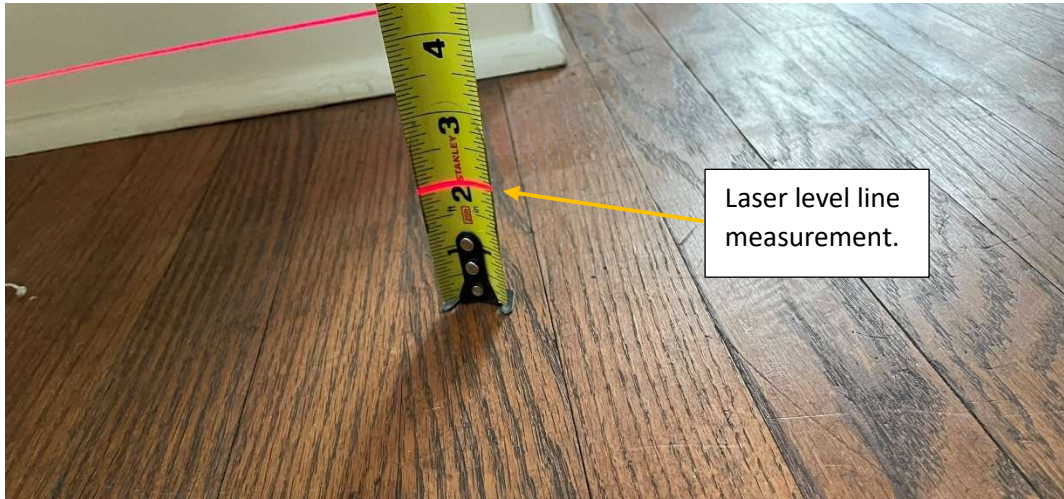
A laser level was used to verify the amount of sag in the existing ceiling joists. The high side of the joists is at the exterior walls and drop roughly 1-1/2-inches towards the interior hallway wall (pictures 4 & 5).



Picture 4 & 5: Ceiling Joist Laser Level Measurement.

Second Floor Framing:

A significant slope in the northeast bedroom on the second floor was observed. A laser level was used to determine the second-floor dips to the same interior hallway wall that bears the attic and roof framing props. Moving north to south this floor exhibits the same amount of deformation as the attic at roughly 1-1/2-inches (pictures 6 & 7). This slope occurs across 11 feet.



Picture 6: Northeast Bedroom North Measurement.



Picture 7: Northeast Bedroom South Measurement.

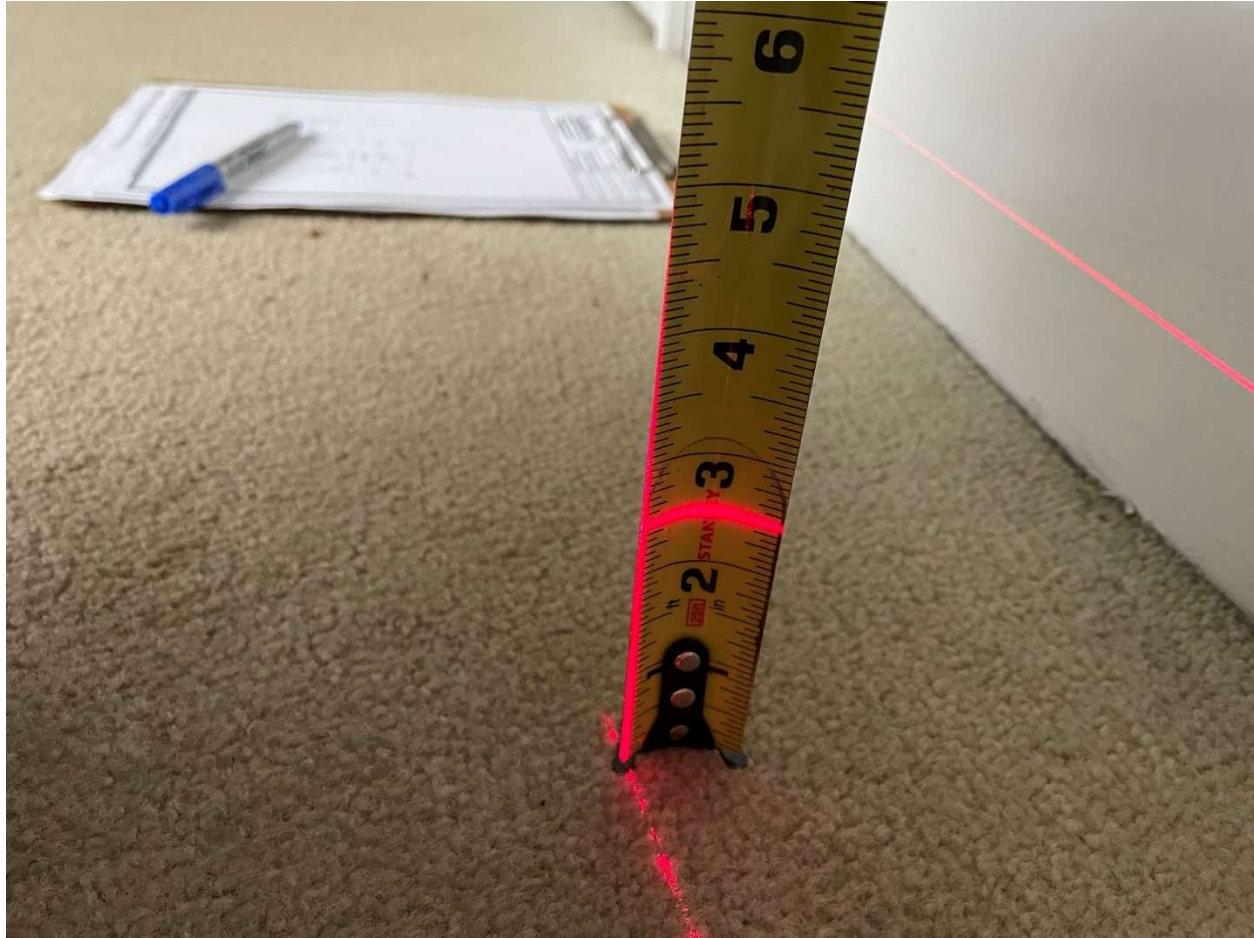
At the stairwell from first to second was measured to be roughly 2x8 framing. The spacing is assumed to be 16-inches center-to-center which is based on the observed first floor framing spacing (picture 8). The worst case second floor joist span measured occurs in the Living Room at roughly 14.5 feet from exterior wall to interior bearing wall.



Picture 8: Rough Second Floor Framing Thickness Measurement.

First Floor Framing:

The first-floor framing that creates the Foyer and stairwell at the southeast corner of the existing residence was measured with a laser level to verify a highpoint in the floor that could be felt while walking from east to west. The measurements from the most eastern point in the Foyer moving west to the Dining Room confirmed that the



Picture 9: Foyer East Laser Level Measurement.



Picture 10: Foyer to Dining Room (east to west) High Point Measurement.

The first-floor framing is 2x8's joists at 16-inches center-to-center (picture 11). Below the kitchen, the existing sub-floor was observed to be water damaged and deteriorated as the underside of the hardwood floor was exposed (picture 12).



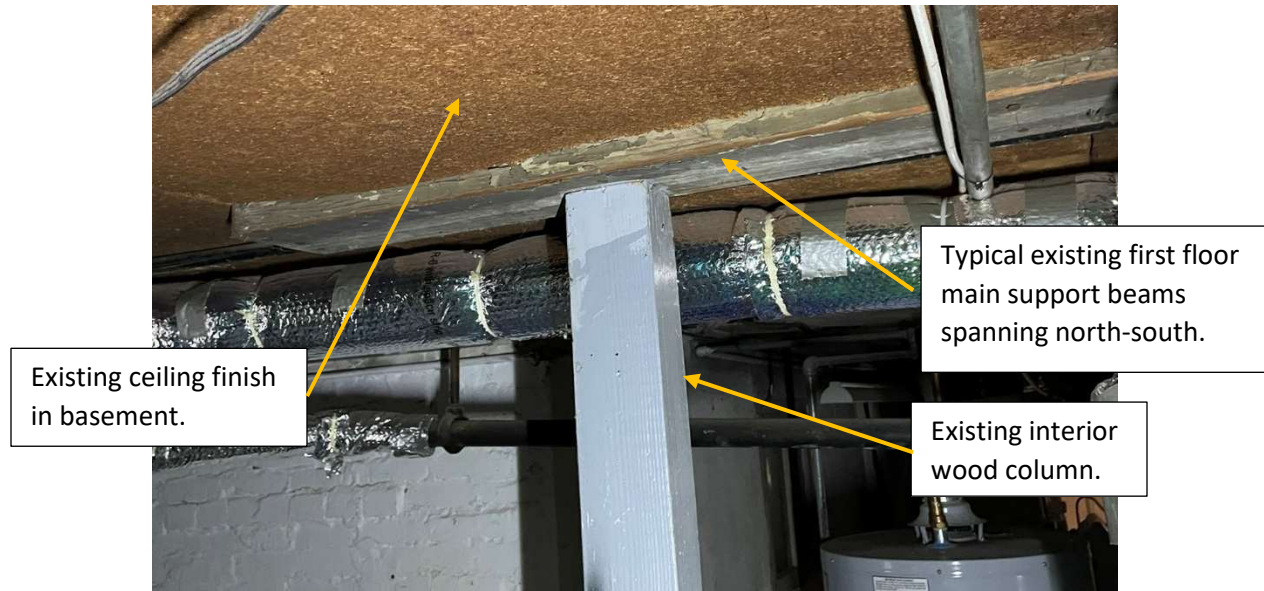
Existing first floor joist depth roughly 7-1/2".



Water damaged sub-flooring below kitchen.

Pictures 11 & 12: Existing First Floor Joist Depth & Water Damaged Sub-floor.

The existing first-floor joists were observed to span east-to-west which is the opposite direction relative to the second-floor and attic floor framing (north-south). The first-floor framing is supported by 7-1/2"x7-1/2" wood beams and the floor joists are mortised into the main beams (Picture 13 & 14).



Picture 13: Typical Existing Main Support Beam in Basement.

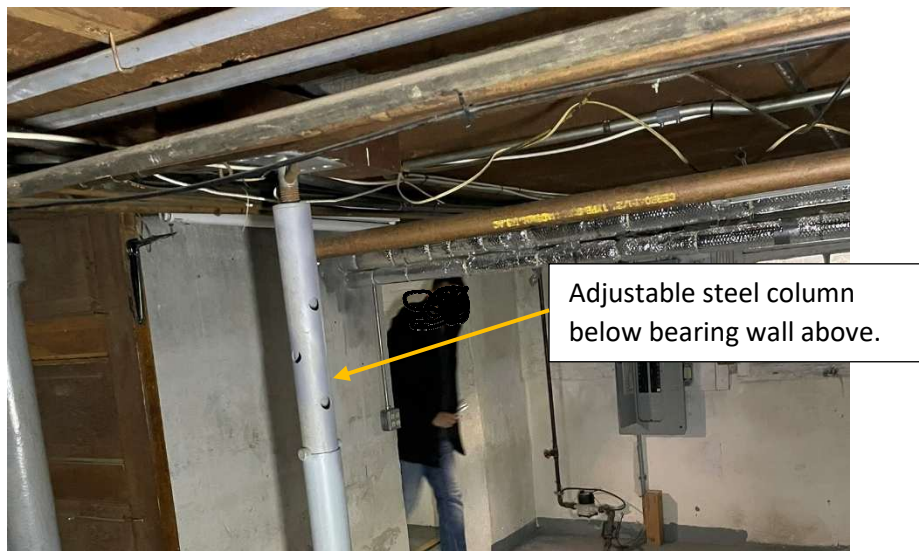


Picture 14: Mortise Joist to Main Wood Beam.

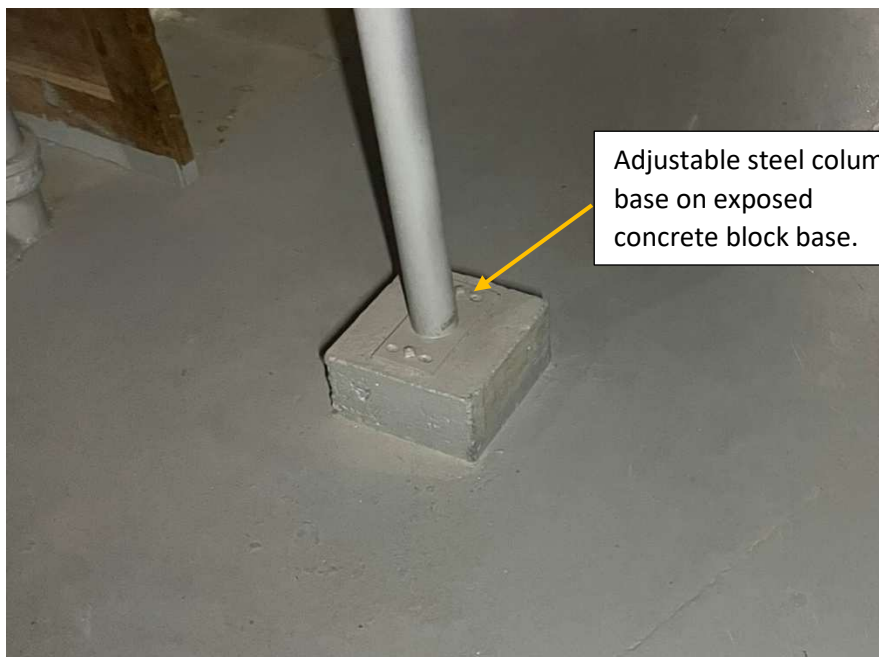
It appears that because the main wood beam supports in the basement installed perpendicular to the main bearing walls above, temporary adjustable steel posts were installed by the previous owners in order to correct the load path. It is unclear if these adjustable columns bear on anything more than an exposed concrete block at the base (pictures 15, 16 & 17).



