



Village of Winnetka

Zoning Board of Appeals Regular Meeting

May 12, 2025 at 7:00 PM
Village Hall Council Chambers
510 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Approval of Minutes**
 - a. April 14, 2025, Regular Meeting Minutes
3. **Community Development Report**
4. **Continued Cases**
 - a. **Case No. 25-01-V2: 314 Walnut Street:** An application seeking approval of zoning variations to allow construction of a new detached garage and a two-story addition to the existing residence at 314 Walnut Street. The requested variations would permit the proposed improvements to (i) exceed the maximum permitted front yard lot coverage; (ii) exceed the maximum permitted gross floor area; (iii) provide less than the minimum required front yard setback from the west property line along Wilson Street to the proposed detached garage; (iv) provide less than the minimum required corner yard setback from the north property line along Orchard Lane to the proposed addition to the existing residence. The Village Council has final jurisdiction on this request. *This item was continued from the February 10, 2025, Zoning Board of Appeals meeting. The Applicant has withdrawn this application. The Zoning Board of Appeals will not be taking action on this application.*
5. **New Cases**
 - a. **Case No. 25-03-SU: Hubbard Woods Metra Train Station (1065 Gage Street):** An application seeking approval of a Special Use Permit to allow renovation of the existing train depot and train platform and construction of a new pedestrian bridge, new accessible ramps, new stairs and elevators to the train platform, and new warming shelters. The Village Council has final jurisdiction on this request.
 - b. **Case No. 25-04-SD: 557 Orchard Lane and 561 Orchard Lane:** Applications seeking approval of a Final Plat of Subdivision to consolidate the two existing lots into a single lot of record. As part of the Final Plat approval, the application includes a request of approval of a zoning variation to permit the existing residence at 561 Orchard Lane to observe less than the minimum required side yard setback from the west property line, which is due to an increase in the minimum required side yard setback as a result of the proposed increase in total lot area and increase in average lot width. The Village Council has final jurisdiction on this request.
6. **New Business**

a. June 9, 2025, Regular Meeting - Quorum Check

7. Public Comments

8. Adjournment

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**WINNETKA ZONING BOARD OF APPEALS MEETING MINUTES
APRIL 14, 2025**

Zoning Board Members Present: Matt Bradley, Chairman
Mark Haller
Lynn Hanley
Kathryn Leister
Kate Casale MacNally
Mike Nielsen

Zoning Board Members Absent: Todd Vender

Village Staff: Scott Mangum, Director of Community Development
Ann Klaassen, Assistant Director of Community Development

Call to Order & Roll Call:

Chairman Bradley called the meeting to order at 7:01 p.m. Roll call was taken of the Board Members present.

Approval of Meeting Minutes.

Chairman Bradley asked for a motion to approve the November 18, 2024, special meeting and February 10, 2025, regular meeting minutes. A motion to approve the November 18, 2024, special meeting and February 10, 2025, regular meeting minutes was made by Ms. Casale MacNally and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 6 to 0:

AYES: Bradley, Haller, Hanley, Leister, Casale MacNally, Nielsen
NAYS: None

Community Development Report.

Ms. Klaassen confirmed there is no Community Development Report.

Continued Cases:

a. Case No. 25-01-V2: 314 Walnut Street: An application seeking approval of zoning variations to allow construction of a new detached garage and a two-story addition to the existing residence at 314 Walnut Street. The requested variations would permit the proposed improvements to (i) exceed the maximum permitted front yard lot coverage along Wilson Street; (ii) exceed the maximum permitted gross floor area; (iii) provide less than the minimum required front yard setback from the west property line along Wilson Street to the proposed detached garage; and (iv) provide less than the minimum required corner yard setback from the north property line along Orchard Lane to the proposed addition to the existing residence. The Village Council has final jurisdiction on this request. This item was continued from the February 10, 2025, Zoning Board of Appeals meeting. The Applicant is requesting this item be continued to the May 12, 2025, Zoning Board of Appeals meeting.

Chairman Bradley identified the previous application continuations requested by the applicant and the current request to continue the matter to the May 12, 2025, meeting. He then asked for a motion to continue the application to the May 12, 2025, meeting. A motion as stated by Chairman Bradley was made by Ms. Casale MacNally and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 6 to 0:

AYES: Bradley, Haller, Hanley, Leister, Casale MacNally, Nielsen

1 NAYS: None

2

3 **New Cases:**

4 a. **Case No. 24-14-SU: Grace Presbyterian Church of the North Shore (440 Ridge Avenue and 760**
5 **Cherry Street): Applications seeking approval of (i) an amendment to an existing Special Use Permit to**
6 **allow construction of additions to the existing church and site improvements on the proposed**
7 **consolidated lot; and (ii) zoning variations to (a) exceed the maximum permitted roofed lot coverage;**
8 **(b) exceed the maximum permitted gross floor area; (c) provide less than the minimum required front**
9 **yard setback from the east property line along Ridge Avenue; and (d) provide less than the minimum**
10 **required corner yard setback from the north property line along Cherry Street. The Village Council has**
11 **final jurisdiction on this request.**

12 Ms. Klaassen identified the property’s location and the recently purchased adjacent lot where the existing
13 improvements would be demolished and both lots consolidated to accommodate the proposed church
14 improvements. She also identified the zoning classification and permitted special uses in the district as
15 well as property photos and various elevations of the existing church. Ms. Klaassen explained the
16 reasoning for the proposed south and north additions noting no additional church programming is
17 proposed. She also explained the reconfigured parking lot and the parking lot eliminated on the west side
18 of the church. Ms. Klaassen informed the Board the parking and traffic study was reviewed by the Village
19 Engineer with the conclusion that there is sufficient parking and there would not be an adverse impact on
20 the neighborhood.

21

22 Ms. Klaassen then described the proposed interior spaces of the south and north additions in detail as
23 well as the proposed landscape screening. She also stated with regard to storm water, preliminary
24 engineering plans have been reviewed by the Village Engineer and due to the impermeable surface
25 reduction, onsite stormwater detention is not required. Ms. Klaassen stated the Village Engineer
26 concluded that all permitting requirements can be met when final engineering plans are submitted with
27 a building permit application and noted the Village’s stormwater standards must be adhered to. She then
28 identified the proposed east and north elevations of the church as well as aerial views of the proposed
29 improvements.

30

31 Ms. Klaassen summarized the four variations being requested as well as the existing nonconformities. She
32 also summarized the Historic Preservation Commission’s, DRB’s and the Plan Commission’s review of the
33 proposed plan. Ms. Klaassen then stated following the applicant’s presentation, public comment and
34 Board discussion, the Board may either continue the matter to a date certain or recommend approval or
35 denial of the request with draft language included on page nos. 31 and 32. She noted additional public
36 correspondence was received and provided to the Board, she then asked if there were any questions.

37

38 Chairman Bradley also asked if there were any questions. Ms. Casale MacNally referred to the one story
39 portion of the south addition and asked for clarification of its measurements and whether it would impact
40 roofed lot coverage and GFA. Ms. Klaassen confirmed that is correct and provided additional information
41 for the Board. No additional questions were raised at this time.

42

43 Chairman Bradley swore in those speaking to this matter. Matt Dower, Grace Presbyterian Church’s
44 Building Committee Chairman, introduced the applicant’s team, Marshall Brown, Grace Presbyterian
45 Church Senior Pastor, attorney Karl Camillucci, Joe Buehler, the architect and several advisors from
46 Ericksson Engineering. He referred to an additional signed letter of support they received.

47

1 Marshall Brown outlined the church's mission and the goal behind the project to increase accessibility and
2 provide better security and functionality. He referred to illustrations and described the difficulty of
3 navigating the amount of stairs in the multi-level building and the lack of ADA accessibility. Mr. Brown
4 also described the difficulties in terms of how the existing multipurpose space is being used as well as
5 security challenges. He referred to the neighborhood engagement in the process and how the project was
6 improved with their input. Mr. Brown referred to the security issues, accessibility, safety, experience and
7 functionality which are difficult to accomplish in the 100 year old building. He concluded by stating they
8 are attempting to update a beautiful, old building and to care for people's needs in a way that fits and
9 honors their neighbors, the community and the Village.

10
11 Mr. Dower summarized the building's history and stated the neighboring property was purchased in
12 connection with the project and renovation. He referred to an aerial view of both properties, irregular
13 property shape and easements they had to consider with regard to the renovation project. Mr. Dower
14 provided an illustration of the project timeline and summarized the project's design evolution as well as
15 the concessions and compromises reached.

16
17 Joe Buehler of Present Future Architects referred to the west hall of the existing building in an illustration
18 which he described as a solution in terms of how they arrived at the current proposal. He then described
19 how the area was modified and how the interior spaces would function. Mr. Buehler referred to various
20 elevations and the proposed one and two story addition volumes as well as the proposed landscape plan
21 and screening on the site.

22
23 Laura Rosenbauer of Erickson Engineering referred to illustrations of existing drainage patterns in the
24 area which she explained to the Board. She described how the proposed design included re-grading the
25 site and how the plan would direct existing drainage offsite and explained how the asphalt parking lot
26 would be reconstructed with permeable pavers to improve onsite drainage. Ms. Rosenbauer stated the
27 improvements would result in a reduction in the amount of impervious surface.

28
29 Mr. Dower referred to the findings reached in the parking and traffic analysis in that there would not be
30 an adverse impact on the neighborhood and that there is sufficient parking to accommodate church
31 demand. He then stated with regard to the requested variations, he referred to the neighborhood use
32 plan map from the 2040 Comprehensive Plan and stated the church is in line with several surrounding
33 legal nonconforming neighbors. Mr. Dower noted the amount of impervious surface would be reduced
34 which eliminated the nonconformity. He then described the minimum setback variation to the north
35 which was driven by neighbor comments. Mr. Dower concluded that the unique hardship related to all of
36 the changes included in the restoration of the historic building.

37
38 Karl Camillucci, Taft Stettinius & Hollister, explained in detail how the variation standards were addressed
39 by the applicant. He also summarized the applicant's response to the special use standards. Mr. Camillucci
40 then asked the Board recommend approval of the special use and the variations requested.

41
42 Chairman Bradley asked for public comment.

43
44 Joe Schelly, 720 Pine Street, stated he is a church member and that the North Shore church is growing and
45 described two issues which are insufficient including programming space and accessibility issues. He
46 referred to the various concerns and issues and concluded the final version is much better than the
47 previous submission.

1 Terry Dason, 134 Green Bay Road, a church member and Director of the Winnetka Northfield Glencoe
2 Chamber of Commerce, stated she supported the expansion and renovation. She stated the church made
3 a concerted effort to address the neighbors' concerns and took significant steps in response. Ms. Dason
4 stated the proposed improvements would enhance safety and accessibility concerns and urged the Board
5 to move toward recommending approval and allowing the much needed project to proceed.
6

7 Tom Shannon, a church member, stated they realized when the church purchased the existing church
8 building it would need some work. He described the proposed plan as great and referred to the
9 compromises and concessions made with many neighbors being in support of the plan. Mr. Shannon asked
10 for the Board to recommend approval of the request without any additional continuances.
11

12 Missy Shinall, 510 Elder Lane, a church member, Sunday school teacher and children's director, described
13 the close knit community. She also commented on the safety issues she discussed with the police
14 department along with the challenges the building posed. Ms. Shinall, asked the Board to consider the
15 ADA, safety and security challenges to allow the church to be a safe place for many families.
16

17 Alek Glenman, a historic and landmarks volunteer, commented while he is glad to see the continuing
18 viable use of an historic structure, he had concerns with regard to the proposal. He identified parking and
19 traffic as a slight issue due the amount of overflow parking required. Mr. Glenman stated while the
20 applicant stated there would not be growth in the church, the larger space is being built for the future use
21 and asked for the traffic issue to be tested. He stated with regard to public comment, the neighbors to
22 the north are also affected and suggested vertical use on the site, lower the parking elevation and to
23 recover the space without bumping out to the north which would eliminate the need for a variation and
24 minimize the effect on properties to the north.
25

26 Chris Crooks, 422 Ridge, spoke on behalf of several neighbors and stated he has provided comment at all
27 of the meetings with the biggest issue on several specifically identified issues including scale and massing
28 although they did not object to ADA accessibility and security issues. He stated the GFA would be
29 increasing to 125% nonconforming and commented on the excessive proposed single story structure
30 height which would have an undue impact on the neighbors. Mr. Crooks stated they want to be able to
31 enjoy their homes and the request would create undue harm to the neighbors. He concluded while he
32 appreciated how far the proposal has come, it would still be unduly burdensome to the neighbors.
33

34 Connie Wright Sanders, 429 Linden, read comments from Steve Sanders into the record.
35

36 Judy Murphy, 426 Linden, agreed with Mrs. Sanders' and Mr. Crooks' comments. She stated while she
37 appreciated the changes made, her concern related to other items that would not be shared with the
38 neighbors down the road. She questioned additional items which have not yet been presented and asked
39 for the request to be denied.
40

41 Alexa Day, 751 Cherry Street, stated she had serious concerns with the current proposal and its effect on
42 the neighbors and asked for a continuance until plans are presented which limit the additions' impact to
43 the neighbors. She stated the north addition measured the same size as her home which would
44 compromise those on the north side of the property. Ms. Day also raised traffic concerns and her skeptical
45 belief of the traffic study conclusion that there would be no impact. She then stated while she agreed with
46 the safety and ADA concerns, she urged the church to consider options within the church's existing
47 footprint without the use of the proposed additions. No additional comments were made at this time.
48

1 Chairman Bradley closed public comment and asked the applicant to respond.

2

3 Mr. Dower stated with regard to the traffic study concerns, they are confident there is sufficient parking
4 and referred to the loss of sanctuary seats. He stated they would be improving the use for the
5 constituents, staff, community and volunteers with dedicated spaces. Mr. Dower clarified the height and
6 square footage of the south addition.

7

8 Chairman Bradley asked if there were any questions from the Board. Ms. Hanley asked for additional
9 information on the church's history and the number of Sunday services and the hours which Mr. Brown
10 provided to the Board. He then provided information on church activities during the week. Ms. Hanley
11 asked for additional information related to the south side addition rendering which was provided to the
12 Board. Mr. Brown also identified the trash enclosure/screening element.

13

14 Chairman Bradley referred to the gradient issues raised. Mr. Buehler explained the grade differential on
15 several areas on the site. Mr. Haller asked for information for any planned change in programming. Mr.
16 Brown stated they are constrained by the Sunday seating capacity and added there are no plans for a
17 daycare in the future. He confirmed they have no plans to sublet the space. Mr. Haller questioned if the
18 special use called for the applicant to come back for unapproved uses. Mr. Brown responded they do not
19 have any such plans and that the traffic study confirmed parking would serve the existing programming.

20

21 Mr. Camillucci stated the existing programming is the impetus for the proposal and that the church
22 doesn't have plans for new programming. He also referred to the traffic study being based on peak traffic
23 created during Sunday service. Mr. Brown described their parking agreement with the library and the
24 number of people who attend Sunday mass and on Easter.

25

26 Chairman Bradley asked for clarification with regard to the number of existing multiple purpose rooms
27 and their uses. Mr. Brown explained how the space is used, which included dedicated office space which
28 he identified in an illustration. Mr. Brown identified the number of staff members and further explained
29 the office, boardroom and classroom space.

30

31 Ms. Casale MacNally referred to the amount of space in the first floor addition and the contention that
32 there would be no further expansion of programming. She stated she is concerned with how the space is
33 used. Mr. Brown explained how the space is currently used and how it could be used going forward. Mr.
34 Buehler explained how the space is not logistically likely to be used for wedding space.

35

36 Chairman Bradley referred to the easements and the parking lot being turned into green space. Mr.
37 Buehler stated it was done in response to community conversations. Mr. Dower provided further
38 explanation for moving the congregation hall and creating that amount of green space. Mr. Brown
39 informed the Commission of the small number of weddings and funerals held at the church.

40

41 Ms. Casale MacNally asked how much the north neighbors were engaged in terms of the impact of the
42 addition on that side. Mr. Dower responded they spoke with the north neighbors and sent letters and
43 described the work they have done with those neighbors. Mr. Buehler referred to an illustration and
44 provided additional information in terms of the setback which would place the proposed addition further
45 back than the existing conditions. No additional questions were raised at this time.

46

47 Chairman Bradley then called the matter in for discussion and referred to the standards the Board is to
48 consider and their options. Ms. Hanley commented she was initially stunned by the mass and after

1 performing her own calculations in terms of the zoning requirements, she reiterated institutional uses
2 should be in a planned development where they are considered special uses in residential areas. She
3 stated the special use has been there for a long time and the Board has to consider whether the expansion
4 is legitimate. Ms. Hanley stated due to the fact that the current programming space is inadequate and
5 there are security issues, the special use is appropriate to provide for those needs. She commented the
6 new classroom sizes are not large for instance and for the multipurpose room, the church needed a
7 community gathering space. Ms. Hanley described the applicant's response to reduce the size as a good
8 effort in response to community comments and concluded she is in favor of the special use.
9

10 Ms. Hanley stated with regard to the variations, she started while the GFA figure is large, the request is
11 not unreasonable in the residential zoning district which was reduced by the applicant in response to the
12 neighbors' comments. She stated she had no problem with the parking lot, which is needed and for the
13 corner yard setback, it is significantly west of Ridge and pulled back from that of the former home. Ms.
14 Hanley concluded by stating she is fine with the variations with the caveat of the applicant limit the
15 intensity of use to their current programming.
16

17 Mr. Haller agreed with Ms. Hanley's comments and referred to the north bump out which he described
18 as invading but is in line with other homes to the west with a reduction in mass. He commented the
19 amount of office space is somewhat generous and while the church needed gathering space outside of
20 the sanctuary, it may not need to be 35 feet wide which impacted the south neighbor. Mr. Haller stated
21 his biggest issue related to intensity of use and referred to the parking study. He stated if programming is
22 expanded, it would affect the intensity of use as it related to the special use permit and agreed with
23 conditions upon expansion with regard to the special use permit to ensure that the church would not
24 become a very different institution that further impinged on the neighborhood to an excessive degree.
25 He concluded he would be in favor of the special use with conditions relating to expansion of programming
26 and intensity of use.
27

28 Mr. Nielsen agreed with the comments made and referred to the comments from the neighbors who are
29 not in favor of the request and after the applicant made concessions including removing the parking lot,
30 he referred to the Fire and Police Departments across the street not being the best neighbors to have. He
31 commented he liked how the project evolved and agreed with Ms. Hanley that the special use is
32 warranted. Mr. Nielsen concluded he would lean toward approval with conditions.
33

34 Ms. Leister stated she is leaning towards recommending approval for the special use, which is a unique
35 situation. She also commented she is glad the applicant is updating and preserving the historic building
36 while incorporating neighbor feedback and identified the compromises made. Ms. Leister stated the
37 neighbors' issues have been largely addressed and that the application was thorough including the parking
38 study and stormwater mitigation. She stated with regard to the variations, adding 1,800 square feet of
39 roofed lot coverage and 2,000 GFA increase is not that large and described the request as not excessive.
40 Ms. Leister also stated she is in favor of the setback to the north.
41

42 Ms. Casale MacNally stated she has no issue with the special use expansion which is warranted for safety
43 and ADA accessibility concerns but she had a problem with the zoning relief. She also stated she is less
44 concerned with regard to the corner yard setback and front yard setback compared to roofed lot coverage
45 and GFA. Ms. Casale MacNally stated she is more moved toward the neighbors' plight in that there is the
46 assumption that the church would exist in the same format it has for the last 100 years and referred to
47 the multipurpose room addition that would alter the character of the locality. She also stated there may
48 be additional fire safety concerns with the increased amount of square footage although other areas

1 would be brought up to code. Ms. Casale MacNally then stated there may be an effect on the taxable
2 value of surrounding properties with the church's increased square footage. She stated she is also
3 concerned with street congestion which would impair the safety, comfort, morals and welfare of the
4 Village. Ms. Casale MacNally then stated she did not put much stock in the parking study's conclusions
5 and noted alternatives for lower level expansion were not explored. She concluded while she did not have
6 a problem with the requested setback variations or special use permit, she had concerns relating to roofed
7 lot coverage and GFA.
8

9 Mr. Haller referred to Ms. Casale MacNally's concerns relating to changing the character of the locality
10 and the increased use potential that would impinge on the neighborhood and he also stated he was not
11 impressed with the traffic study conclusion which was based on the current use on one day.
12

13 Chairman Bradley stated the church has been in existence for years and the special use existed by right to
14 allow for schools and churches to exist in residential neighborhoods. He stated there has not been
15 testimony by the applicant that the use would change or increase. Chairman Bradley stated with regard
16 to the zoning variations, while he understood the neighbors' concerns, it is admirable that the applicant
17 worked to mitigate the size, density and the project overall. He encouraged the applicant to continue
18 conversations with the final decision with the Village Council. Chairman Bradley referred to GFA, roofed
19 lot coverage and the north addition corner yard setback, and stated the structure did not need to be 1,800
20 square feet which created a zoning issue. He referred to the original plan which included a parking lot
21 instead of green space and the parking agreement with the library. Chairman Bradley suggested the size
22 of the north addition be reduced noting its height is not an issue for the Board to consider. He concluded
23 he would be in favor of recommending approval without conditions.
24

25 Chairman Bradley then asked for a motion to recommend approval as included on page no. 18. A motion
26 as stated by Chairman Bradley was made by Ms. Hanley and seconded by Mr. Nielsen. A vote was taken
27 and the motion passed, 5 to 1:

28 AYES: Bradley, Haller, Hanley, Leister, Nielsen

29 NAYS: Casale MacNally
30

31 **New Business:**

- 32 a. May 12, 2025, Meeting - Quorum Check.

33 The Board Members discussed their availability.
34

35 **Public Comment:**

36 No comments were made at this time.
37

38 **Adjournment:**

39 Chairman Bradley asked for a motion to adjourn. A motion to adjourn was made by Ms. Hanley and
40 seconded by Ms. Casale MacNally. A vote was taken and the motion unanimously passed, 6 to 0:

41 AYES: Bradley, Haller, Hanley, Leister, Casale MacNally, Nielsen

42 NAYS: None

43 The meeting adjourned at 9:37 p.m.
44

45 Respectfully submitted,

46 Antionette Johnson

47 Recording Secretary
48



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: MAY 8, 2025
SUBJECT: HUBBARD WOODS METRA TRAIN STATION - 1065 GAGE STREET
SPECIAL USE PERMIT (CASE NO. 25-03-SU)

INTRODUCTION

On May 12, 2025, the Zoning Board of Appeals (ZBA) is scheduled to hold a public hearing on an application submitted by Metra (the “Applicant”), as lessee of the property located at 1065 Gage Street (the “Subject Property”), which is owned by the Union Pacific Railroad (the “Owner”). The Applicant is seeking approval of a **Special Use Permit** to allow renovation of the existing Hubbard Woods train depot and train platform and construction of a new pedestrian bridge, new accessible ramps, new stairs and elevators to the train platform, and new warming shelters on the Subject Property.