Picture 15: West Temporary Adjustable Column.



Picture 16: East Temporary Adjustable Column.



Picture 17: Adjustable Steel Column Base.

### Coach House:

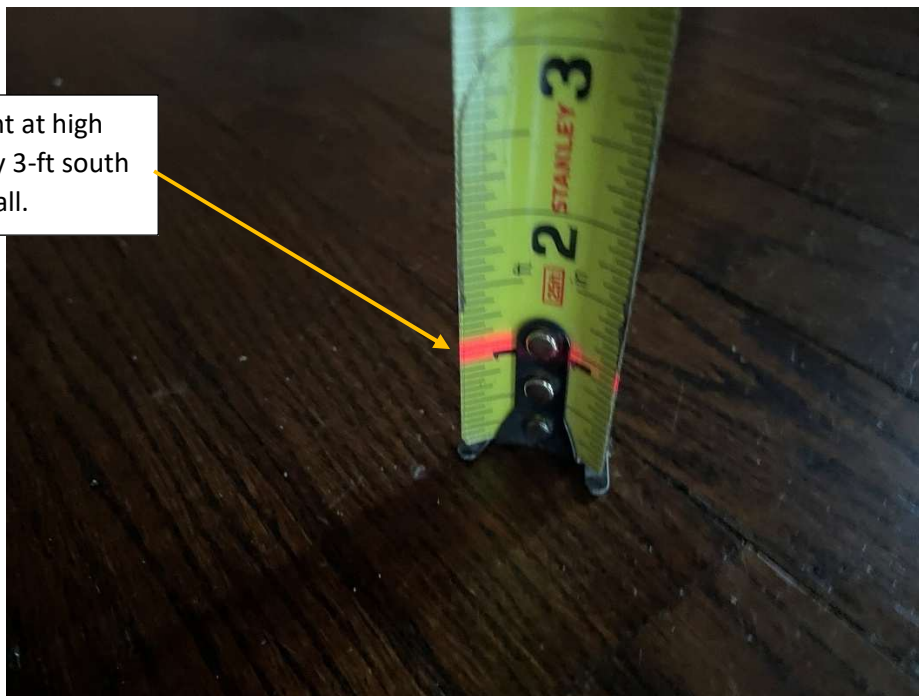
The coach house structure is a one-story structure with an occupiable second floor space within the roof framing. The first floor is a single-car garage space on the north side and a living space with a kitchen on the south side. The first-floor garage and living space is a concrete slab-on-grade. A noticeable slope in the second-floor framing was observed and it appears the second-floor framing is 2x8's based on a measurement at the stairwell. In the middle of the second-floor space, roughly three feet south of the interior wall that creates the bedroom, the floor drops two-inches towards the wall (pictures 18, 19 & 20). It appears the rigid point (high point) is caused by a wall on the first floor that separates the garage from the living unit.



Interior wall parallel to roof framing between bedroom & living space.

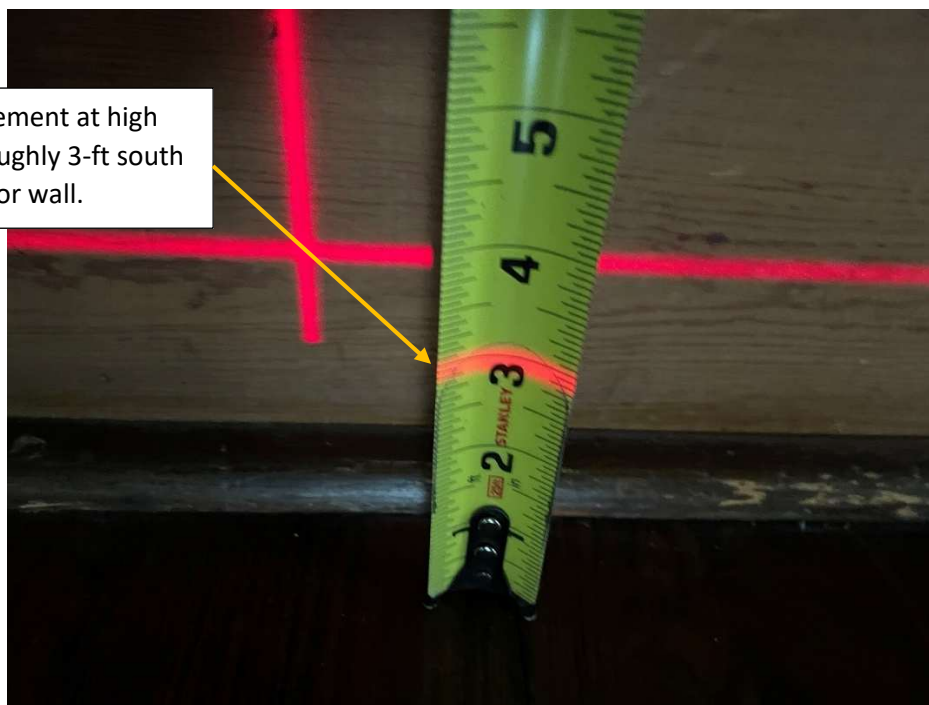
Picture 18: Coach House Second Floor Living Space.

Measurement at high point roughly 3-ft south of interior wall.



Picture 19: Measurement at High Point Roughly 3-ft South of Interior Partition Wall.

Measurement at high point roughly 3-ft south of interior wall.



Picture 20: Measurement at Interior Partition Wall.

## Analysis and Corrections:

An analysis of the existing members was performed using the adopted 2021 International Residence Code and the existing wood members were assumed to be high grade lumber Spruce-Pine Fir Select Structural. This assumption is based on typical old-growth lumber that was used during the time period in which these structures were built.

The analysis of the existing 2x4 rafters at 24-inches center-to-center indicates that these fails in bending and deflection. The bend stress under full snow loading is exceeded by 46% and per the IRC a roof framing member that does not support a brittle ceiling finish is allowed to deflect  $L/180$  which is 0.6-inches. The actual member deflection 1.68-inches which is almost 3-times the allowable limit (see attachment for calculations).

Assessing the existing 2x4 attic ceiling joists at 16-inches resulted in a 32% failure in bending stress and exceeding the allowable deflection limits for a ceiling with a brittle finish by 3.5 times the allowable limit (see attachment for calculations).

Both the first and second floors are constructed with 2x8 joists at 16-inches center-to-center with a worst-case span of 14'-6". The analysis shows the bending stress is exceeded by 5% and the deflection is 1.4 times the allowable limit.

The existing main support beam lines in the basement do not align with the bearing walls on the first and second floor, therefore, a new beam line with columns and footings would need to be installed to correct the load path. The existing adjustable steel columns are intended for temporary use until a permanent solution is installed and most likely there is no isolated footing below these columns.

The severe floor deformation on the second floor of the coach house appears to be caused by failure of the roof framing. A knee wall is present on the East and West walls of the gable roof. A collar tie is provided roughly eight feet above the finished floor. Without the presence of a ceiling joist to resist the tension loads from the roof, the rafters thrust out and pushing down on the interior wall framing. The wall framing is apply roof load to the existing second floor framing causing the excessive deformation in the floor (pictures 21 & 22).



Picture 21: Coach House East Exterior Knee Wall.



Picture 22: Coach House West Exterior Knee Wall.

## Conclusion:

Based on the observations and the analysis the horizontal structural components (rafters, joists and beams) are undersized relative to current code requirements and are experiencing excessive deformation due to load path issues. It is recommended that the existing main residence and coach house structures be razed based on the extensive reinforcement required to correct the load paths. The reinforcing would stabilize the structures; however, the deformations in the members caused by load path issues to the foundation systems cannot be completely removed from the existing wood elements and satisfying the serviceability requirements of the 2021 IRC would not be feasible.

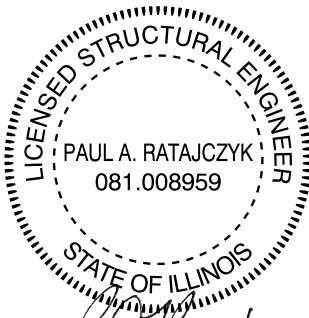
If there are any questions regarding the contents of this observation, please feel free to contact me directly either by phone or email.

Sincerely,  
PATERA, LLC




Paul Ratajczyk, SE, M. ACSE  
Structural Engineer – Partner

Illinois Design Firm Number : 184-009070



Lic. #: 081.008959  
Exp.: 11/30/2026

## Attachment Calculations

|   |  |                   |          |      |                     |      |
|---|--|-------------------|----------|------|---------------------|------|
|  <p><b>patera</b><br/>STRUCTURAL ENGINEERING<br/>4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005</p> | Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
|   | Section  |                   |          |      | Sheet no./rev.<br>1 |      |
|   | Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |

|  |    |
|--|----|
| building load - main house roof snow loading.....        | 2  |
| Snow loading .....                                       | 2  |
| roof framing - existing rafters at 24 inches.....        | 3  |
| Structural wood member analysis & Design (NDS).....      | 3  |
| attic framing - existing ceiling joist at 16 inches..... | 8  |
| Structural wood member analysis & Design (NDS).....      | 8  |
| 2nd floor framing - existing joists at 16 inches.....    | 12 |
| Structural wood member analysis & Design (NDS).....      | 12 |



|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>2 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |

## BUILDING LOAD - MAIN HOUSE ROOF SNOW LOADING

### SNOW LOADING

In accordance with ASCE7-16

Tedds calculation version 1.0.12

#### Building details

|                                     |                        |
|-------------------------------------|------------------------|
| Roof type;                          | Hip and gable          |
| Width of roof (left on elevation);  | $b_1 = 13.00$ ft       |
| Width of roof (right on elevation); | $b_2 = 13.00$ ft       |
| Slope of roof (left on elevation);  | $\alpha_1 = 26.60$ deg |
| Slope of roof (right on elevation); | $\alpha_2 = 26.60$ deg |

#### Ground snow load

|  |   |
|--|---|
| Ground snow load (Figure 7.2-1);         | $p_g = 30.00$ lb/ft <sup>2</sup>  |
| Density of snow;                         | $\gamma = \min(0.13 \times p_g / 1\text{ft} + 14\text{lb/ft}^3, 30\text{lb/ft}^3) = 17.90$ lb/ft <sup>3</sup> |
| Surface roughness category (Sect. 26.7); | B   |
| Exposure condition (Table 7.3-1);        | Partially exposed   |
| Exposure factor (Table 7.3-1);           | $C_e = 1.00$  |
| Thermal condition (Table 7.3-2);         | Others with cold roofs  |
| Thermal factor (Table 7.3-2);            | $C_t = 1.10$  |
| Importance category (Table 1.5-1);       | II  |
| Importance factor (Table 1.5-2);         | $I_s = 1.00$  |
| Flat roof snow load (Sect 7.3);          | $p_f = 0.7 \times C_e \times C_t \times I_s \times p_g = 23.10$ lb/ft <sup>2</sup>                            |

#### Cold roof slope factor ( $C_t > 1.0$ )

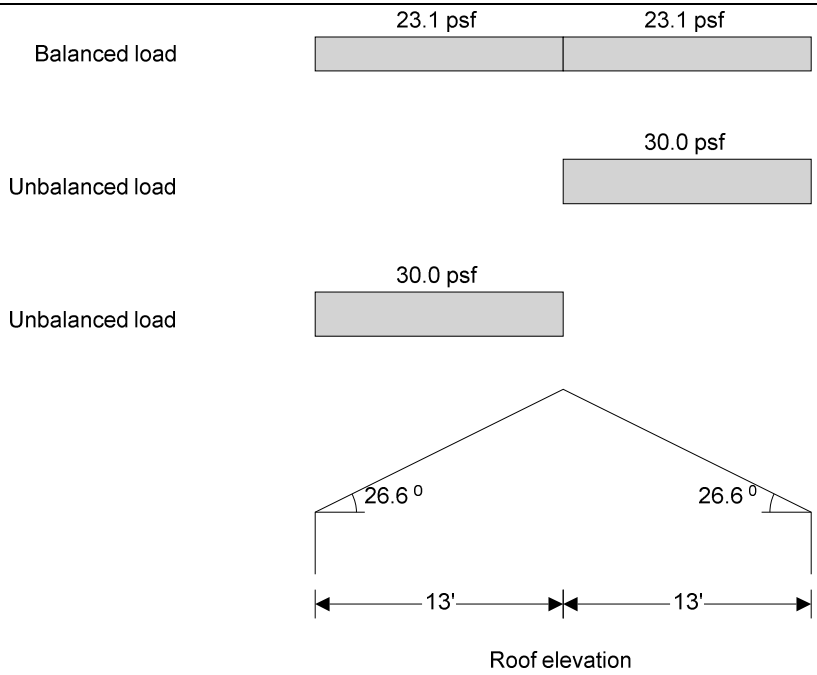
|  |  |
|--|--|
| Roof surface type;                                 | Non slippery                             |
| Ventilation;                                       | Ventilated                               |
| Thermal resistance (R-value);                      | $R = 49.00$ ; °F h ft <sup>2</sup> / Btu |
| Roof slope factor - left Fig 7.4-1b (solid line);  | $C_{s_l} = 1.00$                         |
| Roof slope factor - right Fig 7.4-1b (solid line); | $C_{s_r} = 1.00$                         |