The Plan Commission is scheduled to consider the special use permit on May 22, 2025. The Applicant has also submitted an application for a **Certificate of Appropriateness** for the design of the proposed improvements. The Design Review Board (DRB) considered the certificate of appropriateness at its April 17, 2025, meeting and continued the item to its May 15 meeting. Details regarding the DRB’s consideration are provided later in this report.

A mail notice was sent to property owners within 250 feet of the Subject Property, in compliance with Zoning Ordinance, informing them of the public hearing before the ZBA. The hearing was also property noticed in the *Winnetka Talk* on April 24, 2025. Additionally, a public notice sign was posted on the Subject Property informing the public of the May 12 ZBA meeting. As of the date of this memo, staff has received one written comment from the public regarding this application. This comment is provided in **Attachment B**.

The Village Council has final jurisdiction on this request as only the Council has the authority to grant or amend a Special Use Permit.

PROPERTY DESCRIPTION

The Subject Property is generally located along the Union Pacific Railroad between Tower Road and Scott Avenue, is zoned R-5 and R-3 Single Family Residential and C-2 General Retail Commercial, and contains the Metra Hubbard Woods Train Station (Figures 1 and 2). The Comprehensive Plan designates the Subject Property as appropriate for “Transportation, Utilities, Communications” uses (Figure 3).

The Zoning Ordinance allows nonessential public uses in any zoning district within the Village by special use permit approval. A “nonessential public use” means a “*use affected with the public interest, regardless of ownership, except that the term nonessential public use shall not include essential public uses.*” For

reference, “essential public use” means the “use of any real property, building or other structure owned and operated by the Village for the purpose of providing an essential public service or for the purpose of providing communications for or between any development of the Village.”

The Applicant’s use of the Subject Property as a railroad and train station is generally consistent with the Comprehensive Plan land use designation and the zoning.

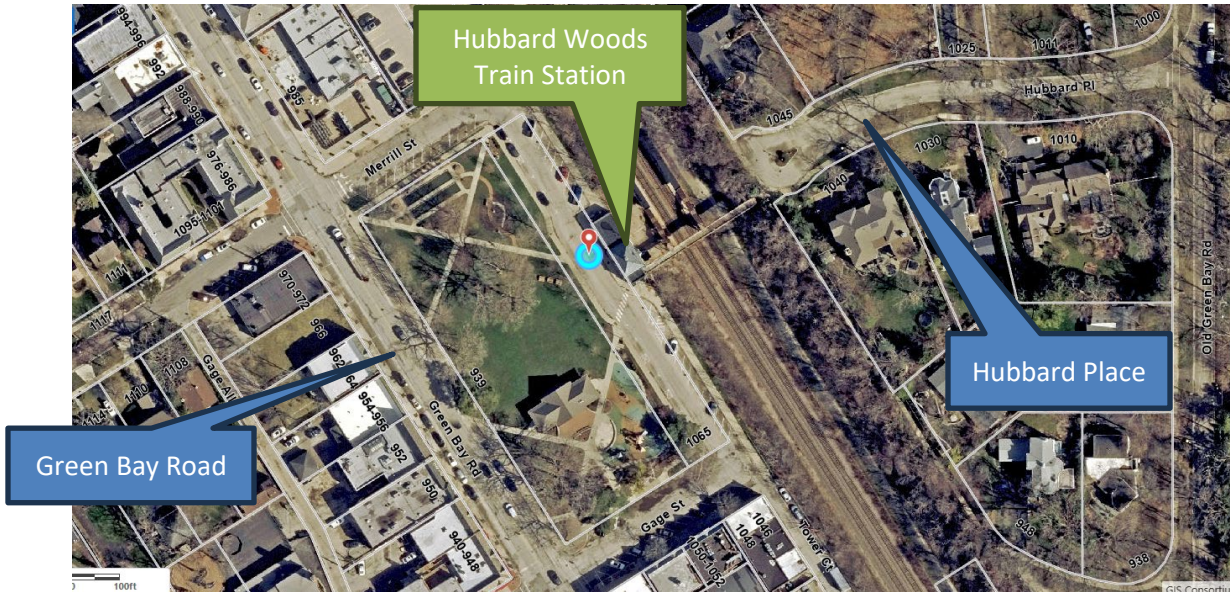


Figure 1 – Location Map

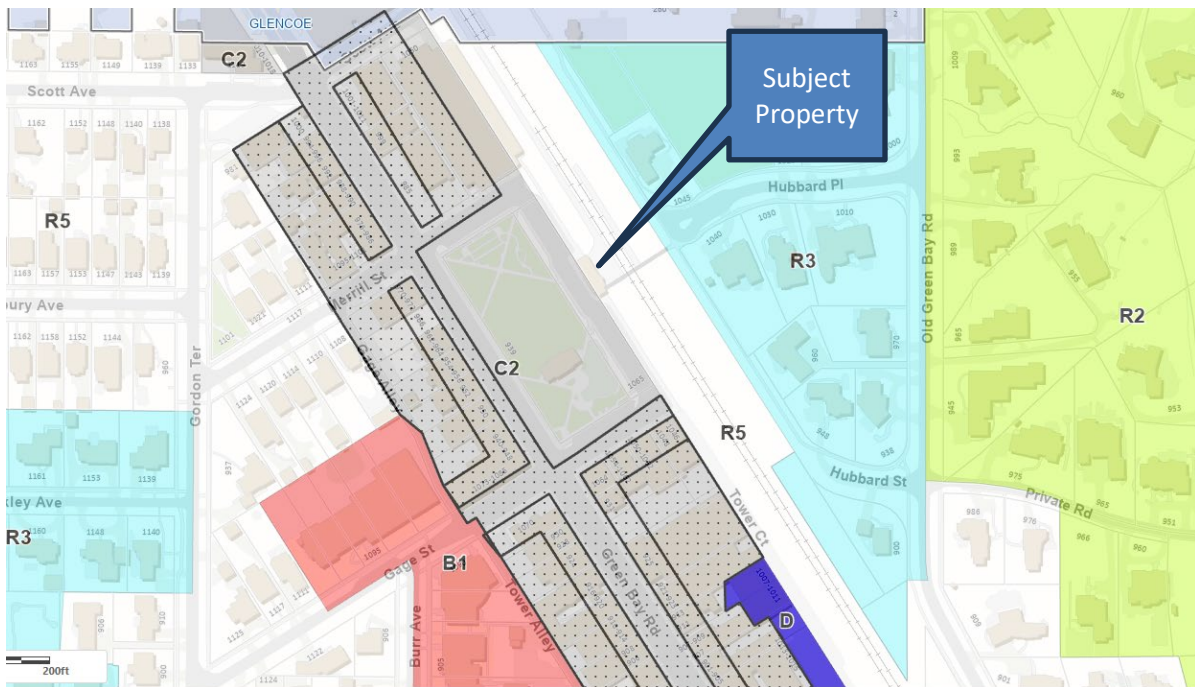


Figure 2 – Zoning Map

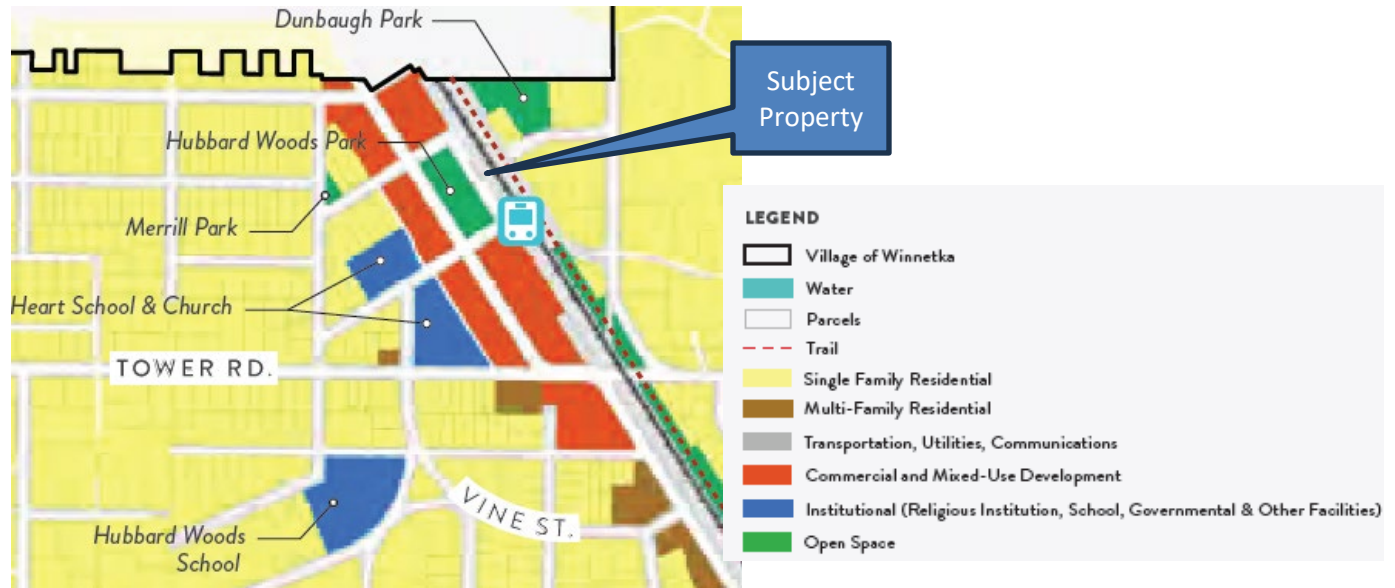


Figure 3 – Comprehensive Plan Land Use Map – Winnetka Futures 2040 Plan

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The original date of construction of the train station cannot be determined from Village records. However, according to the Applicant, the existing train station was constructed in 1943. There are no previous zoning cases for the Subject Property.

Figures 4 through 12 below and on the following pages are current photos of the train station building and external elements associated with Metra’s use of the Subject Property.



Figure 4 – Hubbard Woods Train Station – West & South Elevations



Figure 5 – Hubbard Woods Train Station – West & North Elevations



Figure 6 – Hubbard Woods Train Station – East Elevation



Figure 7 – Pedestrian Bridge, Stairs to Platforms & Windbreak Shelters



Figure 8 – Pedestrian Bridge Over Tracks



Figure 9 – East Windbreak Shelter



Figure 10 – West Windbreak Shelter



Figure 11 – Stairs from Hubbard Place to Pedestrian Bridge



Figure 12 - Stairs from Platform to Scott Avenue

PROPOSED PLAN

The Applicant is proposing renovation of the existing Hubbard Woods Train Station as well as the external elements. As noted by the Applicant in the narrative included in **Attachment A**, a priority of the project is to make the station compliant with the Americans with Disabilities Act (ADA), this includes interior spaces of the station building, entrances, and pathways to the platforms. External improvements include the following:

- Replacement of existing pedestrian bridge over the tracks;
- ADA ramps on both the east and west sides for access to the new pedestrian bridge;
- Addition of two (2) elevators;
- Replacement of staircases from the pedestrian bridge to train platform level;
- Replacement of platforms;
- Addition of track level warming shelters;
- Replacement of staircases from Scott Avenue to platform (within corporate limits of the Village of Glencoe);
- Landscape screening on west end of Hubbard Place to screen the pedestrian bridge and proposed ADA ramp.

The existing windbreak shelters would be removed, restored, and reinstalled. The proposed plan also calls for a slight relocation of the Green Bay Trail to the east in order to provide clearance around the proposed east elevator tower and the proposed warming shelters.

As described by the Applicant in the attached application materials, due to the ongoing review by the Owner of the proposed improvements, Metra and its design team have provided options for the pedestrian bridge railing. The original option (Option 1) was designed to match the Elm Street Metra station pedestrian bridge (Figure 13). However, the Owner's design guidelines have changed since the Elm Street pedestrian bridge was renovated. Therefore, two other options are being presented by the Applicant. Option 2 is similar in style to Option 1, but the railing would be 6 feet in height rather than 42 inches (Figure 14). Option 3 is the Owner's guideline standard, which consists of an arched chain-link fence over the railroad track area (Figure 15). The Applicant indicates that it will propose Option 2 and request a variance for this option from the Owner.



Figure 13 – Rendering of Pedestrian Bridge Railing – Option 1 (Elm Street Station)



Figure 14 - Rendering of Pedestrian Bridge Railing – Option 2 (Proposed by Applicant)



Figure 15 - Rendering of Pedestrian Bridge Railing - Option 3 (UPRR Standard)

An excerpt of the proposed site plan, site sections, and additional renderings of the proposed improvements are provided below and on the following pages as Figures 16 through 24. The complete submittal is included in the application materials provided in **Attachment A**.

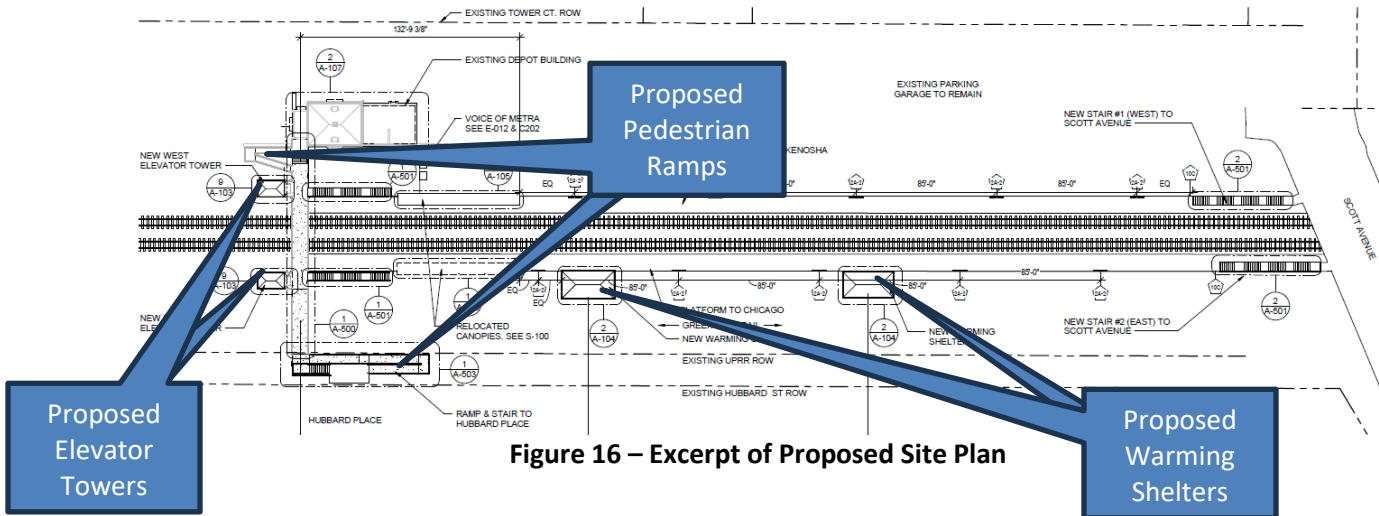


Figure 16 – Excerpt of Proposed Site Plan

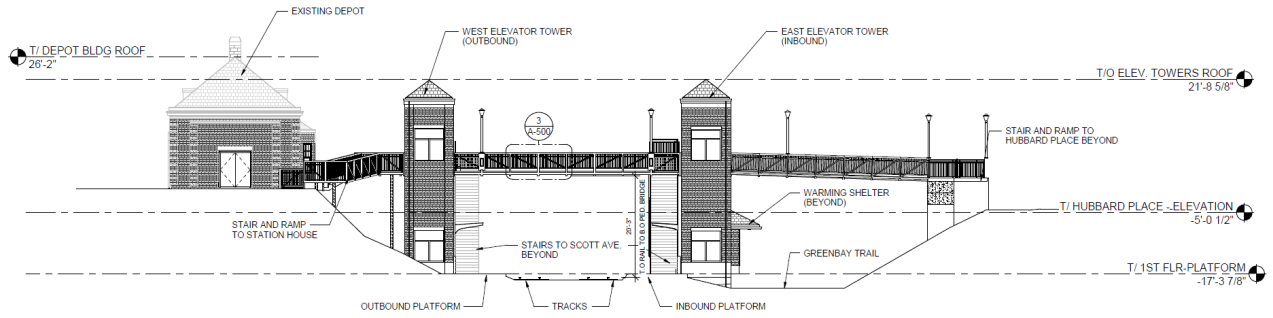


Figure 17 – Site Section (South Elevation)

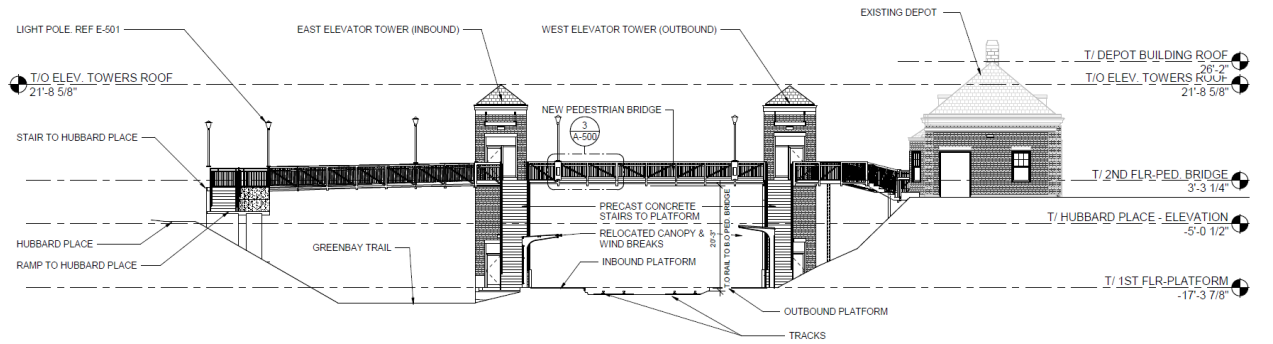


Figure 18 – Site Section (North Elevation)



Figure 19 – North Aerial Perspective



Figure 20 – Southeast Aerial Perspective



Figure 21 – Rendering - Green Bay Trail Looking North



Figure 22 – Rendering of North Façade



Figure 23 – Rendering of East Façade



Figure 24 – Rendering East Façade (Hubbard Place)

Exterior lighting. The proposed site improvements include installation of lights on the pedestrian bridge (Figure 25). The proposed lights are intended to match the existing lights on the Elm Street pedestrian bridge (Figure 26). (The renderings do not depict the proposed fixture.)

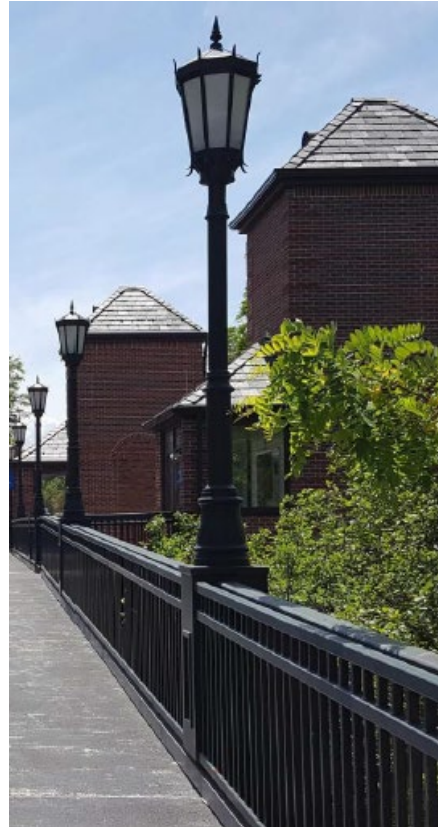
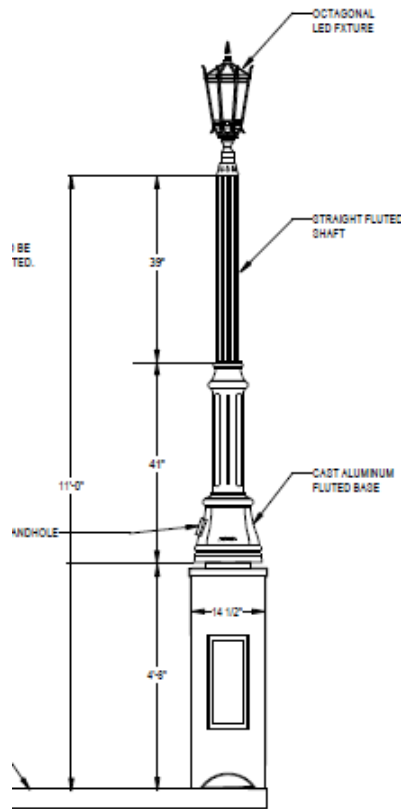


Figure 25 – Proposed Pedestrian Bridge Lights **Figure 26 – Photo of Light Fixtures at Elm Street Station**

Landscaping. Included in the application materials is a proposed landscape plan and plant schedule. The Applicant is proposing landscaping on the west end of Hubbard Place to screen the pedestrian bridge and proposed ADA ramp. Please refer to the tree and plant schedule for details.

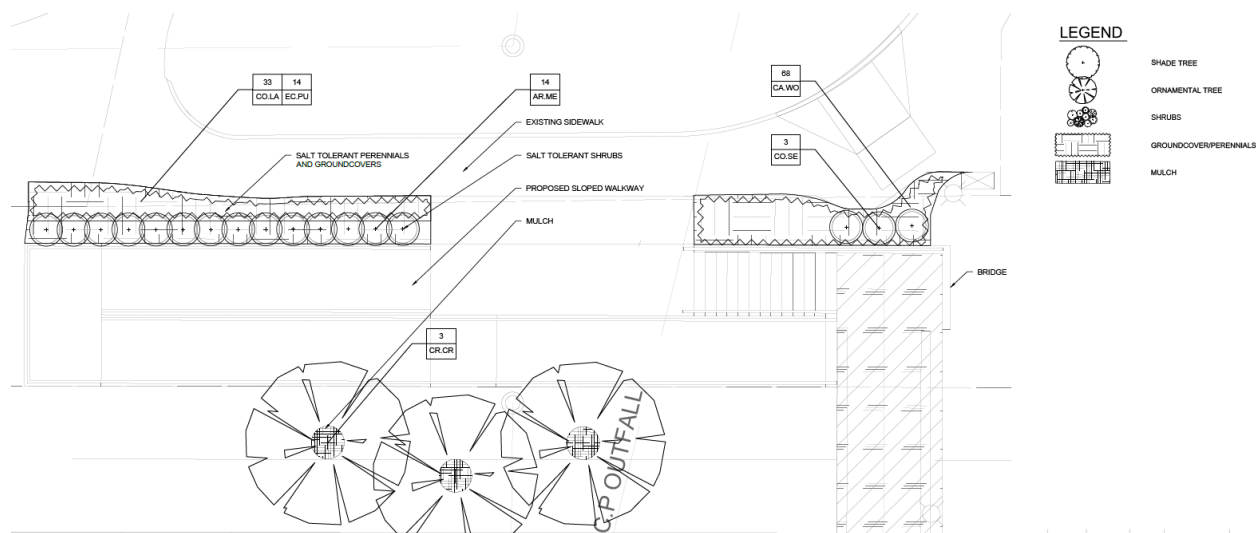


Figure 27 – Excerpt of Landscape Plan

CONSIDERATION BY OTHER ADVISORY BOARDS/COMMISSIONS

Design Review Board (DRB). The DRB considered a Certificate of Appropriateness for the proposed improvements on April 17, 2025. After hearing a presentation by staff and one by the Applicant, and receiving one written comment from the public (**Attachment B**), the DRB discussed the design of the proposed improvements. The DRB was complementary of Elm Street Station improvements and suggested the Applicant consider matching the details of the elevator towers and pedestrian railing at the Hubbard Woods Station. Ultimately, by a vote of 5-0, the DRB continued the item to its May 15 meeting while requesting that the Applicant consider revisions to: (i) add more detailing to the elevator towers; (ii) revise color of the railings; (iii) reduce the size of the east entrance signage at Hubbard Place to reflect the residential character of the area; and (iv) address concern of neighbor related to the volume of the audio messages coming from the speakers.