#### Hip and gable roof loads

|   |   |
|---|---|
| Balanced sloped snow load - left (Cl.7.4);  | $p_{s_l} = C_{s_l} \times p_f = 23.10$ lb/ft <sup>2</sup> |
| Balanced sloped snow load - right (Cl.7.4); | $p_{s_r} = C_{s_r} \times p_f = 23.10$ lb/ft <sup>2</sup> |
| Slope of left roof;                         | $S_l = 1 / \tan(\alpha_1) = 2.00$                         |
| Slope of right roof;                        | $S_r = 1 / \tan(\alpha_2) = 2.00$                         |
| Unbalanced load - left roof windward;       | $p_{s_{lw}} = 0$ lb/ft <sup>2</sup>                       |
| Unbalanced load - right roof leeward;       | $p_{s_{rl}} = I_s \times p_g = 30.00$ lb/ft <sup>2</sup>  |
| Unbalanced load - left roof leeward;        | $p_{s_{ll}} = I_s \times p_g = 30.00$ lb/ft <sup>2</sup>  |
| Unbalanced load - right roof windward;      | $p_{s_{rw}} = 0$ lb/ft <sup>2</sup>                       |



|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>3 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |



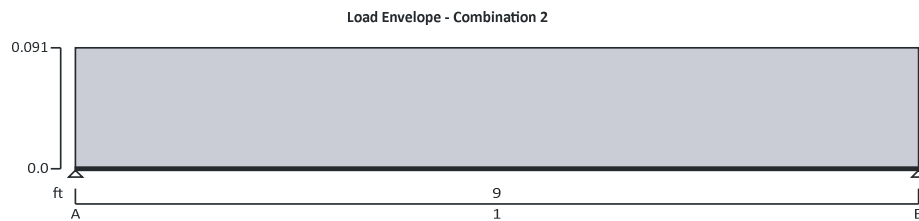
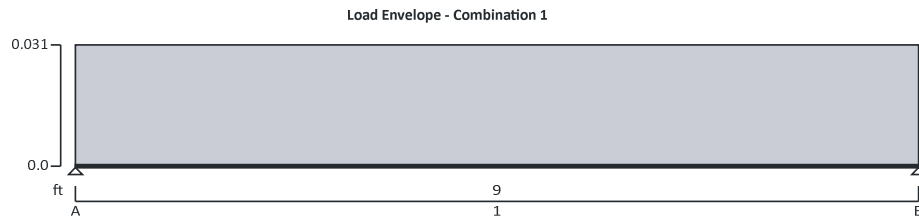
;

**ROOF FRAMING - EXISTING RAFTERS AT 24 INCHES**

**STRUCTURAL WOOD MEMBER ANALYSIS & DESIGN (NDS)**

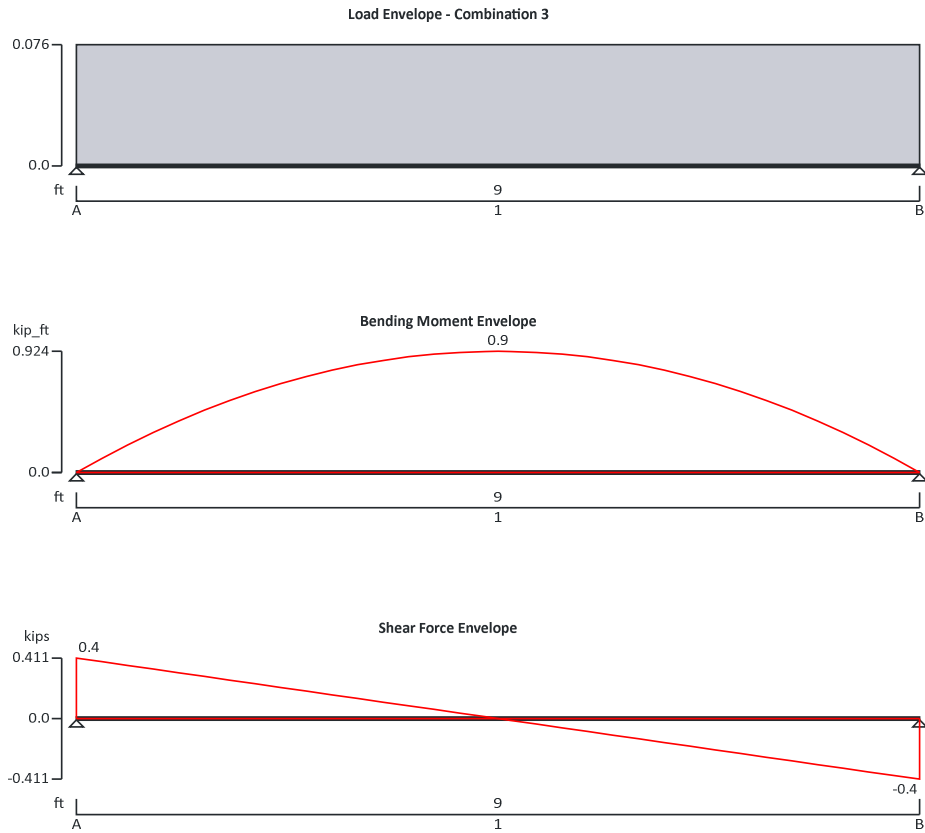
In accordance with the ANSI/AF&PA NDS-2018 using the ASD method

Tedds calculation version 1.7.10





|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>4 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |



**Applied loading**

**Beam loads**

roof  
roof

Dead self weight of beam  $\times 1$   
Dead full UDL 30 lb/ft  
Snow full UDL 60 lb/ft

**Load combinations**

Load combination 1

Support A

Dead  $\times 1.00$   
Live  $\times 1.00$   
Roof Live  $\times 0.00$   
Snow  $\times 0.00$   
Wind  $\times 0.00$

Span 1

Seismic  $\times 0.00$   
Dead  $\times 1.00$   
Live  $\times 1.00$   
Roof Live  $\times 0.00$   
Snow  $\times 0.00$   
Wind  $\times 0.00$   
Seismic  $\times 0.00$



|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>5 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |

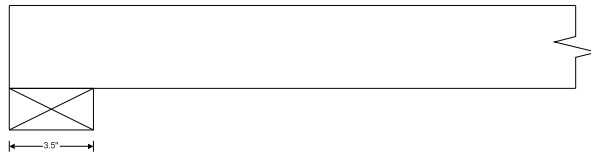
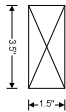
|                    |           |                  |
|--------------------|-----------|------------------|
| Load combination 2 | Support B | Dead × 1.00      |
|                    |           | Live × 1.00      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 0.00      |
|                    |           | Wind × 0.00      |
|                    |           | Seismic × 0.00   |
|                    | Support A | Dead × 1.00      |
|                    |           | Live × 0.00      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 1.00      |
| Load combination 3 | Span 1    | Dead × 1.00      |
|                    |           | Live × 0.00      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 1.00      |
|                    |           | Wind × 0.00      |
|                    |           | Seismic × 0.00   |
|                    | Support B | Dead × 1.00      |
|                    |           | Live × 0.00      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 1.00      |
| Load combination 3 | Support A | Dead × 1.00      |
|                    |           | Live × 0.75      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 0.75      |
|                    |           | Wind × 0.00      |
|                    |           | Seismic × 0.00   |
|                    | Span 1    | Dead × 1.00      |
|                    |           | Live × 0.75      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 0.75      |
| Load combination 3 | Support B | Dead × 1.00      |
|                    |           | Live × 0.75      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 0.75      |
|                    |           | Wind × 0.00      |



|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>6 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |

**Analysis results**

|   |   |                               |
|---|---|-------------------------------|
| Maximum moment;                             | $M_{max} = 924 \text{ lb\_ft};$   | $M_{min} = 0 \text{ lb\_ft}$  |
| Design moment;                              | $M = \max(\text{abs}(M_{max}), \text{abs}(M_{min})) = 924 \text{ lb\_ft}$ |                               |
| Maximum shear;                              | $F_{max} = 411 \text{ lb};$   | $F_{min} = -411 \text{ lb}$   |
| Design shear;                               | $F = \max(\text{abs}(F_{max}), \text{abs}(F_{min})) = 411 \text{ lb}$     |                               |
| Total load on member;                       | $W_{tot} = 821 \text{ lb}$  |                               |
| Reaction at support A;                      | $R_{A\_max} = 411 \text{ lb};$  | $R_{A\_min} = 141 \text{ lb}$ |
| Unfactored dead load reaction at support A; | $R_{A\_Dead} = 141 \text{ lb}$  |                               |
| Unfactored snow load reaction at support A; | $R_{A\_Snow} = 270 \text{ lb}$  |                               |
| Reaction at support B;                      | $R_{B\_max} = 411 \text{ lb};$  | $R_{B\_min} = 141 \text{ lb}$ |
| Unfactored dead load reaction at support B; | $R_{B\_Dead} = 141 \text{ lb}$  |                               |
| Unfactored snow load reaction at support B; | $R_{B\_Snow} = 270 \text{ lb}$  |                               |



**Sawn lumber section details**


|  |  |
|--|--|
| Nominal breadth of sections;                   | $b_{nom} = 2 \text{ in}$                             |
| Dressed breadth of sections;                   | $b = 1.5 \text{ in}$                                 |
| Nominal depth of sections;                     | $d_{nom} = 4 \text{ in}$                             |
| Dressed depth of sections;                     | $d = 3.5 \text{ in}$                                 |
| Number of sections in member;                  | $N = 1$  |
| Overall breadth of member;                     | $b_b = N \times b = 1.5 \text{ in}$                  |
| Species, grade and size classification;        | Spruce-Pine-Fir, Select Structural grade, 2" & wider |
| Bending parallel to grain;                     | $F_b = 1250 \text{ lb/in}^2$                         |
| Tension parallel to grain;                     | $F_t = 700 \text{ lb/in}^2$                          |
| Compression parallel to grain;                 | $F_c = 1400 \text{ lb/in}^2$                         |
| Compression perpendicular to grain;            | $F_{c\_perp} = 425 \text{ lb/in}^2$                  |
| Shear parallel to grain;                       | $F_v = 135 \text{ lb/in}^2$                          |
| Modulus of elasticity;                         | $E = 1500000 \text{ lb/in}^2$                        |
| Modulus of elasticity, stability calculations; | $E_{min} = 550000 \text{ lb/in}^2$                   |
| Mean shear modulus;                            | $G_{def} = E / 16 = 93750 \text{ lb/in}^2$           |

**Member details**

|   |                         |
|---|-------------------------|
| Service condition;                                  | <b>Dry</b>              |
| Length of span;                                     | $L_{s1} = 9 \text{ ft}$ |
| Length of bearing;                                  | $L_b = 3.5 \text{ in}$  |
| Load duration;                                      | <b>Two months</b>       |
| The beam is one of three or more repetitive members |                         |

**Section properties**

|                                 |   |
|---------------------------------|---|
| Cross sectional area of member; | $A = N \times b \times d = 5.25 \text{ in}^2$           |
| Section modulus;                | $S_x = N \times b \times d^2 / 6 = 3.06 \text{ in}^3$   |
|                                 | $S_y = d \times (N \times b)^2 / 6 = 1.31 \text{ in}^3$ |
| Second moment of area;          | $I_x = N \times b \times d^3 / 12 = 5.36 \text{ in}^4$  |

|  |                                     |          |      |                |      |
|--|-------------------------------------|----------|------|----------------|------|
|  <p>4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005</p> | Project                             |          |      | Job Ref.       |      |
|  | 326 Ridge Ave in Winnetka, Illinois |          |      | 25-142         |      |
|  | Section                             |          |      | Sheet no./rev. |      |
|  |                                     |          | 7    |                |      |
| Calc. by   | Date                                | Chk'd by | Date | App'd by       | Date |
| PR   | 2/10/2025                           |          |      |                |      |

$$I_y = d \times (N \times b)^3 / 12 = \mathbf{0.98 \text{ in}^4}$$

### Adjustment factors

Load duration factor - Table 2.3.2;  $C_D = \mathbf{1.15}$

Temperature factor - Table 2.3.3;  $C_t = \mathbf{1.00}$

Size factor for bending - Table 4A;  $C_{Fb} = \mathbf{1.50}$

Size factor for tension - Table 4A;  $C_{Ft} = \mathbf{1.50}$

Size factor for compression - Table 4A;  $C_{Fc} = \mathbf{1.15}$

Flat use factor - Table 4A;  $C_{fu} = \mathbf{1.10}$

Incising factor for modulus of elasticity - Table 4.3.8  
 $C_{IE} = \mathbf{1.00}$

Incising factor for bending, shear, tension & compression - Table 4.3.8

$$C_i = \mathbf{1.00}$$

Incising factor for perpendicular compression - Table 4.3.8

$$C_{ic\_perp} = \mathbf{1.00}$$

Repetitive member factor - cl.4.3.9;  $C_r = \mathbf{1.15}$

Bearing area factor - cl.3.10.4;  $C_b = \mathbf{1.00}$

Depth-to-breadth ratio;  $d_{nom} / (N \times b_{nom}) = \mathbf{2.00}$

- Beam is fully restrained

Beam stability factor - cl.3.3.3;  $C_L = \mathbf{1.00}$

### Bearing perpendicular to grain - cl.3.10.2

Design compression perpendicular to grain;  $F_{c\_perp}' = F_{c\_perp} \times C_t \times C_{ic\_perp} \times C_b = \mathbf{425 \text{ lb/in}^2}$

Applied compression stress perpendicular to grain;  $f_{c\_perp} = R_{A\_max} / (N \times b \times L_b) = \mathbf{78 \text{ lb/in}^2}$

$$f_{c\_perp} / F_{c\_perp}' = \mathbf{0.184}$$

**PASS - Design compressive stress exceeds applied compressive stress at bearing**

### Strength in bending - cl.3.3.1

Design bending stress;  $F_b' = F_b \times C_D \times C_t \times C_L \times C_{Fb} \times C_i \times C_r = \mathbf{2480 \text{ lb/in}^2}$

Actual bending stress;  $f_b = M / S_x = \mathbf{3621 \text{ lb/in}^2}$

$$f_b / F_b' = \mathbf{1.460}$$

**FAIL - Design bending stress is less than actual bending stress**

### Strength in shear parallel to grain - cl.3.4.1

Design shear stress;  $F_v' = F_v \times C_D \times C_t \times C_i = \mathbf{155 \text{ lb/in}^2}$