As noted earlier in this report, the Plan Commission is scheduled to consider the special use permit on May 22, 2025.

FINDINGS & RECOMMENDATION

The ZBA is charged with evaluating Special Uses for consistency with the six standards for granting special use permits. In the attached application materials submitted by the Applicant, the Applicant has provided a statement of justification regarding how the Special Use Permit meets the standards for granting special use permits. The Special Use Permit is the extent of the zoning relief being considered as the proposed improvements comply with the zoning regulations.

After hearing from the Applicant and the public, the Board may decide to take action on one or two options:

- 1) Continue the public hearing to a specific date to provide the Applicant and/or staff with additional time to address questions and comments from the Board or the public; or
- 2) Consider a motion recommending approval or denial of the Special Use. If the Board is prepared to make a recommendation to the Village Council regarding the requested relief, a Board member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of

- A. A **Special Use Permit** to allow renovation of the existing Hubbard Woods train depot and train platform and construction of a new pedestrian bridge, new accessible ramps, new stairs and elevators to the train platform, and new warming shelters on the Subject Property.

Based on evidence in the record, or a public document, and upon the following findings of fact:

1. The proposed improvements **are consistent [are not consistent]** with the Standards for the granting of Special Use Permits, as follows:
 - a. That the establishment, maintenance and operation of the special use will not be detrimental to or endanger the public health, safety, comfort, morals or general welfare;
 - b. That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity which are permitted by right in the

district or districts of concern, nor substantially diminish or impair property values in the immediate vicinity;

- c. That the establishment of the special use will not impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
- d. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
- e. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the special use exist or are to be provided; and
- f. That the special use in all other respects conforms to the applicable regulations of this and other Village ordinances and codes.

[If the Board chooses to place conditions as part of its recommendation of approval, it will want to include the conditions here.]

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Public Correspondence

Village of Winnetka – Special Use Permit Application
Application Materials

Renovation of Hubbard Woods Station

1065 Gage Street
Winnetka, IL 60626

Metra Project Number: 5194

Village of Winnetka Case No. 25-03-SU

Prepared for:
Metra
547 W. Jackson Blvd.
Chicago, IL 60093

Prepared by:
TYLin
200 S. Wacker Dr., Suite 1400
Chicago, IL 60606

Date: 3/31/2025



VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

SPECIAL USE PERMIT APPLICATION

Case No. 25-03-SU

Property Information

Site Address: 1065 Gage Street, Winnetka, IL

Applicant Information

Name: Metra

Primary Contact: Mark Delaney
Chief Capital Delivery Officer

Address: 547 W. Jackson Blvd.

City, State, ZIP: Chicago, IL 60601

Phone No. 312-322-6915

Email: mdelaney@METRARR.com

Architect Information

Name: TY Lin International

Primary Contact: Patricia Davidson, P.E.

Address: 200 S. Wacker Drive

City, State, ZIP: Chicago, IL 60606

Phone No. 312-777-2886

Email: patricia.davidson@tylin.com

Owner Information

Name: Union Pacific Railroad

Primary Contact: Dana Brummund

Address: 1400 Douglas Street

City, State, ZIP: Omaha, NE 68179

Phone No. 402-544-8644

Email: dlbrummund@up.com

Attorney Information

Name: Metra

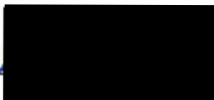
Primary Contact: Keith H. Pardonnet

Address: 547 W. Jackson Blvd.

City, State, Zip: Chicago, IL 60601

Phone No. 312-322-6779

Email: khpardonnet@MetraRR.com

Applicant Signature: 

Date: 2/27/25

Property Owner Signature: _____

Date: _____

Printed Name of Owner: Please refer to the attached official letter from Dana Brummund, Union Pacific RR
Dated January 29, 2025

January 29, 2025

David Schoon
Director
Village of Winnetka Community Development
510 Green Bay Rd.
Winnetka, IL 60093

Robert Bahan
Village Manager
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Subject: Special Use Permit Application (SUPA), Metra Hubbard Woods Station,
MP 17.66, Kenosha Sub, Winnetka, IL

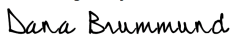
Mr. Schoon and Mr. Bahan,

Regarding the Winnetka Special Use Permit Application (SUPA), the Union Pacific Railroad Company (UPRR) received the Hubbard Woods Station 90% milestone improvement plans in July 2024 for review and is aware of the proposed improvements within the building and at the track level. UPRR subsequently received the SUPA for the Hubbard Woods Station project to sign as the owner. However, UPRR will not sign the application because UPRR does not control the project or maintain the station. The station is currently under lease by the Village of Winnetka; therefore, Winnetka, as lessee, may complete and sign the SUPA or choose to waive it. Either Metra or Winnetka will be the party performing any requirements and satisfying any conditions in any permit obtained for the project.

UPRR is aware of the project and consents to the proposed improvements.

Please contact our office with any questions.

Sincerely,

DocuSigned by:

85453D5C74EE4CE...
Dana Brummund

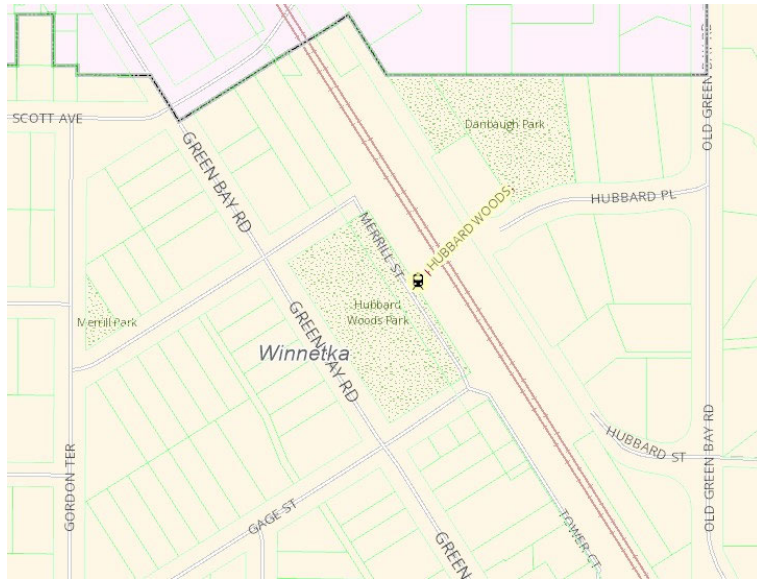
Union Pacific Railroad Company

Narrative - Description of Project

Existing Conditions

Location:

The Metra Hubbard Woods Station Building is located at 1065 Gage Street in Winnetka along the westerly side of the Union Pacific North Line (UP-N) tracks.



Cook County GIS Viewer – Metra Hubbard Woods Location Exhibit, August 2021

Station Building:



View of 1065 Gage Street, October 2019.

Constructed in 1943, this two-story, Georgian Revival train station is clad in light red brick with limestone ornamentation. The building is rectangular in plan with a hipped roof clad in slate shingles. As a utilitarian building, the station features limited architectural ornamentation and embellishments. The resource maintains its key character-defining features including the visual aspects and physical features which define the type of resource, architectural style, and sense of time and place. Character-defining elements include the

overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment. Architectural character-defining features at the exterior include the original four-over-one and six-over-one wood double-hung windows set within round arch brick openings, limestone

splayed lintels, a projecting bay window at the east façade, limestone entrance surround, rusticated limestone base at the platform level, limestone cornice, and brick quoins. Alterations to the exterior include the replacement of the asphalt roof shingles with slate, and masonry renovations in 1995.

On the interior, the building retains character-defining features including its original configuration, wood paneled doors, furniture, and the original blueish-grey terra cotta wall tile and black terra cotta wall base (pictured in the left and center photograph below).



Left and Center Photo: View of Waiting Room; Right Photo: View of the Ticket Office. All photographs taken in October 2019.

Station External Entities:

Exterior elements include a pedestrian bridge with stairs to access each platform. Historic windbreaks flank the platforms at the foot of these stairs. The platforms extend from the pedestrian bridge to the Scott Avenue bridge. The Green Bay Trail parallels the track along the east side, this multi-use trail facility spans several municipalities.



Pedestrian bridge stairs to track level, historic windbreaks, and Green Bay Trail, January 2017



Stairs from Hubbard Place to Pedestrian Bridge, Jan 2017



Stairs from Scott Street to Metra platform, January 2017

At the east end of the pedestrian bridge are stairs leading to the Hubbard Place sidewalk. Two additional staircases connect the platforms to Scott Avenue.

Renovations

A priority of the project is to make this station ADA-compliant, including interior spaces, entrances, and pathways to the platforms. The Hubbard Woods Station renovation project consists of renovation of the Hubbard Woods Station building and external elements.

External improvements include replacement of the existing pedestrian bridge over the tracks, which will include ADA ramps at both the east and west end for bridge access, the addition of two elevators and the replacement of two staircases from the pedestrian bridge to platform level, the replacement of platforms, the addition of track level warming shelters, and the replacement of two staircases from the north end of the platform to Scott Street. Landscape screening will be provided at the west end of Hubbard Place. Lighting of external spaces will be designed to be sensitive to nearby residents. The two existing windbreak shelters will be removed, restored, and reinstalled. The Green Bay Trail will be realigned slightly. The Gage Street pavement and sidewalk will be modified to provide ADA access to the building. The bulk of the renovations occur in Winnetka, however the two staircases to Scott Street are within the Glencoe village limits.

Within the building, the two toilet rooms will be modified to ADA accessible standards. The existing janitor closet will be relocated and enlarged. The existing freight elevator space will be included in a roughed in vendor space. Existing doors and windows will be repaired. The existing radiators will be removed, restored, and reinstalled. Mechanicals and plumbing will be upgraded as required. The existing terra cotta wall and wall base will be restored, replacing pieces as needed. Floor tile will be replaced. The ticket booth space will remain however it will not be staffed for ticket sales. The interior walls and ceilings will be painted. No work is proposed to the lower level.

The project required review by the State Historic Preservation Office (SHPO). Direction from SHPO included retaining the Ticket Office Space internal to the building, restoration of existing windows and doors, maintaining the terra cotta tiles though out the waiting room area, and retaining the two Windbreak Structures at track level. The proposed elevator facade was also modified to comply with the direction of SHPO.