Actual shear stress - eq.3.4-2;  $f_v = 3 \times F / (2 \times A) = \mathbf{117 \text{ lb/in}^2}$

$$f_v / F_v' = \mathbf{0.756}$$

**PASS - Design shear stress exceeds actual shear stress**

### Deflection - cl.3.5.1

Modulus of elasticity for deflection;  $E' = E \times C_{ME} \times C_t \times C_{IE} = \mathbf{1500000 \text{ lb/in}^2}$

Design deflection;  $\delta_{adm} = 0.0056 \times L_{s1} = \mathbf{0.605 \text{ in}}$

Total deflection;  $\delta_{b\_s1} = \mathbf{1.676 \text{ in}}$

$$\delta_{b\_s1} / \delta_{adm} = \mathbf{2.771}$$

**FAIL - Total deflection exceeds design deflection**

;



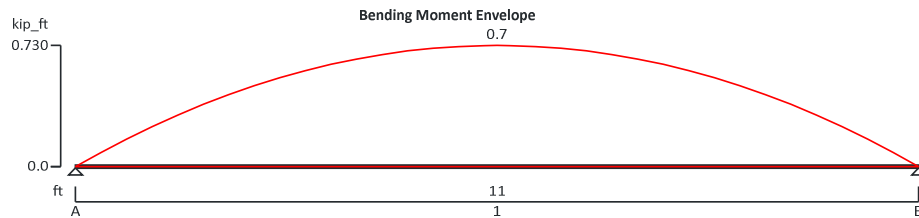
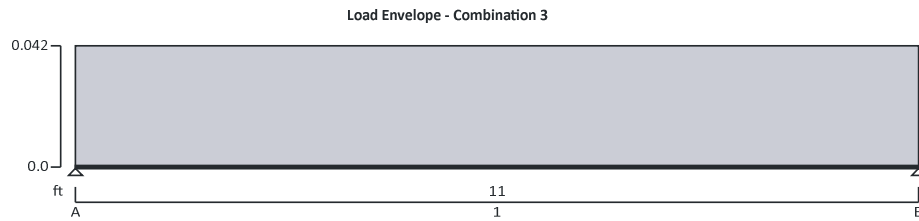
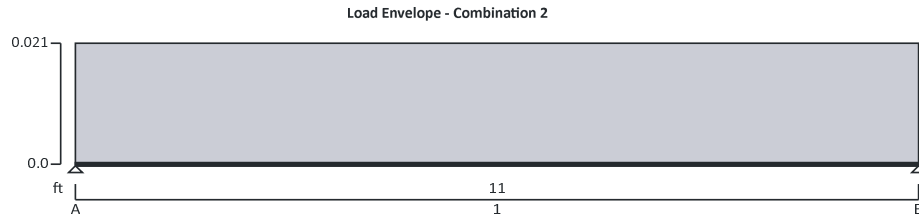
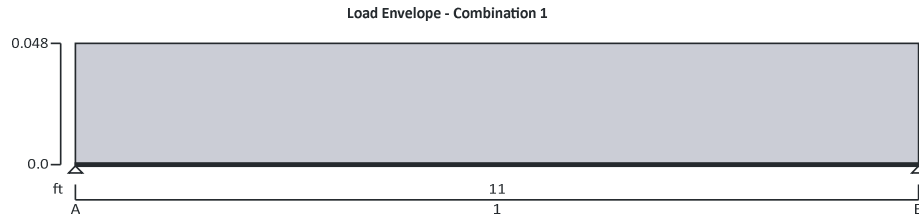
|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>8 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |

## ATTIC FRAMING - EXISTING CEILING JOIST AT 16 INCHES

### STRUCTURAL WOOD MEMBER ANALYSIS & DESIGN (NDS)

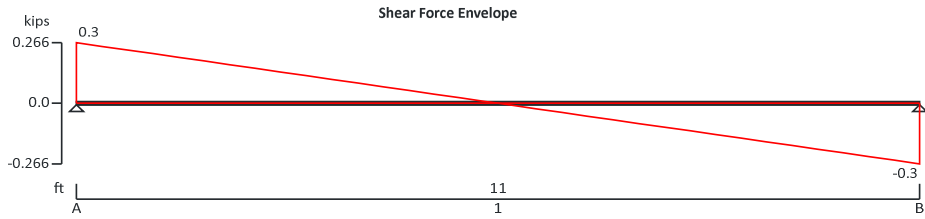
In accordance with the ANSI/AF&PA NDS-2018 using the ASD method

Tedds calculation version 1.7.10





|  |                   |          |      |                     |      |
|--|-------------------|----------|------|---------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142  |      |
| Section  |                   |          |      | Sheet no./rev.<br>9 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by            | Date |



**Applied loading**

**Beam loads**

attic  
attic

Dead self weight of beam × 1  
Dead full UDL 20 lb/ft  
Live full UDL 27 lb/ft

**Load combinations**

Load combination 1

Support A  
Dead × 1.00  
Live × 1.00  
Roof Live × 0.00  
Snow × 0.00  
Wind × 0.00  
Seismic × 0.00

Span 1  
Dead × 1.00  
Live × 1.00  
Roof Live × 0.00  
Snow × 0.00  
Wind × 0.00  
Seismic × 0.00

Support B  
Dead × 1.00  
Live × 1.00  
Roof Live × 0.00  
Snow × 0.00  
Wind × 0.00  
Seismic × 0.00

Load combination 2

Support A  
Dead × 1.00  
Live × 0.00  
Roof Live × 0.00  
Snow × 1.00  
Wind × 0.00  
Seismic × 0.00

Span 1  
Dead × 1.00  
Live × 0.00  
Roof Live × 0.00  
Snow × 1.00

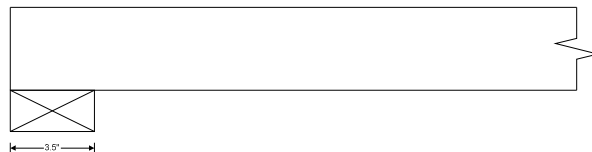
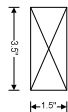



|  |                   |          |      |                      |      |
|--|-------------------|----------|------|----------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142   |      |
| Section  |                   |          |      | Sheet no./rev.<br>10 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by             | Date |

|                    |           |   |
|--------------------|-----------|---|
| Load combination 3 | Support B | Wind × 0.00<br>Seismic × 0.00<br>Dead × 1.00<br>Live × 0.00<br>Roof Live × 0.00<br>Snow × 1.00<br>Wind × 0.00<br>Seismic × 0.00 |
|                    | Support A | Dead × 1.00<br>Live × 0.75<br>Roof Live × 0.00<br>Snow × 0.75<br>Wind × 0.00<br>Seismic × 0.00                                  |
|                    | Span 1    | Dead × 1.00<br>Live × 0.75<br>Roof Live × 0.00<br>Snow × 0.75<br>Wind × 0.00<br>Seismic × 0.00                                  |
|                    | Support B | Dead × 1.00<br>Live × 0.75<br>Roof Live × 0.00<br>Snow × 0.75<br>Wind × 0.00<br>Seismic × 0.00                                  |

**Analysis results**

|   |   |                               |
|---|---|-------------------------------|
| Maximum moment;                             | $M_{max} = 730 \text{ lb\_ft};$   | $M_{min} = 0 \text{ lb\_ft}$  |
| Design moment;                              | $M = \max(\text{abs}(M_{max}), \text{abs}(M_{min})) = 730 \text{ lb\_ft}$ |                               |
| Maximum shear;                              | $F_{max} = 266 \text{ lb};$   | $F_{min} = -266 \text{ lb}$   |
| Design shear;                               | $F = \max(\text{abs}(F_{max}), \text{abs}(F_{min})) = 266 \text{ lb}$     |                               |
| Total load on member;                       | $W_{tot} = 531 \text{ lb}$  |                               |
| Reaction at support A;                      | $R_{A\_max} = 266 \text{ lb};$  | $R_{A\_min} = 117 \text{ lb}$ |
| Unfactored dead load reaction at support A; | $R_{A\_Dead} = 117 \text{ lb}$  |                               |
| Unfactored live load reaction at support A; | $R_{A\_Live} = 149 \text{ lb}$  |                               |
| Reaction at support B;                      | $R_{B\_max} = 266 \text{ lb};$  | $R_{B\_min} = 117 \text{ lb}$ |
| Unfactored dead load reaction at support B; | $R_{B\_Dead} = 117 \text{ lb}$  |                               |
| Unfactored live load reaction at support B; | $R_{B\_Live} = 149 \text{ lb}$  |                               |



|  |                                     |           |          |      |                |      |
|--|-------------------------------------|-----------|----------|------|----------------|------|
|  <p>4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005</p> | Project                             |           |          |      | Job Ref.       |      |
|  | 326 Ridge Ave in Winnetka, Illinois |           |          |      | 25-142         |      |
|  | Section                             |           |          |      | Sheet no./rev. |      |
| Calc. by   |                                     | Date      | Chk'd by | Date | App'd by       | Date |
| PR   |                                     | 2/10/2025 |          |      |                |      |
|  |                                     |           |          | 11   |                |      |

### Sawn lumber section details

|  |  |
|--|--|
| Nominal breadth of sections;                   | $b_{nom} = 2$ in                                     |
| Dressed breadth of sections;                   | $b = 1.5$ in   |
| Nominal depth of sections;                     | $d_{nom} = 4$ in                                     |
| Dressed depth of sections;                     | $d = 3.5$ in   |
| Number of sections in member;                  | $N = 1$  |
| Overall breadth of member;                     | $b_b = N \times b = 1.5$ in                          |
| Species, grade and size classification;        | Spruce-Pine-Fir, Select Structural grade, 2" & wider |
| Bending parallel to grain;                     | $F_b = 1250$ lb/in <sup>2</sup>                      |
| Tension parallel to grain;                     | $F_t = 700$ lb/in <sup>2</sup>                       |
| Compression parallel to grain;                 | $F_c = 1400$ lb/in <sup>2</sup>                      |
| Compression perpendicular to grain;            | $F_{c\_perp} = 425$ lb/in <sup>2</sup>               |
| Shear parallel to grain;                       | $F_v = 135$ lb/in <sup>2</sup>                       |
| Modulus of elasticity;                         | $E = 1500000$ lb/in <sup>2</sup>                     |
| Modulus of elasticity, stability calculations; | $E_{min} = 550000$ lb/in <sup>2</sup>                |
| Mean shear modulus;                            | $G_{def} = E / 16 = 93750$ lb/in <sup>2</sup>        |

### Member details


|   |                  |
|---|------------------|
| Service condition;                                  | <b>Dry</b>       |
| Length of span;                                     | $L_{s1} = 11$ ft |
| Length of bearing;                                  | $L_b = 3.5$ in   |
| Load duration;                                      | <b>Ten years</b> |
| The beam is one of three or more repetitive members |                  |

### Section properties

|                                 |   |
|---------------------------------|---|
| Cross sectional area of member; | $A = N \times b \times d = 5.25$ in <sup>2</sup>            |
| Section modulus;                | $S_x = N \times b \times d^2 / 6 = 3.06$ in <sup>3</sup>    |
|                                 | $S_y = d \times (N \times b)^2 / 6 = 1.31$ in <sup>3</sup>  |
| Second moment of area;          | $I_x = N \times b \times d^3 / 12 = 5.36$ in <sup>4</sup>   |
|                                 | $I_y = d \times (N \times b)^3 / 12 = 0.98$ in <sup>4</sup> |

### Adjustment factors

|   |                       |
|---|-----------------------|
| Load duration factor - Table 2.3.2;                                     | $C_D = 1.00$          |
| Temperature factor - Table 2.3.3;                                       | $C_t = 1.00$          |
| Size factor for bending - Table 4A;                                     | $C_{Fb} = 1.50$       |
| Size factor for tension - Table 4A;                                     | $C_{Ft} = 1.50$       |
| Size factor for compression - Table 4A;                                 | $C_{Fc} = 1.15$       |
| Flat use factor - Table 4A;   | $C_{fu} = 1.10$       |
| Incising factor for modulus of elasticity - Table 4.3.8                 | $C_{IE} = 1.00$       |
| Incising factor for bending, shear, tension & compression - Table 4.3.8 | $C_i = 1.00$          |
| Incising factor for perpendicular compression - Table 4.3.8             | $C_{ic\_perp} = 1.00$ |
| Repetitive member factor - cl.4.3.9;                                    | $C_r = 1.15$          |

|  |                                     |           |          |      |                |      |
|--|-------------------------------------|-----------|----------|------|----------------|------|
|  <p>4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005</p> | Project                             |           |          |      | Job Ref.       |      |
|  | 326 Ridge Ave in Winnetka, Illinois |           |          |      | 25-142         |      |
|  | Section                             |           |          |      | Sheet no./rev. |      |
| Calc. by   |                                     | Date      | Chk'd by | Date | App'd by       | Date |
| PR   |                                     | 2/10/2025 |          |      |                |      |
|  |                                     |           |          | 12   |                |      |

Bearing area factor - cl.3.10.4;

$$C_b = 1.00$$

Depth-to-breadth ratio;

$$d_{nom} / (N \times b_{nom}) = 2.00$$

- Beam is fully restrained

Beam stability factor - cl.3.3.3;

$$C_L = 1.00$$

**Bearing perpendicular to grain - cl.3.10.2**

Design compression perpendicular to grain;

$$F_{c\_perp}' = F_{c\_perp} \times C_t \times C_{ic\_perp} \times C_b = 425 \text{ lb/in}^2$$

Applied compression stress perpendicular to grain;

$$f_{c\_perp} = R_{A\_max} / (N \times b \times L_b) = 51 \text{ lb/in}^2$$

$$f_{c\_perp} / F_{c\_perp}' = 0.119$$

**PASS - Design compressive stress exceeds applied compressive stress at bearing**

**Strength in bending - cl.3.3.1**

Design bending stress;

$$F_b' = F_b \times C_D \times C_t \times C_L \times C_{Fb} \times C_i \times C_r = 2156 \text{ lb/in}^2$$

Actual bending stress;

$$f_b = M / S_x = 2861 \text{ lb/in}^2$$

$$f_b / F_b' = 1.327$$

**FAIL - Design bending stress is less than actual bending stress**

**Strength in shear parallel to grain - cl.3.4.1**

Design shear stress;

$$F_v' = F_v \times C_D \times C_t \times C_i = 135 \text{ lb/in}^2$$

Actual shear stress - eq.3.4-2;

$$f_v = 3 \times F / (2 \times A) = 76 \text{ lb/in}^2$$

$$f_v / F_v' = 0.562$$

**PASS - Design shear stress exceeds actual shear stress**

**Deflection - cl.3.5.1**

Modulus of elasticity for deflection;

$$E' = E \times C_{ME} \times C_t \times C_{IE} = 1500000 \text{ lb/in}^2$$

Design deflection;

$$\delta_{adm} = 0.0042 \times L_{s1} = 0.554 \text{ in}$$

Total deflection;

$$\delta_{b\_s1} = 1.978 \text{ in}$$

$$\delta_{b\_s1} / \delta_{adm} = 3.568$$

**FAIL - Total deflection exceeds design deflection**

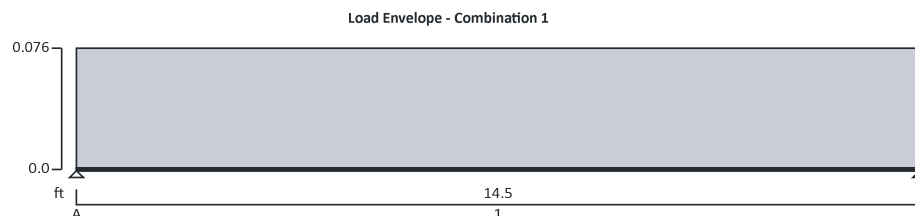
;

**2ND FLOOR FRAMING - EXISTING JOISTS AT 16 INCHES**

**STRUCTURAL WOOD MEMBER ANALYSIS & DESIGN (NDS)**

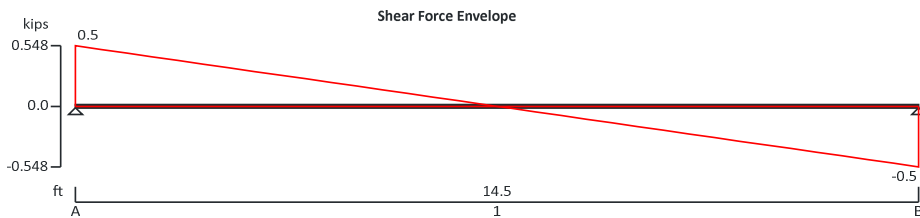
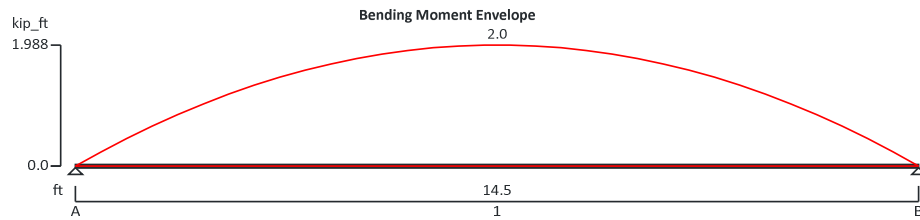
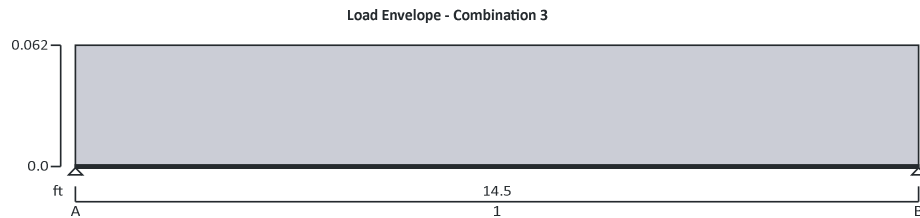
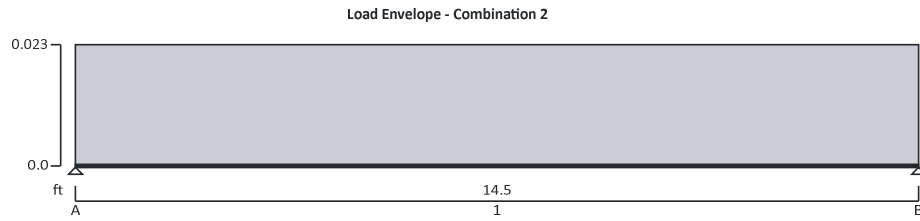
In accordance with the ANSI/AF&PA NDS-2018 using the ASD method

Tedds calculation version 1.7.10





|  |                   |          |      |                      |      |
|--|-------------------|----------|------|----------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142   |      |
| Section  |                   |          |      | Sheet no./rev.<br>13 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by             | Date |



**Applied loading**

**Beam loads**

- floor Dead self weight of beam × 1
- floor Dead full UDL 20 lb/ft
- floor Live full UDL 53 lb/ft

**Load combinations**

|                    |           |                  |
|--------------------|-----------|------------------|
| Load combination 1 | Support A | Dead × 1.00      |
|                    |           | Live × 1.00      |
|                    |           | Roof Live × 0.00 |
|                    |           | Snow × 0.00      |



|  |                   |          |      |                      |      |
|--|-------------------|----------|------|----------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142   |      |
| Section  |                   |          |      | Sheet no./rev.<br>14 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by             | Date |

|                    |                  |                  |
|--------------------|------------------|------------------|
| Load combination 2 | Span 1           | Wind × 0.00      |
|                    |                  | Seismic × 0.00   |
|                    |                  | Dead × 1.00      |
|                    |                  | Live × 1.00      |
|                    | Support B        | Roof Live × 0.00 |
|                    |                  | Snow × 0.00      |
|                    |                  | Wind × 0.00      |
|                    |                  | Seismic × 0.00   |
| Support A          | Dead × 1.00      |                  |
|                    | Live × 0.00      |                  |
|                    | Roof Live × 0.00 |                  |
|                    | Snow × 1.00      |                  |
| Load combination 3 | Span 1           | Wind × 0.00      |
|                    |                  | Seismic × 0.00   |
|                    |                  | Dead × 1.00      |
|                    |                  | Live × 0.00      |
|                    | Support B        | Roof Live × 0.00 |
|                    |                  | Snow × 1.00      |
|                    |                  | Wind × 0.00      |
|                    |                  | Seismic × 0.00   |
| Support A          | Dead × 1.00      |                  |
|                    | Live × 0.75      |                  |
|                    | Roof Live × 0.00 |                  |
|                    | Snow × 0.75      |                  |
| Span 1             | Wind × 0.00      |                  |
|                    | Seismic × 0.00   |                  |
|                    | Dead × 1.00      |                  |
|                    | Live × 0.75      |                  |
|                    |                  | Roof Live × 0.00 |
|                    |                  | Snow × 0.75      |



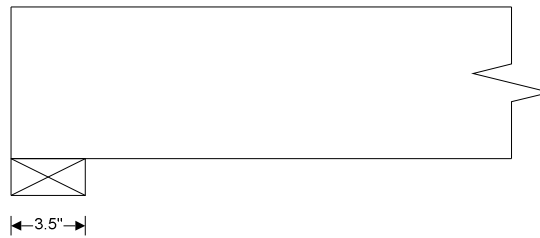
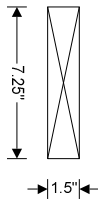
|  |                   |          |      |                      |      |
|--|-------------------|----------|------|----------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142   |      |
| Section  |                   |          |      | Sheet no./rev.<br>15 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by             | Date |

**Support B**

- Wind × 0.00
- Seismic × 0.00
- Dead × 1.00
- Live × 0.75
- Roof Live × 0.00
- Snow × 0.75
- Wind × 0.00
- Seismic × 0.00


**Analysis results**

|   |  |                               |
|---|--|-------------------------------|
| Maximum moment;                             | $M_{max} = 1988 \text{ lb\_ft};$   | $M_{min} = 0 \text{ lb\_ft}$  |
| Design moment;                              | $M = \max(\text{abs}(M_{max}), \text{abs}(M_{min})) = 1988 \text{ lb\_ft}$ |                               |
| Maximum shear;                              | $F_{max} = 548 \text{ lb};$  | $F_{min} = -548 \text{ lb}$   |
| Design shear;                               | $F = \max(\text{abs}(F_{max}), \text{abs}(F_{min})) = 548 \text{ lb}$      |                               |
| Total load on member;                       | $W_{tot} = 1097 \text{ lb}$  |                               |
| Reaction at support A;                      | $R_{A\_max} = 548 \text{ lb};$   | $R_{A\_min} = 164 \text{ lb}$ |
| Unfactored dead load reaction at support A; | $R_{A\_Dead} = 164 \text{ lb}$   |                               |
| Unfactored live load reaction at support A; | $R_{A\_Live} = 384 \text{ lb}$   |                               |
| Reaction at support B;                      | $R_{B\_max} = 548 \text{ lb};$   | $R_{B\_min} = 164 \text{ lb}$ |
| Unfactored dead load reaction at support B; | $R_{B\_Dead} = 164 \text{ lb}$   |                               |
| Unfactored live load reaction at support B; | $R_{B\_Live} = 384 \text{ lb}$   |                               |



**Sawn lumber section details**

|  |  |
|--|--|
| Nominal breadth of sections;                   | $b_{nom} = 2 \text{ in}$                             |
| Dressed breadth of sections;                   | $b = 1.5 \text{ in}$                                 |
| Nominal depth of sections;                     | $d_{nom} = 8 \text{ in}$                             |
| Dressed depth of sections;                     | $d = 7.25 \text{ in}$                                |
| Number of sections in member;                  | $N = 1$  |
| Overall breadth of member;                     | $b_b = N \times b = 1.5 \text{ in}$                  |
| Species, grade and size classification;        | Spruce-Pine-Fir, Select Structural grade, 2" & wider |
| Bending parallel to grain;                     | $F_b = 1250 \text{ lb/in}^2$                         |
| Tension parallel to grain;                     | $F_t = 700 \text{ lb/in}^2$                          |
| Compression parallel to grain;                 | $F_c = 1400 \text{ lb/in}^2$                         |
| Compression perpendicular to grain;            | $F_{c\_perp} = 425 \text{ lb/in}^2$                  |
| Shear parallel to grain;                       | $F_v = 135 \text{ lb/in}^2$                          |
| Modulus of elasticity;                         | $E = 1500000 \text{ lb/in}^2$                        |
| Modulus of elasticity, stability calculations; | $E_{min} = 550000 \text{ lb/in}^2$                   |
| Mean shear modulus;                            | $G_{def} = E / 16 = 93750 \text{ lb/in}^2$           |

|  |                                     |          |      |                |      |
|--|-------------------------------------|----------|------|----------------|------|
|  <p>4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005</p> | Project                             |          |      | Job Ref.       |      |
|  | 326 Ridge Ave in Winnetka, Illinois |          |      | 25-142         |      |
|  | Section                             |          |      | Sheet no./rev. |      |
|  |                                     |          | 16   |                |      |
| Calc. by   | Date                                | Chk'd by | Date | App'd by       | Date |
| PR   | 2/10/2025                           |          |      |                |      |

### Member details

Service condition; **Dry**  
 Length of span;  $L_{s1} = 14.5$  ft  
 Length of bearing;  $L_b = 3.5$  in  
 Load duration; **Ten years**  
 The beam is one of three or more repetitive members

### Section properties

Cross sectional area of member;  $A = N \times b \times d = 10.87$  in<sup>2</sup>  
 Section modulus;  
 $S_x = N \times b \times d^2 / 6 = 13.14$  in<sup>3</sup>  
 $S_y = d \times (N \times b)^2 / 6 = 2.72$  in<sup>3</sup>  
 Second moment of area;  
 $I_x = N \times b \times d^3 / 12 = 47.63$  in<sup>4</sup>  
 $I_y = d \times (N \times b)^3 / 12 = 2.04$  in<sup>4</sup>

### Adjustment factors

Load duration factor - Table 2.3.2;  $C_D = 1.00$   
 Temperature factor - Table 2.3.3;  $C_t = 1.00$   
 Size factor for bending - Table 4A;  $C_{Fb} = 1.20$   
 Size factor for tension - Table 4A;  $C_{Ft} = 1.20$   
 Size factor for compression - Table 4A;  $C_{Fc} = 1.05$   
 Flat use factor - Table 4A;  $C_{fu} = 1.15$   
 Incising factor for modulus of elasticity - Table 4.3.8  
 $C_{iE} = 1.00$   
 Incising factor for bending, shear, tension & compression - Table 4.3.8  
 $C_i = 1.00$   
 Incising factor for perpendicular compression - Table 4.3.8  
 $C_{ic\_perp} = 1.00$   
 Repetitive member factor - cl.4.3.9;  $C_r = 1.15$   
 Bearing area factor - cl.3.10.4;  $C_b = 1.00$   
 Depth-to-breadth ratio;  
 $d_{nom} / (N \times b_{nom}) = 4.00$   
 - Beam is fully restrained  
 Beam stability factor - cl.3.3.3;  $C_L = 1.00$