The Green Bay Trail is a linear park facility approximately nine miles in length and it meanders parallel to the Union Pacific North Line (UP-N). The project impacts a portion of the Trail which is under the jurisdiction of the Village of Winnetka, the Winnetka Park District, and the Village of Glencoe. Approximately 435 feet of the Green Bay Trail is to be permanently relocated 10 feet east. There are two 190' tapers that the realigned trail tapers back to the existing alignment (total 380'). The realignment of the Green Bay Trail was proposed to provide a clear zone between the new warming shelters and the Trail. This realignment required a Section 4(f) study for approval of impacts. The construction operations will be staged to maintain the use of the Trail by constructing the realigned segment prior to closing the original Trail.

The Special Use Permit Standards are addressed as follows:

1. *That the establishment, maintenance, and operation of the special use will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare.*

The station requires maintenance and replacement of aging elements. The renovation of the existing Hubbard Woods Station will provide an improved facility for the public use, including providing a fully ADA accessible station.

2. *That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor substantially diminish or impair property values in the immediate vicinity.*

Landscape screening will be provided at the west end of Hubbard Place to screen the pedestrian bridge and ADA ramp. The façade of the east end of the pedestrian bridge and ADA ramp has been thoughtfully designed to coordinate (match) the brick and limestone elements of the station. The elevator towers will also have façade material in the language of the station building, including slate roof. Lighting of external entities (pedestrian bridge, associated ADA ramp, and platforms) will be designed to be sensitive to nearby residences and properties, photometric plots will be reviewed to verify limits of light encroachment on adjacent property.

3. *That the establishment of the special use will not impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern.*

This project focus is maintenance/renovation however including ADA Accessibility improvements. This project is unlikely to have any impact on development of adjacent properties in the immediate vicinity. The project was reviewed by SHPO for adverse impacts to and the finding was no adverse effects.

4. *That adequate measures have been or will be taken to provide ingress and egress in a manner which minimize pedestrian and vehicular traffic congestion in the public ways.*

The Station and Trail will remain open during construction. Construction staging will be developed to minimize inconvenience to the commuters using the Station and Green Bay Trail. Adjacent roadways and ingress/egress to private and public property will remain open for the duration of the construction operations from start to completion of the work. Construction Traffic routing will be discussed and coordinated with the Village of Winnetka to minimize impact to the public way. Village festivals or other significant events will be identified for construction scheduling.


5. *That adequate parking, utilities, access roads, drainage, and other facilities necessary to the operation of the special use exists or are to be provided.*

As this is a maintenance/renovation project, the existing parking, access roads, utilities, drainage, and other facilities will remain as is or be upgraded. The modification of existing facilities required will be staged to avoid gaps in service. Maintenance of traffic as necessary for improvements will be coordinated with the Village to minimize impact.

6. *That the special use in all other respects conforms to the applicable regulations of this and other village ordinances and codes.*

Plans and specifications will be designed to meet all current local, state and federal codes. Project documents will be provided to the Village of Winnetka for review. The project will be presented at all Village of Winnetka board meetings for review, comment and approval.

Village of Winnetka – Special Use Permit Application



Renovation of Hubbard Woods Station Plat of Survey



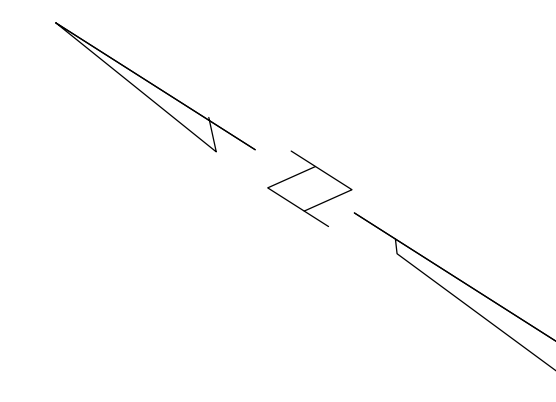
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DOC. NO. 90113647

ENRICO PLATTI'S SUB.
REC. MAY 11, 1989
DOC. NO. 89213427

LEGEND

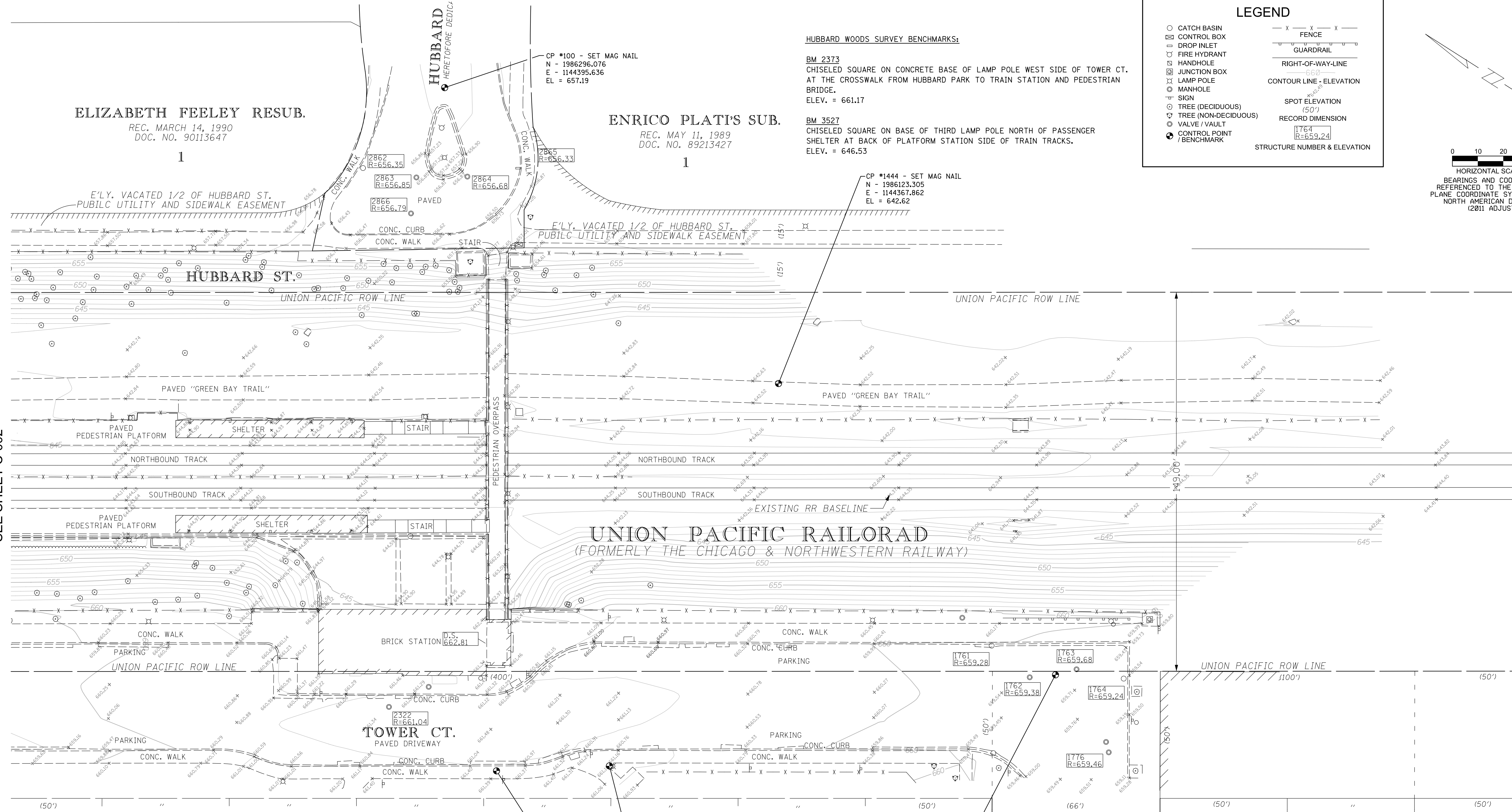
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- CONTROL BOX
- ▽ DROP INLET
- FIRE HYDRANT
- HANDHOLE
- JUNCTION BOX
- × LAMP POLE
- MANHOLE
- ⊕ SIGN
- TREE (DECIDUOUS)
- TREE (NON-DECIDUOUS)
- VALVE / VAULT
- ⊕ CONTROL POINT / BENCHMARK

- X — Y — X — FENCE
- — — — — GUARDRAIL
- — — — — RIGHT-OF-WAY-LINE
- — — — — CONTOUR LINE - ELEVATION
- ⊕ SPOT ELEVATION (50')
- ⊕ RECORD DIMENSION
- ⊕ STRUCTURE NUMBER & ELEVATION



0 10 20 30 40
HORIZONTAL SCALE IN FEET
BEARINGS AND COORDINATES ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT).

SEE SHEET C-002



STATE OF ILLINOIS)
COUNTY OF COOK) SS

I, COVENTINE FIDIS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN ABOVE, THAT THE PLAT DRAWN HEREON IS A TRUE REPRESENTATION OF SAID SURVEY, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEY.

THE FIELDWORK WAS COMPLETED ON AUGUST 12, 2024.

DATED THIS 14TH DAY OF AUGUST, 2024 AT CHICAGO, ILLINOIS.

BY: *C. F. Fidis*
COVENTINE FIDIS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2159
LICENSE EXPIRATION DATE 11/30/2024

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY

BLOCK 4
LAKESIDE JARED GAGES SUB.
REC. FEB. 8, 1872
DOC. NO. 12387

BLOCK 5
LAKESIDE JARED GAGES SUB.
REC. FEB. 8, 1872
DOC. NO. 12387

REV	DATE	BY	APP	DESCRIPTION
4	7/15/24	MB	CF	90% RESUBMITTAL
3	12/14/21	ES	CF	90% SUBMITTAL
2	8/6/21	ES	CF	60% SUBMITTAL
1	7/17/20	ES	CF	30% SUBMITTAL

SUB CONSULTANT
AMERICAN
SURVEYING & ENGINEERING, P.C.
200 N. LaSALLE ST., SUITE 2630
CHICAGO, ILLINOIS 60601
TEL: 312-277-2000
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-003192

PRIMARY CONSULTANT
TYLin
200 S. WACKER DR. SUITE 1400
CHICAGO, IL 60606
TEL: 312-777-2900

DESIGNED: E. SLADEK
DRAWN: M. BARAN
CHECKED: C. FIDIS
METRA P.M. R. BASIRIRAD
DATE: 07/15/2024

LOCATION NAME: HUBBARD WOODS STATION
TITLE: TOPOGRAPHIC SURVEY (SOUTH)

CAD FILE NUMBER: UPN17.7C001_90.dgn
SCALE: 1" = 20'
PROJECT NO. JP5194
MILE POST NO. UPN 17.70
DISTRICT: UPN
SHEET NO. C-001