### Bearing perpendicular to grain - cl.3.10.2

Design compression perpendicular to grain;  $F_{c\_perp}' = F_{c\_perp} \times C_t \times C_{ic\_perp} \times C_b = 425$  lb/in<sup>2</sup>  
 Applied compression stress perpendicular to grain;  $f_{c\_perp} = R_{A\_max} / (N \times b \times L_b) = 104$  lb/in<sup>2</sup>  
 $f_{c\_perp} / F_{c\_perp}' = 0.246$

**PASS - Design compressive stress exceeds applied compressive stress at bearing**

### Strength in bending - cl.3.3.1

Design bending stress;  $F_b' = F_b \times C_D \times C_t \times C_L \times C_{Fb} \times C_i \times C_r = 1725$  lb/in<sup>2</sup>  
 Actual bending stress;  $f_b = M / S_x = 1815$  lb/in<sup>2</sup>  
 $f_b / F_b' = 1.052$

**FAIL - Design bending stress is less than actual bending stress**

### Strength in shear parallel to grain - cl.3.4.1

Design shear stress;  $F_v' = F_v \times C_D \times C_t \times C_i = 135$  lb/in<sup>2</sup>



|  |                   |          |      |                      |      |
|--|-------------------|----------|------|----------------------|------|
| Project<br>326 Ridge Ave in Winnetka, Illinois |                   |          |      | Job Ref.<br>25-142   |      |
| Section  |                   |          |      | Sheet no./rev.<br>17 |      |
| Calc. by<br>PR                                 | Date<br>2/10/2025 | Chk'd by | Date | App'd by             | Date |

Actual shear stress - eq.3.4-2;

$$f_v = 3 \times F / (2 \times A) = \mathbf{76 \text{ lb/in}^2}$$

$$f_v / F_v' = \mathbf{0.560}$$

**PASS - Design shear stress exceeds actual shear stress**

**Deflection - cl.3.5.1**

Modulus of elasticity for deflection;

$$E' = E \times C_{ME} \times C_t \times C_{iE} = \mathbf{1500000 \text{ lb/in}^2}$$

Design deflection;

$$\delta_{adm} = 0.0042 \times L_{s1} = \mathbf{0.731 \text{ in}}$$

Total deflection;

$$\delta_{b_{s1}} = \mathbf{1.053 \text{ in}}$$

$$\delta_{b_{s1}} / \delta_{adm} = \mathbf{1.441}$$

**FAIL - Total deflection exceeds design deflection**

;

## **HPC Monthly Communications Ideas – May 5, 2025**

1. GFA bonus for restoring older homes
2. Architects and contractors who specialize in restoring vintage homes
3. Winnetka Preservation Award recipients' testimonials for preservation
4. Solid Rock House, 82 Essex – materials reuse and architectural archiving
5. 1207 Whitebridge Hill Road – Landmark Nomination
6. Historic Home Preservation tools
7. Children's architectural activities
8. Winnetka Historical Society architectural listing
9. Guest spot at farmer's market for outreach
10. Addition to Crow Island School, a historically and architecturally significant property
11. Availability of information on homes at Winnetka Historical Society



# Illinois Department of Transportation

2300 South Dirksen Parkway / Springfield, Illinois / 62764

April 18, 2025

Cook County  
Winnetka  
Willow Road  
Roadway Improvements  
Section #08-00103-00-FP  
IDOT Sequence #14246B

***RE: Section 106 Consulting Party Comment Request***

Mr. Christopher Marx  
Associate Planner  
510 Green Bay Road  
First Floor  
Winnetka, IL 60093

Dear Mr. Marx:

The Illinois Department of Transportation (IDOT) is proposing to make roadway improvements along Willow Road in Winnetka. The project involves reconstruction of Willow Road from Forestway Drive to Provident Avenue. 1.42 acres of new ROW/easements is required for construction; however, no right-of-way or easements are required at Anita Willets Burnham Log House, 1140 Willow Road, and Crow Island School, 1140 Willow Road. The project is utilizing federal funds as administered through the Federal Highway Administration (FHWA) and IDOT.

IDOT's Cultural Resources staff has identified that Anita Willets Burnham Log House is a local landmark, and Crow Island School is a National Historic Landmark (NHL). As such, IDOT will coordinate this project with both the Illinois State Historic Preservation Officer (SHPO) and the National Park Service.

Section 106 of the National Historic Preservation Act of 1966 requires that effects to historic resources be considered for federally funded or permitted undertakings, as well as involve interested parties and the public in the project review. As a party with a particular interest in local landmarks and NHLs, IDOT is requesting that the Winnetka Historic Preservation Commission provide comments on the project's effects to these properties.

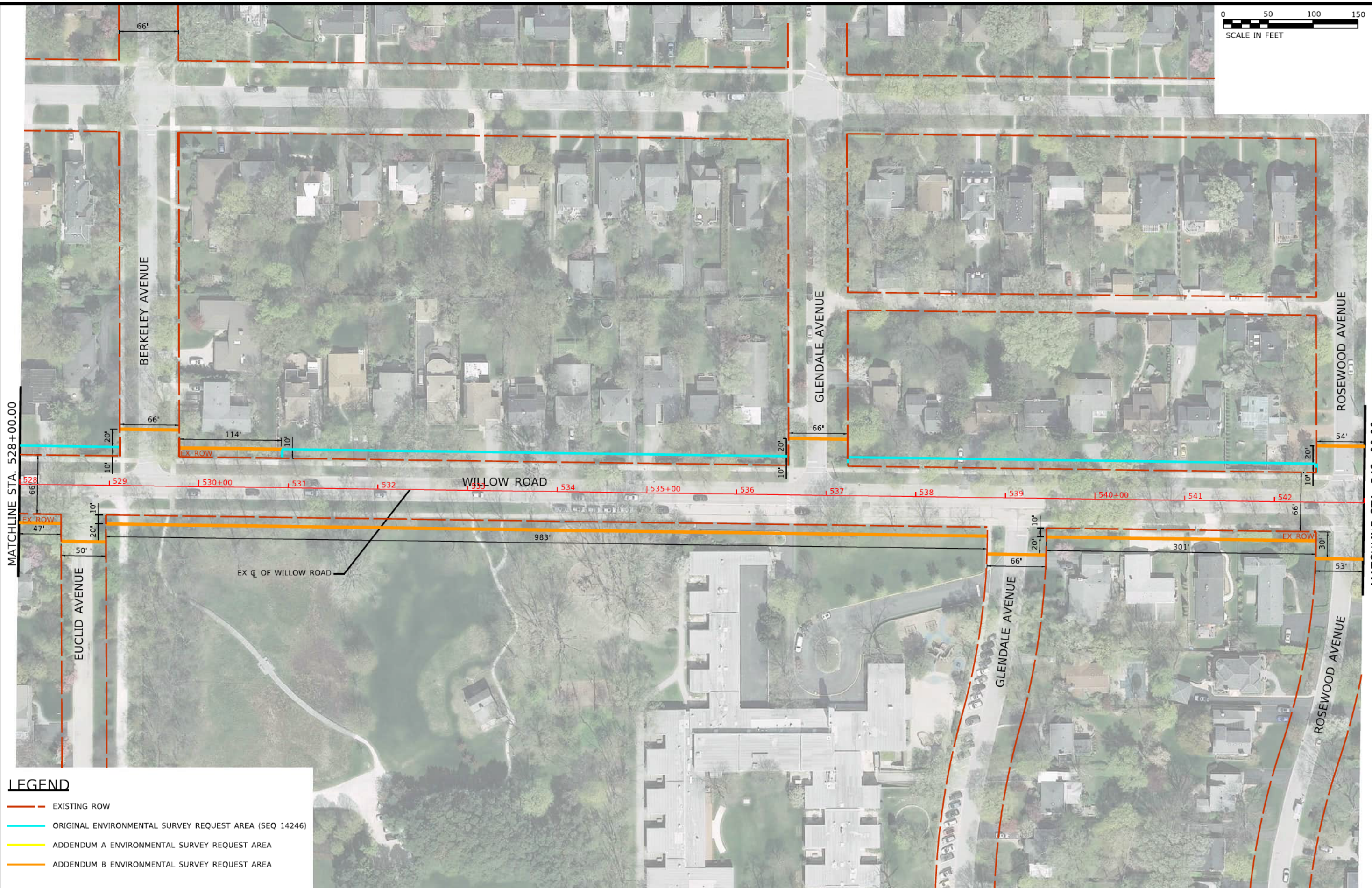
Location maps, photographs, and project plans are attached to this letter for your review. Please direct any questions and/or comments to [Emilie.Land@illinois.gov](mailto:Emilie.Land@illinois.gov).

Sincerely,

A black rectangular redaction box covering the signature of Joseph M. Galloy.

Joseph M. Galloy, PhD, RPA  
Cultural Resources Unit Manager  
Bureau of Design & Environment

JG:el



MATCHLINE STA. 528+00.00

MATCHLINE STA. 543+00.00

**LEGEND**

- EXISTING ROW
- ORIGINAL ENVIRONMENTAL SURVEY REQUEST AREA (SEQ 14246)
- ADDENDUM A ENVIRONMENTAL SURVEY REQUEST AREA
- ADDENDUM B ENVIRONMENTAL SURVEY REQUEST AREA

MODEL: Default  
FILE NAME: S:\11600-1699\1619\05\Drawings\CD\DWG\res55A1E\document\1699161905A1E.dwg

**SA STRAND ASSOCIATES**  
1170 SOUTH HOUBOLT ROAD  
JOLIET, ILLINOIS 60431  
(815) 744-4200

|            |                 |
|------------|-----------------|
| USER NAME  | alexam          |
| PLOT SCALE | 100.0000' / in. |
| PLOT DATE  | 5/13/2024       |

|          |             |
|----------|-------------|
| DESIGNED | -           |
| DRAWN    | -           |
| CHECKED  | -           |
| DATE     | \$PLANDATES |

|         |   |
|---------|---|
| REVISED | - |
| REVISED | - |
| REVISED | - |
| REVISED | - |

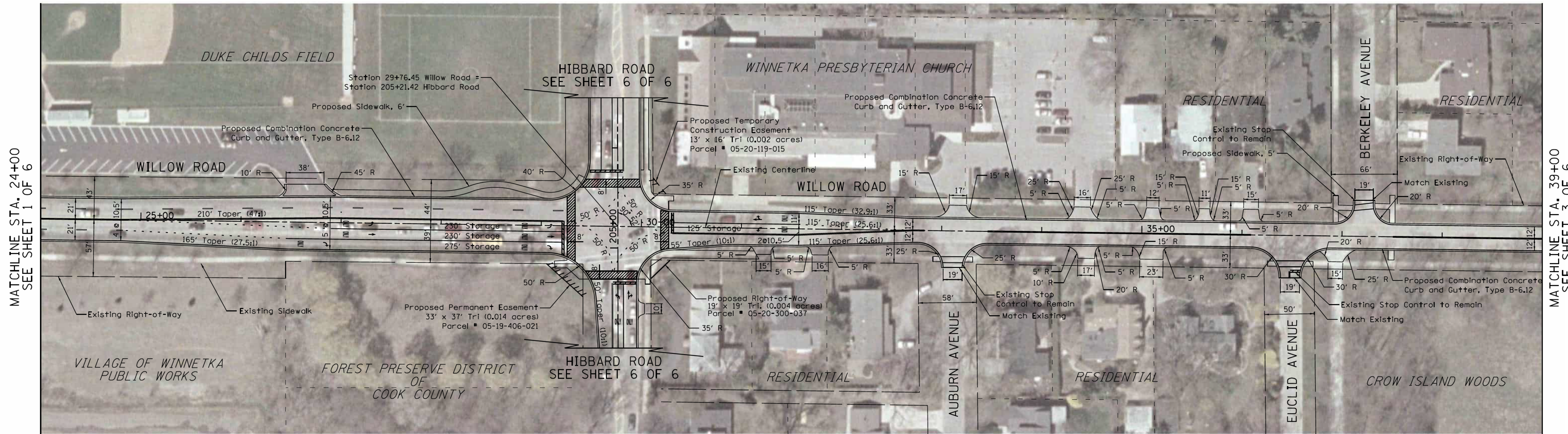
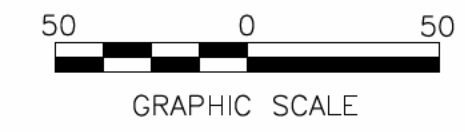
**STATE OF ILLINOIS  
DEPARTMENT OF TRANSPORTATION**

**WILLOW ROAD (FORESTWAY DRIVE TO PROVIDENT AVENUE)  
ADDENDUM B ENVIRONMENTAL SURVEY REQUEST**

|                           |                |        |              |           |
|---------------------------|----------------|--------|--------------|-----------|
| F.A.U. RTE.               | SECTION        | COUNTY | TOTAL SHEETS | SHEET NO. |
| 3561                      | 08-00103-00-FP | COOK   | 7            | 3         |
| CONTRACT NO.              |                |        |              |           |
| ILLINOIS FED. AID PROJECT |                |        |              |           |

SCALE: 1" = 50'    SHEET 3 OF 7 SHEETS    STA. 528+00.00 TO STA. 543+00.00

|                     |                |                  |              |           |
|---------------------|----------------|------------------|--------------|-----------|
| F.A. RTE.           | SECTION        | COUNTY           | TOTAL SHEETS | SHEET NO. |
| 3561                | 08-00103-00-FF | COOK             | 6            | 2         |
| STA.                | 24+00          | TO STA.          | 39+00        |           |
| FED. ROAD DIST. NO. | ILLINOIS       | FED. AID PROJECT |              |           |



MATCHLINE STA. 24+00  
SEE SHEET 1 OF 6

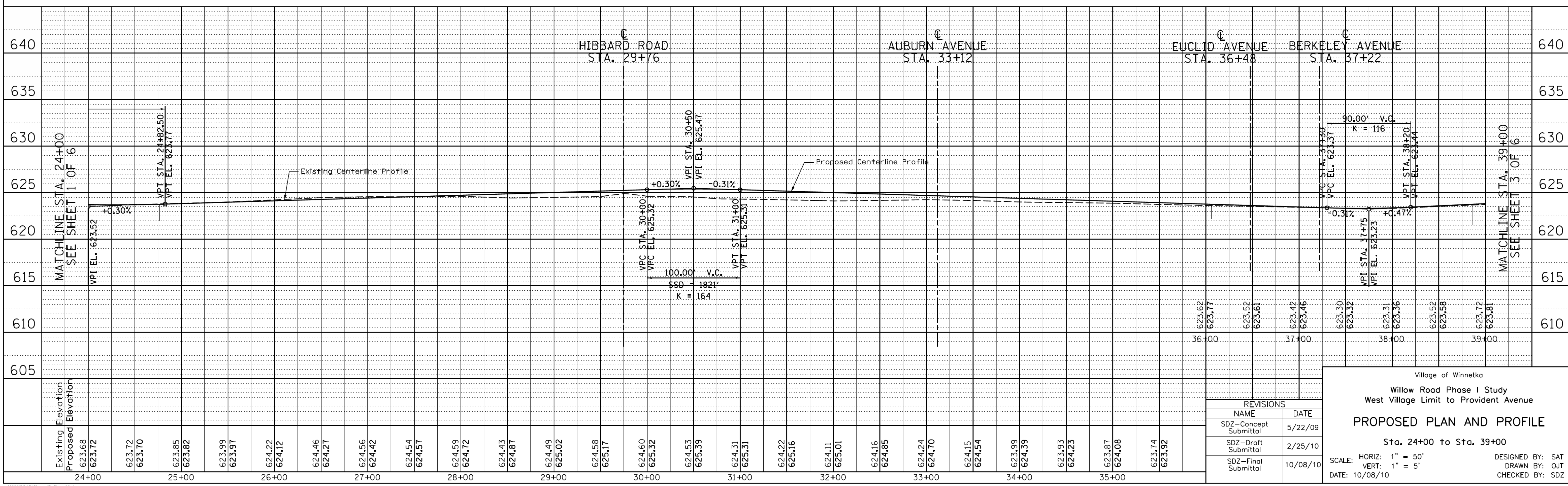
MATCHLINE STA. 39+00  
SEE SHEET 3 OF 6

WILLOW ROAD

|      |                     |    |      |
|------|---------------------|----|------|
| PLAN | SURVEYED            | BY | DATE |
|      | NOTE BOOK           |    |      |
|      | ADJUSTMENT CHECKED  |    |      |
|      | R.T. OF WAY CHECKED |    |      |
|      | ROAD FILE NAME      |    |      |

|         |                          |    |      |
|---------|--------------------------|----|------|
| PROFILE | SURVEYED                 | BY | DATE |
|         | B.M. NOTED               |    |      |
|         | GRADES CHECKED           |    |      |
|         | STRUCTURE NOTATIONS OK'D |    |      |

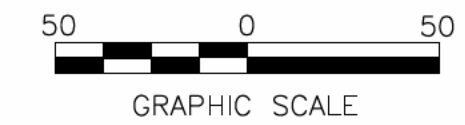
PLOT DATE = 4/24/11  
 FILE NAME = J:\2009\CAD\Sheets\Prop\Prop02.dgn  
 PLOT SCALE = 1" = 50'  
 REFERENCE = SHEETS



| REVISIONS             |          |
|-----------------------|----------|
| NAME                  | DATE     |
| SD2-Concept Submittal | 5/22/09  |
| SDZ-Draft Submittal   | 2/25/10  |
| SDZ-Final Submittal   | 10/08/10 |

Village of Winnetka  
 Willow Road Phase I Study  
 West Village Limit to Provident Avenue  
**PROPOSED PLAN AND PROFILE**  
 Sta. 24+00 to Sta. 39+00  
 SCALE: HORIZ: 1" = 50'  
 VERT: 1" = 5'  
 DATE: 10/08/10  
 DESIGNED BY: SAT  
 DRAWN BY: OUT  
 CHECKED BY: SDZ

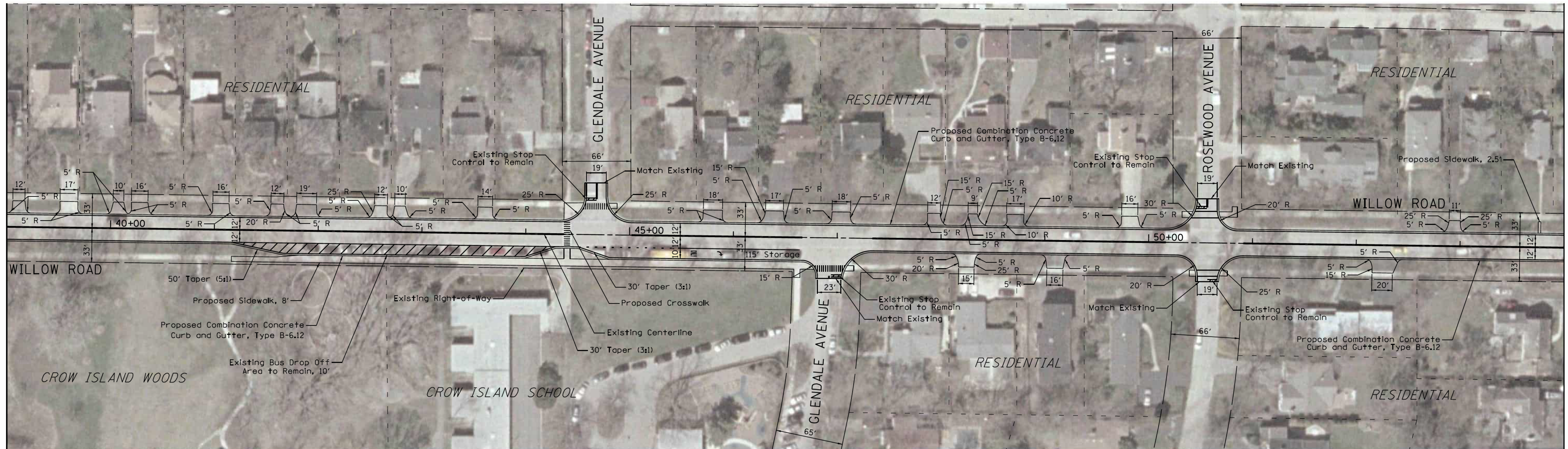
|                     |                |                  |              |           |
|---------------------|----------------|------------------|--------------|-----------|
| F.A. RTE.           | SECTION        | COUNTY           | TOTAL SHEETS | SHEET NO. |
| 3561                | 08-00103-00-FF | COOK             | 6            | 3         |
| STA.                | 39+00          | TO STA.          | 54+00        |           |
| FED. ROAD DIST. NO. | ILLINOIS       | FED. AID PROJECT |              |           |



|           |          |      |
|-----------|----------|------|
| PLAN      | SURVEYED | DATE |
| NOTE BOOK | ALIGNED  |      |
| NO.       | BY       |      |
|           | CHECKED  |      |
|           | DATE     |      |
|           | NO.      |      |

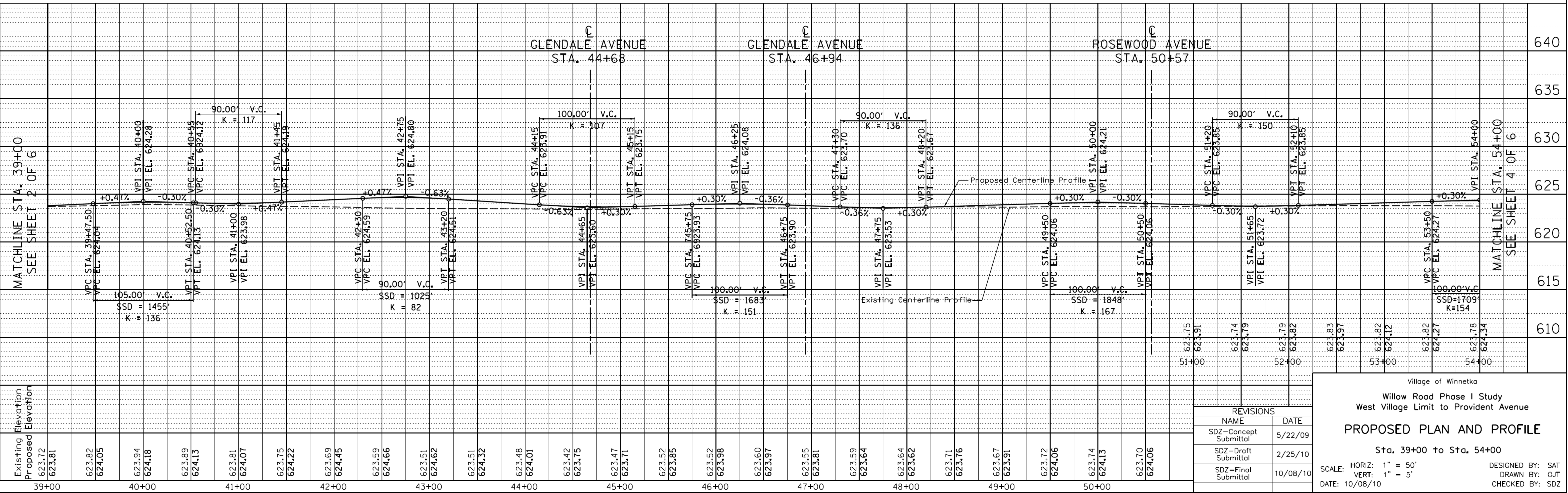
MATCHLINE STA. 39+00  
SEE SHEET 2 OF 6

MATCHLINE STA. 54+00  
SEE SHEET 4 OF 6



WILLOW ROAD

|           |          |      |
|-----------|----------|------|
| PROFILE   | SURVEYED | DATE |
| NOTE BOOK | GRADES   |      |
| NO.       | BY       |      |
|           | CHECKED  |      |
|           | DATE     |      |
|           | NO.      |      |

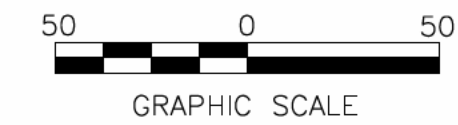


| REVISIONS             |          |
|-----------------------|----------|
| NAME                  | DATE     |
| SD2-Concept Submittal | 5/22/09  |
| SD2-Draft Submittal   | 2/25/10  |
| SD2-Final Submittal   | 10/08/10 |

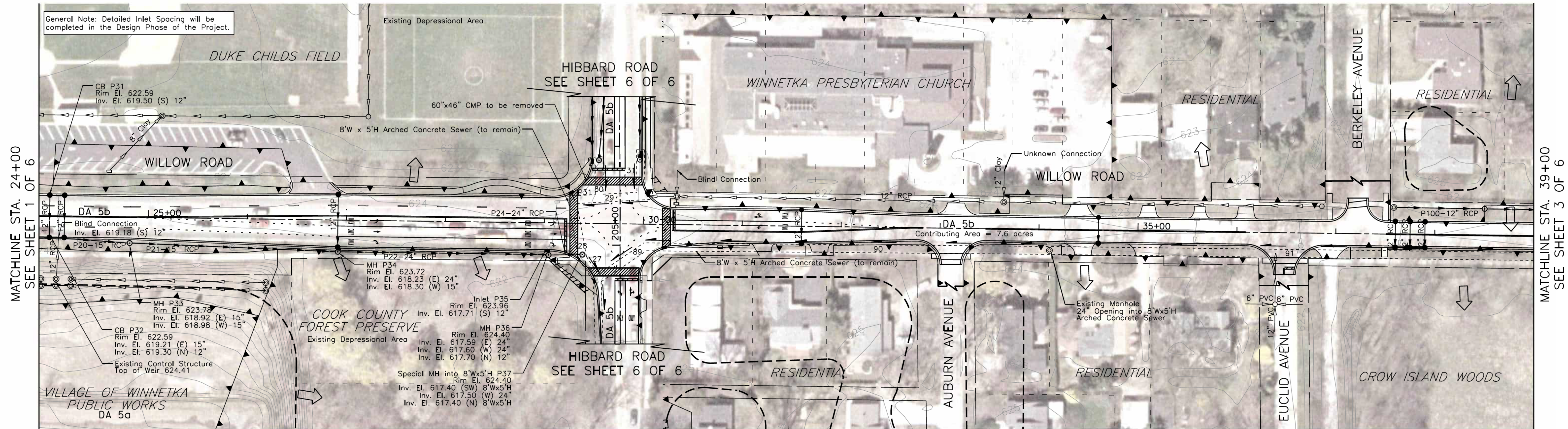
Village of Winnetka  
Willow Road Phase I Study  
West Village Limit to Provident Avenue  
**PROPOSED PLAN AND PROFILE**  
Sta. 39+00 to Sta. 54+00  
SCALE: HORIZ: 1" = 50'  
VERT: 1" = 5'  
DATE: 10/08/10  
DESIGNED BY: SAT  
DRAWN BY: OUT  
CHECKED BY: SDZ

PLOT DATE = #DATE#  
FILE NAME = J:\2009\CAD\Sheets\Prop\Prop03.dgn  
PLOT SCALE = #SCALE#  
REFERENCE = #REF#