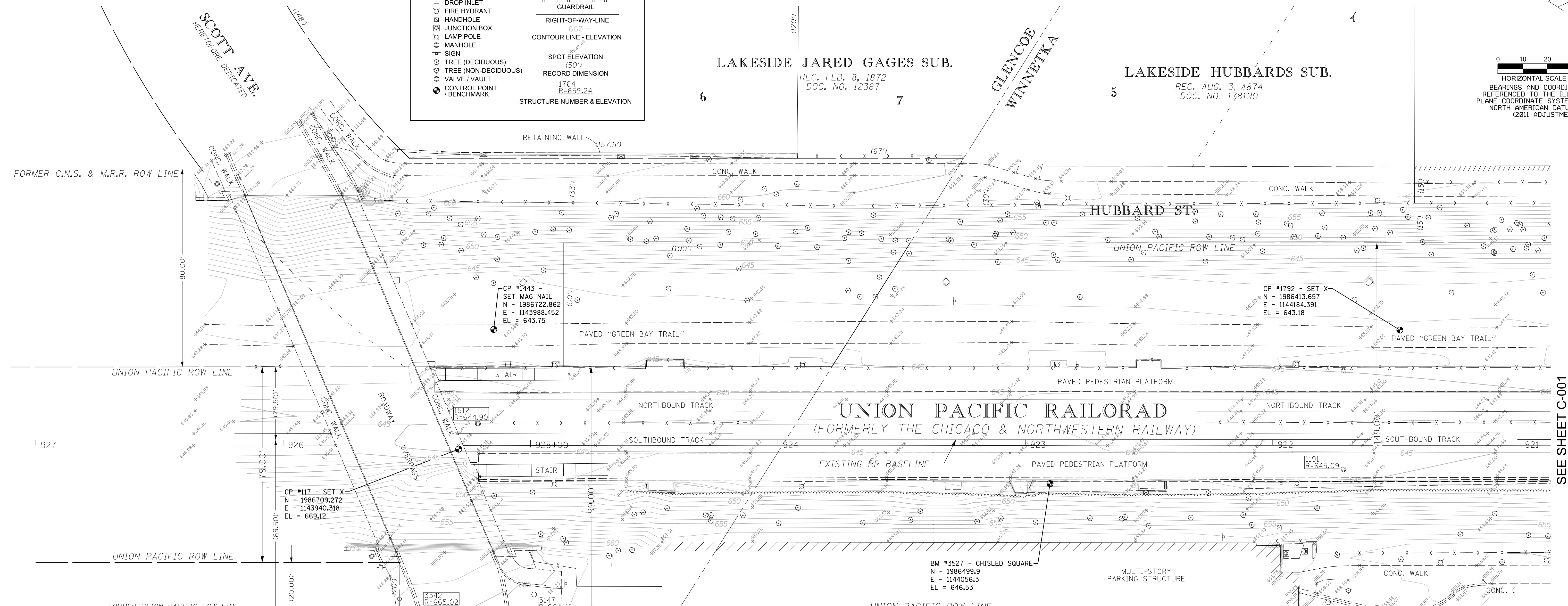
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LEGEND

- CATCH BASIN
- CONTROL BOX
- ▽ DROP INLET
- ⊕ FIRE HYDRANT
- ⊕ HANDHOLE
- ⊕ JUNCTION BOX
- ⊕ LAMP POLE
- ⊕ MANHOLE
- ⊕ SIGN
- ⊕ TREE (DECIDUOUS)
- ⊕ TREE (NON-DECIDUOUS)
- ⊕ VALVE / VAULT
- ⊕ CONTROL POINT / BENCHMARK
- FENCE
- GUARDRAIL
- RIGHT-OF-WAY-LINE
- CONTOUR LINE - ELEVATION
- SPOT ELEVATION (50')
- RECORD DIMENSION
- 1764 R=659.24
- STRUCTURE NUMBER & ELEVATION

HORIZONTAL SCALE IN FEET
0 10 20 30 40

BEARINGS AND COORDINATES ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT).



SEE SHEET C-001

7
GAGES SECOND ADDITION TO LAKESIDE
 REC. SEP. 19 1874
 DOC. NO. 191481

HUBBARD WOODS SURVEY BENCHMARKS:

BM 2373
 CHISELED SQUARE ON CONCRETE BASE OF LAMP POLE WEST SIDE OF TOWER CT. AT THE CROSSWALK FROM HUBBARD PARK TO TRAIN STATION AND PEDESTRIAN BRIDGE.
 ELEV. = 661.17

BM 3527
 CHISELED SQUARE ON BASE OF THIRD LAMP POLE NORTH OF PASSENGER SHELTER AT BACK OF PLATFORM STATION SIDE OF TRAIN TRACKS.
 ELEV. = 646.53

STATE OF ILLINOIS)
 COUNTY OF COOK)

BLOCK 1

I, COVENTINE FIDIS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN ABOVE, THAT THE PLAT DRAWN HEREON IS A TRUE REPRESENTATION OF SAID SURVEY, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEY.

THE FIELDWORK WAS COMPLETED ON AUGUST 12, 2024.
 DATED THIS 14TH DAY OF AUGUST, 2024 AT CHICAGO, ILLINOIS.

BY: *C.F.*
 COVENTINE FIDIS
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2159
 LICENSE EXPIRATION DATE 11/30/2024

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY

SCOTT AVE.
 HERETOFORE DEDICATED

MERRIL ST.
 HERETOFORE DEDICATED

REV	DATE	BY	APP	DESCRIPTION
4	7/15/24	MB	CF	90% RESUBMITTAL
3	12/14/21	ES	CF	90% SUBMITTAL
2	8/6/21	ES	CF	60% SUBMITTAL
1	7/17/20	ES	CF	30% SUBMITTAL

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 TEL: 312-277-2000
 ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-003192

PRIMARY CONSULTANT
 SEAL / SIGNATURE

PRIMARY CONSULTANT

TYLin
 200 S. WACKER DR. SUITE 1400
 CHICAGO, IL 60606
 TEL: 312-777-2900

DESIGNED: E. SLADEK
 DRAWN: M. BARAN
 CHECKED: C. FIDIS
 METRA P.M. R. BASIRIRAD
 DATE: 07/15/2024

LOCATION NAME: **HUBBARD WOODS STATION**

TITLE: **TOPOGRAPHIC SURVEY (NORTH)**

CAD FILE NUMBER: UPN17.7C002_90.dgn

SCALE: 1" = 20'

DISTRICT: UPN

PROJECT NO. JPS194

SHEET NO. **C-002**

MILE POST NO. UPN 17.70

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Village of Winnetka – Special Use Permit Application

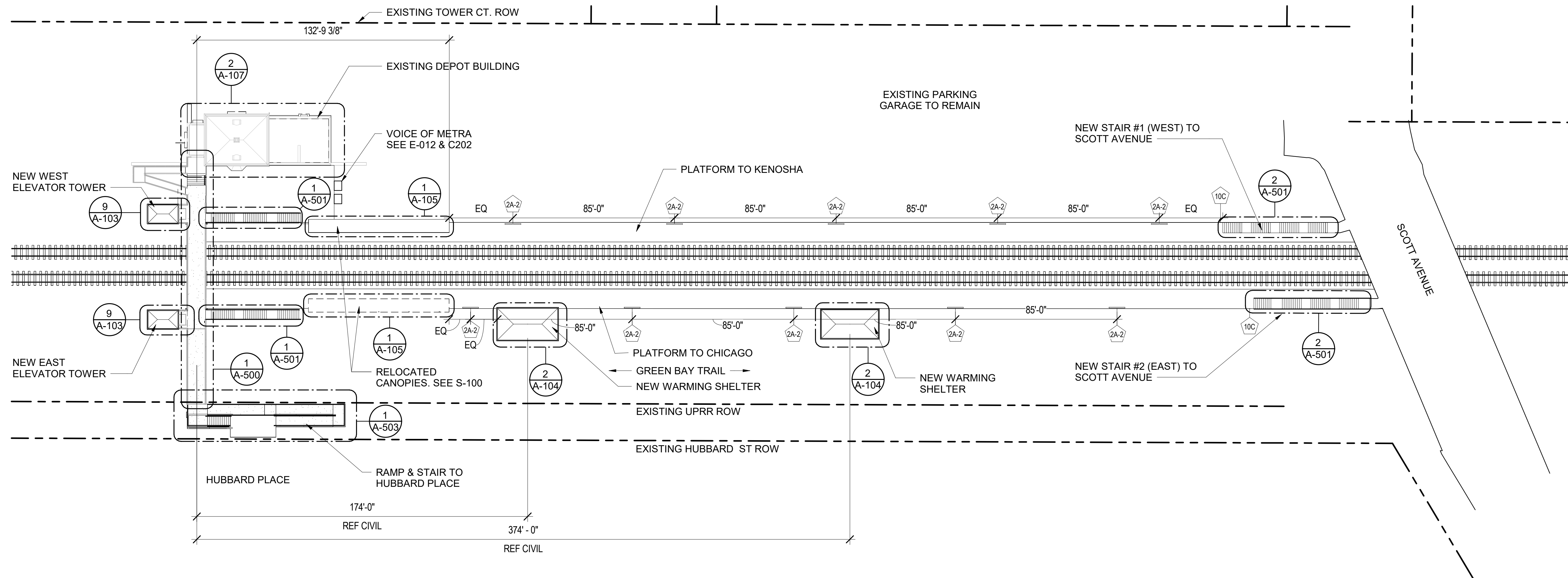
Renovation of Hubbard Woods Station Selection of Project Plans

(Full Set Provided under Separate Cover)

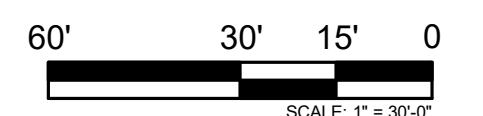
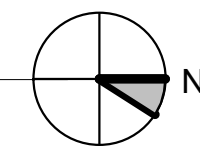
- Existing and Proposed Floor Plans
- Exterior Elevations
- Renderings
- Civil Site Plan
- Landscape Plans

SITE PLAN NOTES

1. SEE A-800 SHEETS FOR SIGNAGE SCHEDULE AND DETAILS.
2. REFER TO SHEET C-002 FOR TOPOGRAPHIC SURVEY



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"



PRINTED ON: 7/12/2024 5:38:27 PM

REV	DATE	BY	APP	DESCRIPTION
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3	12-14-2021	JH	KJK	90% SUBMITTAL
2	08-06-2021	NT	VAW	60% SUBMITTAL
1	07-17-2020	VW	KJK	30% SUBMITTAL

SUB CONSULTANT

700 N Sangamon
Chicago, IL 60642
312.432.4180
312.432.4184
2024, Muller & Muller, Ltd.

PRIMARY CONSULTANT
SEAL/ SIGNATURE

PRIMARY CONSULTANT:

200 S. WACKER DR. SUITE 1400
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DESIGNED: V. WIEGAND
DRAWN: V. WIEGAND
CHECKED: K. KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024

ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
ARCHITECTURAL SITE AND LOCATION PLAN