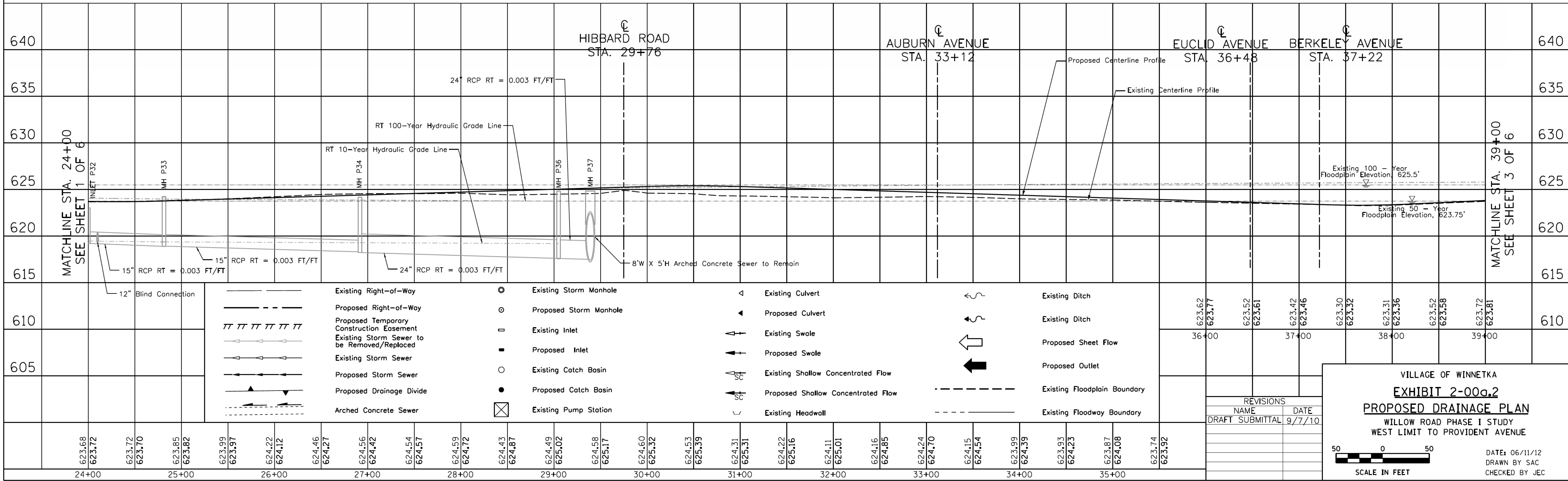
| F.A. RTE.           | SECTION        | COUNTY           | TOTAL SHEETS | SHEET NO. |
|---------------------|----------------|------------------|--------------|-----------|
| 3561                | 08-00103-00-FF | COOK             | 6            | 2         |
| STA. 24+00          |                | TO STA. 39+00    |              |           |
| FED. ROAD DIST. NO. | ILLINOIS       | FED. AID PROJECT |              |           |



| PLAN     | DATE |
|----------|------|
| SURVEYED |      |
| ALIGNED  |      |
| CHECKED  |      |
| BY       |      |
| NO.      |      |



| PROFILE  | DATE |
|----------|------|
| SURVEYED |      |
| GRADES   |      |
| CHECKED  |      |
| BY       |      |
| NO.      |      |



PLOT DATE = 4/28/11  
 FILE NAME = J:\2009\CAD\Drawings\Proposed Drainage Plan\PD2.dgn  
 PLOT SCALE = 1/8"=1'-0"  
 REFERENCE = SHEETS

| REVISIONS |        |
|-----------|--------|
| NAME      | DATE   |
| DRAFT     | 9/7/10 |

VILLAGE OF WINNETKA  
**EXHIBIT 2-00a.2**  
**PROPOSED DRAINAGE PLAN**  
 WILLOW ROAD PHASE I STUDY  
 WEST LIMIT TO PROVIDENT AVENUE

DATE: 06/11/12  
 DRAWN BY: SAC  
 CHECKED BY: JEC



Taken by: ZHH

Date Taken 7/21/2023



View: South

Address: 1112 Willow Road

Taken by: ZHH

Date Taken 7/21/2023



View: South

Address: 1112 Willow Road

Taken by: ZHH

Date Taken

7/21/2023



View: South

Address: 1112 Willow Road

Taken by: ZHH

Date Taken

7/21/2023



View: North

Address: 1129 Willow Road

Taken by: ZHH

Date Taken 7/21/2023



View: South

Address: 1216 Willow Road

Taken by: ZHH

Date Taken 7/21/2023



View: South

Address: 1140 Willow Road

## Environmental Survey Request Addendum

### A. Project Information

Bio  Cultural  Wetlands  Special Waste

|                     |  |                              |                              |                              |             |  |
|---------------------|--|------------------------------|------------------------------|------------------------------|-------------|--|
| Submittal Date:     | 07/26/2024                                   | Sequence No:                 | 14246                        | B                            |             |  |
| District:           | 1  | Requesting Agency:           | Local                        | Village of Winnetka          | Project No: |  |
| Contract #:         | N/A  | Job No.:                     | P-                           | 91-477-09                    |             |  |
| Counties:           | Cook   |                              |                              |                              |             |  |
| Route:              | FAU 3561                                     | Marked:                      |                              |                              |             |  |
| Street:             | Willow Road                                  | Section:                     | 08-00103-00-FP               |                              |             |  |
| Municipality(ies):  | Winnetka, Northfield, Forest Preserve Distri | Project Length:              | 1.4001 km                    | 0.87 miles                   |             |  |
| FromTo (At):        | Forestway Drive to Provident Avenue          |                              |                              |                              |             |  |
| Quadrangle:         | Park Ridge and Evanston                      | Township-Range-Section:      | T42N-R13E-S19, T42N-R13E-S20 |                              |             |  |
| Survey Target Date: | 02/09/2025                                   | Anticipated Design Approval: | 02/09/2025                   | Anticipated NEPA Processing: | CE          |  |

### B. Reason for Submittal: (Check all that apply) ; includes SW Level 1 Screening Criteria

Survey Types: B = Biological; C = Cultural; SW = Special Waste

- B,C,SW  Involves Acquisition of additional ROW or temporary or permanent easements. Addendum:  acres  
Total Project:  acres
- SW  On a state-maintained route, crosses or involves RR ROW (except a single rail rural ROW with no maintenance facilities).
- B,C  Requires In-Stream work (e.g., drainage structure runaround). Stream Name:
- C  Potential to affect a historic district or historic property.
- C  Involves replacement or rehabilitation of a bridge/culvert 40 years old or older.
- SW  Involves acquisition of, excavation (defined in BDE Manual 27-3.01) on, or subsurface utility relocation on State ROW.
- Other:

### C. Addendum Description:

D. Tree Removal?:  Number?:  ha/  acres  Within Mahomet SSA Project Review Area

Wetland delineation performed by:  End. Species Consultation performed by:

|                    |                           |                       |                        |
|--------------------|---------------------------|-----------------------|------------------------|
| E. Contact Person: | Gerardo Fierro            | Local Contact Person: | Marc Grigas            |
| Telephone #:       | (847) 705-4236 ext. 54236 | Telephone #:          | (815) 744-4200 ext.    |
| Env.Contact:       |                           | E-Mail:               | marc.grigas@strand.com |
| Telephone #:       |                           | Title/Company:        | Project Manager        |

- F.  Update Entire Project  
 Addendum Only

Closed  PSI/RMP Only  ESR Rec'd in CO   SW Rec'd

**Special Waste**

Special Waste Submittal Date:  Anticipated Design Approval:  Cleared for Design Approval:   
Cleared for Letting:  Survey Target Date:

**Step 1: Level 1 Screening Criteria - District Sign-Off [27-3.02(a)]\***

- 1. Acquisition of additional right-of-way or easements (temporary or permanent)
- 2. Railroad ROW (other than single rail rural ROW with no maintenance facilities)
- 3. Excavation or subsurface utility relocation

*\* For a Local Roads project, Level 1 and Level 2 screening criteria apply to the state route/state jurisdiction portion of the project. For the non-state route portion of the project, the Local Roads Manual/procedures should be followed. If all responses are No, then the SWC may Sign-Off the project. Projects answering "Yes" or "Don't Know" to #2 above are not eligible for District Sign-Off and must go through the PESA process. If any response is "Yes" or "Don't Know", continue to Step 2: Level 2 Screening Criteria.*

District Sign-Off of Special Waste - Level 1:   Validation - Level 1  
Conducted By:  Revised Level 1 Sign-Off Date:   
Position:   
Telephone #:  Ext.:

*Note: This Level 1 District Sign-Off is valid for a maximum of 6 months, after which it must be validated; enter a "Revised Level 1 Sign-Off Date" in the box to the right above and click the "Validation - Level 1" box.*

Level 1 Screening Comments:

**Step 2: Level 2 Screening Criteria - District Sign-Off [27-3.02(b)]**

If for any reason, the presence of any environmental condition cannot be determined from the site reconnaissance or from database searches, please check this box, add an explanation below, and submit for PESA.

**2.A. Does the project involve any of the following environmental conditions within the corresponding minimum search distance?**

| <u>Environmental Condition</u>  | <u>Minimum Search Distance</u>                           | <u>Database Search</u>           | <u>Site Reconnaissance</u>       |
|---|--|----------------------------------|----------------------------------|
| Industrial and/or commercial property                                   | 0.25 miles   |                                  | <input type="text" value="Yes"/> |
| Other Environmental Conditions*<br><i>(Please detail below 1)</i>       | Property & adjoining property                            |                                  | <input type="text" value="No"/>  |
| Crosses or otherwise involves RR ROW.<br><i>(Please detail below 2)</i> | Property & adjoining property                            |                                  | <input type="text"/>             |
| State UST   | Property & adjoining property                            | <input type="text" value="Yes"/> |                                  |
| State LUST  | 0.5 miles  | <input type="text" value="Yes"/> |                                  |
| State Voluntary Cleanup, Brownfield, or landfills                       | 0.5 miles  | <input type="text" value="No"/>  |                                  |
| Federal NPL; NPL delisted; SEMS; SEMS NFRAP                             | 1.0 miles; 0.5 miles; 0.5 miles; 0.5 miles, respectively | <input type="text" value="No"/>  |                                  |
| Federal RCRA CORRACTS facilities; RCRA non-CORRACTS TSD facilities      | 1.0 miles; 0.5 miles, respectively                       | <input type="text" value="No"/>  |                                  |
| Federal RCRA generators list  | Property & adjoining property                            | <input type="text" value="No"/>  |                                  |
| Federal Brownfield sites  | 0.5 miles  | <input type="text" value="No"/>  |                                  |
| Federal ERNS System   | Property   | <input type="text" value="No"/>  |                                  |

1. *Other Environmental Conditions are identified through site reconnaissance and include current and historic situations that may negatively affect the property including the presence of, for example, illegal dumping, unknown containers, waste associated with "crack" or methamphetamine houses (i.e., discarded hazardous material on the outside of a property), battery piles, paint spills, abandoned transformers, surface staining, vegetative damage, etc. Historic land uses that include any of these activities also qualify.*

2. *Crosses or otherwise involves railroad ROW, other than a single rail rural ROW with no maintenance facilities.*

\* Describe Findings/Other Environmental Conditions:

2.B. Were photographs taken of the site and/or surrounding area?

In an effort to identify any property or condition that may negatively affect the project site or potential historical, industrial and/or commercial use, the following sources of information can be helpful while screening the project.

2.C. Place a check next to each reference that is reviewed. (Optional)

|   |  |  |                                       |  |
|---|--|--|---------------------------------------|--|
| <input checked="" type="checkbox"/> Google - type aerial maps | <input type="checkbox"/> Extranet data   | <input type="checkbox"/> Historic Aerial Photos      | <input type="checkbox"/> Survey Books | <input checked="" type="checkbox"/> Other Files & Photos |
| <input type="checkbox"/> City Directories                     | <input type="checkbox"/> County Assessor | <input type="checkbox"/> Sanborn Fire Insurance Maps | <input type="checkbox"/> Plat Books   |  |

Other source (describe):

If any historical reference indicates the possible presence of a property or condition that may negatively affect the project site, then a PESA is required.

If all responses for database search and site reconnaissance are "No", then the District Special Waste Coordinator may sign-off the project. Ensure the special waste box in section A is checked. The level 2 District Sign-off is valid for a maximum of six months. If any response for database search and site reconnaissance is "Yes", or if a database search or site reconnaissance is not performed or is inconclusive, then a PESA is required. See BDE Manual 27-3 for additional instructions.

|   |   |
|---|---|
| <input type="checkbox"/> District Sign-Off of Special Waste - Level 2: <input type="text"/> | <input type="checkbox"/> Validation - Level 2       |
| Prepared by (name): <input type="text" value="Raymond Pu"/>                                 | Revised Level 2 Sign-Off Date: <input type="text"/> |
| Organization/firm: <input type="text" value="Strand Associates, Inc."/>                     | Cleared for Design Approval: <input type="text"/>   |
| Position/title: <input type="text"/>  |   |
| Telephone #: <input type="text" value="(815) 744-4200 ext."/>                               | Ext #: <input type="text"/>                         |
| Email: <input type="text" value="raymond.pu@strand.com"/>                                   |   |

Note: This Level 2 District Sign-Off is valid for a maximum of 6 months. After that date, the District Sign-Off must be validated and a Revised Sign-Off Date entered in the box to the right above.

After this Level 1 or Level 2 District Sign-Off has been completed:

1. Email a screen shot or Adobe.pdf of the form to the Central Office, BDE, Environment Section, Geologic & Waste Assessment Unit for Processing.
2. Complete the Cleared for Design Approval step by clicking on the Dist/CBLRS tab and adding the date to the special waste cell.
3. Complete the Cleared for Letting step in a similar fashion.
4. Add explanatory note in the Addtl. Info tab.

For questions about this form, see the submittal instructions, contact the District Special Waste Coordinator or contact the BDE Geologic & Waste Assessment Unit.

Sequence No: 14246 B

|                   |   |                 |                 |
|-------------------|---|-----------------|-----------------|
| <b>Memo Date:</b> | 08/09/2024  | <b>Memo By:</b> | Jolene Stephens |
| <b>Memo:</b>      | PESA for State ROW. Desired target date: 02/09/2025 |                 |                 |