CAD FILE NUMBER:
UP-N17.70_A-100.dgn

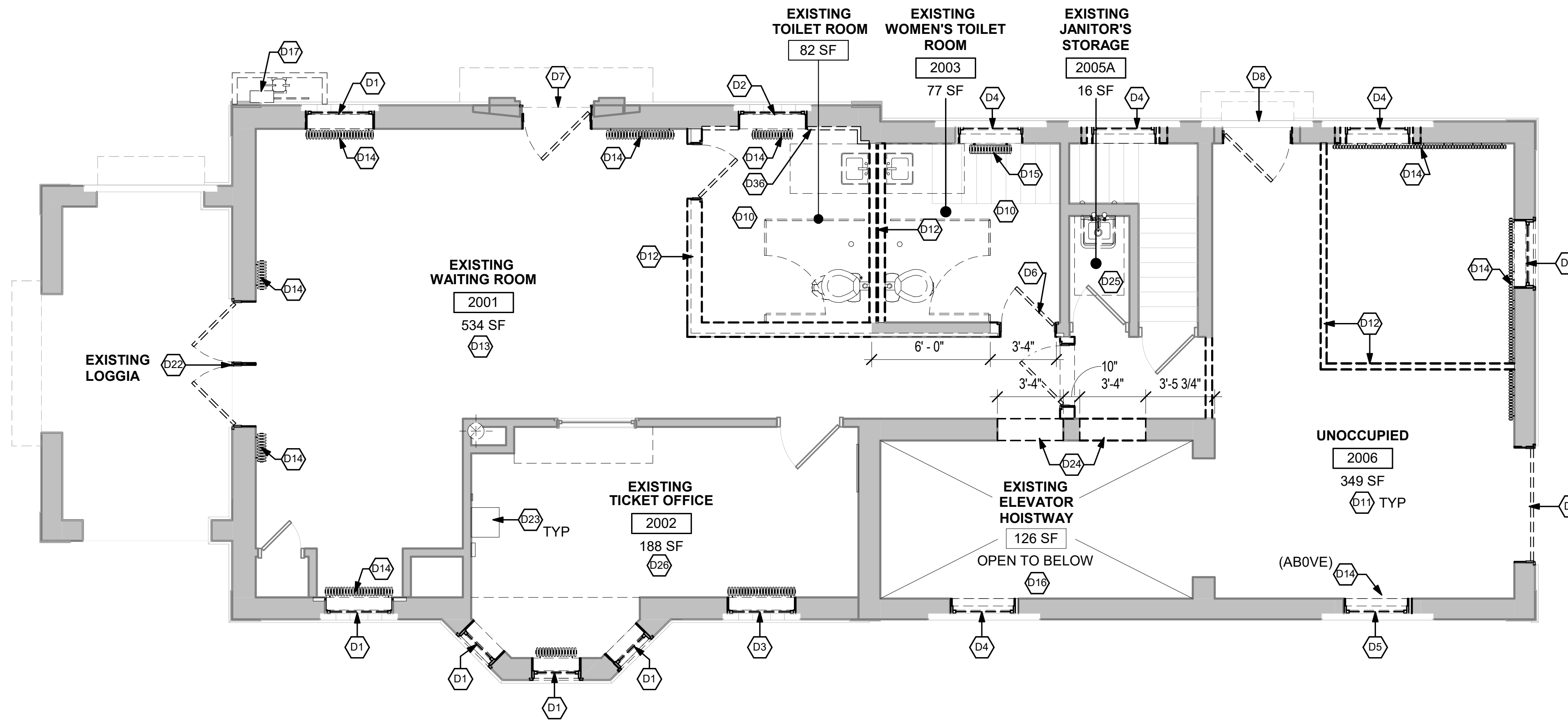
SCALE:
AS INDICATED

PROJECT NO:
JP5194

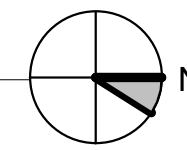
MILE POST NO.
UP-N17.70

DISTRICT:
UP-N

SHEET NO.
A-100



1 DEMOLITION PLAN - STATION LEVEL
1/4" = 1'-0"



KEYNOTES - DEMO PLANS

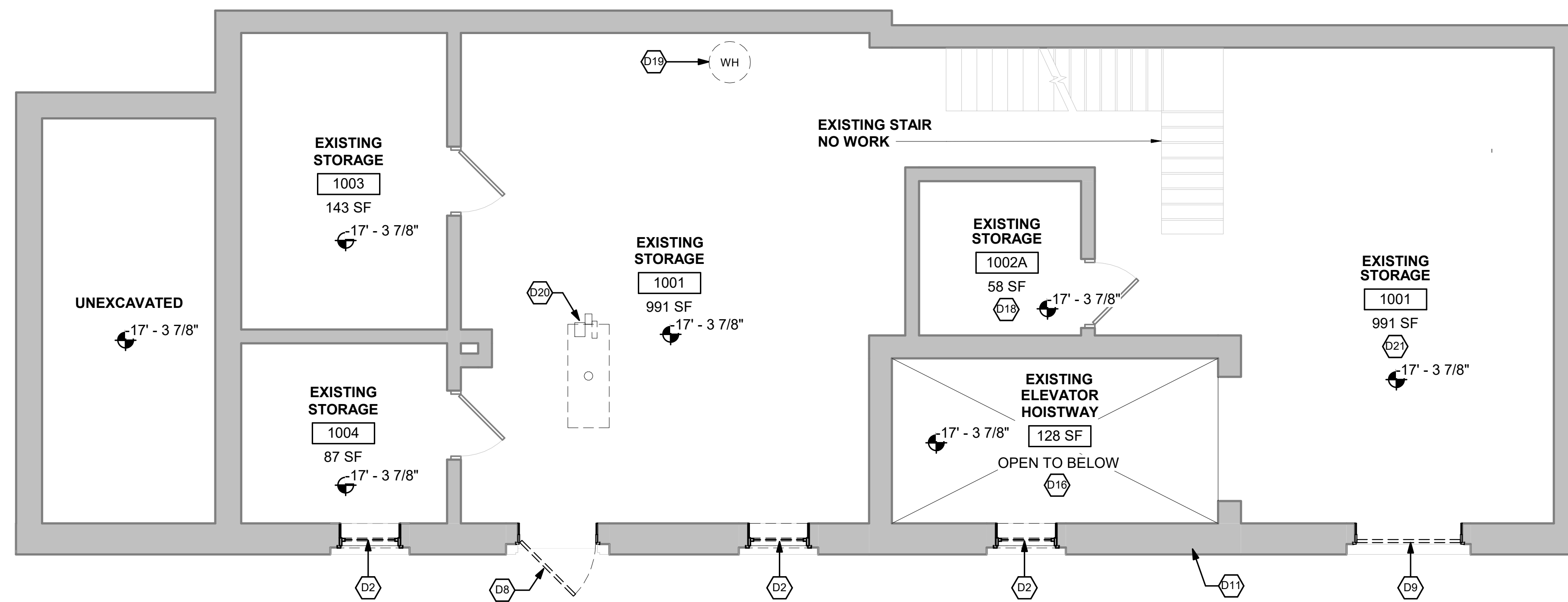
- D1 REMOVE WINDOW AND FRAME TO BE REPAIRED FROM ROUGH OPENING. REINSTALL REPAIRED WINDOW IN ROUGH OPENING DURING CONSTRUCTION. REFER HAZARDOUS BUILDING MATERIAL SURVEY REPORT DATED 5/24/2018 AND SPECIFICATION 02 71 00 FOR ABATEMENT AT WINDOWS TYP.
- D2 REMOVE INFILL PANEL FROM ORIGINAL WINDOW. REMOVE ORIGINAL WINDOW AND FRAME FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION. REFER TO ENVIRONMENTAL REPORT DATED 5/24/2018 AND SPECIFICATION 02 71 00 FOR ABATEMENT AT WINDOWS
- D3 REMOVE INFILL PANEL, AND AIR CONDITIONING WINDOW UNIT FROM ORIGINAL WINDOW. REMOVE ORIGINAL WINDOW AND FRAME FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- D4 REMOVED INFILL PANEL(S) FROM ORIGINAL WINDOW AND TRANSOM. REMOVE ORIGINAL WINDOW AND TRANSOM FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION. REFER TO ENVIRONMENTAL REPORT AND SPECIFICATION 02 71 00 FOR ABATEMENT AT WINDOWS
- D5 REMOVE INFILL PANEL(S), AND AIR CONDITIONING UNIT FROM ORIGINAL WINDOW AND TRANSOM. REMOVE ORIGINAL WINDOW AND TRANSOM FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- D6 REMOVE EXISTING DOOR AND FRAME FROM ORIGINAL ROUGH OPENING TO BE REPLACED WITH NEW DOOR AND FRAME. REMOVE MASONRY TO ENLARGE ROUGH OPENING FOR NEW ADA COMPLIANT DOOR AND FRAME.
- D7 DEMOLISH EXISTING DOOR AND DOOR FRAME ADDRESS PLATE. SALVAGE EXISTING DOOR FRAME AND TRANSOM WINDOW FROM ROUGH OPENING TO BE REPAIRED AND REUSED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION. PROVIDE NEW ADDRESS NUMBERS AS A VINYL GRAPHIC ON TRANSOM GLASS.
- D8 REMOVE EXISTING DOOR FRAME, TRANSOM WINDOW, AND INFILL PANEL FROM ROUGH OPENING TO BE REPLACED WITH NEW DOOR. INSTALL NEW DOOR, REPAIRED FRAME, AND REPAIRED TRANSOM WINDOW IN ORIGINAL ROUGH OPENING. PROVIDE NEW ADDRESS NUMBERS AS A VINYL GRAPHIC ON TRANSOM GLASS.
- D9 REMOVE ORIGINAL DOOR, FRAME, AND DOOR OPENER ASSEMBLY FROM ROUGH OPENING TO BE REPAIRED. REMOVE TEMPORARY EXTERIOR CLADDING FURRED OVER OPENING.
- D10 REMOVE ALL PLUMBING FIXTURES, TOILET PARTITIONS, AND ASSOCIATED PIPING FROM EXISTING ROOM. REFER TO PLUMBING DRAWINGS. ABATE AND REMOVE FINISH FLOOR TO ORIGINAL CONCRETE SLAB. REFER TO ENVIRONMENTAL REPORT IN PROJECT MANUAL
- D11 REMOVE LOOSE PAINT, AND DEBRIS FROM EXISTING WALLS.
- D12 REMOVE INTERIOR WALLS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO DOORS AND FRAMES, WINDOWS, WALL MOUNTED SHELVING, ETC. SALVAGE TERRACOTTA WALL TILES AND BASE FOR REUSE. REPAIR FLOOR FROM WALL DEMOLITION.
- D13 ABATE AND REMOVE FINISH FLOOR TO ORIGINAL CONCRETE SLAB. REFER TO ENVIRONMENTAL REPORT IN PROJECT MANUAL.
- D14 REMOVE AND REFINISH EXISTING RADIATOR(S) FOR REINSTALLATION. REFER TO MD-101 & M-101.
- D15 REMOVE AND REFINISH EXISTING RADIATOR AND REINSTALL IN NEW LOCATION. REFER TO MD-101 & M-101.
- D16 REMOVE ELEVATOR CAB, RAILS, ENTRANCES, AND SILLS FOR A COMPLETE REMOVAL OF ALL COMPONENTS.
- D17 REMOVE GAS METER TO BE RELOCATED. REMOVE PROTECTIVE SHROUD.
- D18 REMOVE ELEVATOR MACHINERY AND ALL COMPONENTS FOR COMPLETE REMOVAL OF ELEVATOR. REFER TO KEYNOTE D16.
- D19 REMOVE EXISTING WATER HEATER. REFER TO PD-101.
- D20 REMOVE AND REPLACE EXISTING BOILER. REFER TO MD-101 & M-101.
- D21 ALL UNION PACIFIC CARTS AND EQUIPMENT TO REMAIN. PROTECT FROM DAMAGE.
- D22 REMOVE EXISTING DOOR(S) AND FRAME FROM ROUGH OPENING TO BE REPLACED WITH NEW DOOR(S) AND FRAME.
- D23 WALL MOUNTED AUDIO/VISUAL AND VOM DEVICES TO REMAIN.
- D24 REMOVE MASONRY TO CREATE NEW ADA COMPLIANT DOOR OPENING.
- D25 REMOVE EXISTING SINK, SHELVING, AND MOP RACK. REMOVE LIGHT FIXTURE, REFER TO ED-202 & PD-101.
- D26 NO WORK IN THIS AREA. ALL FIXTURES, FINISHES, AND EQUIPMENT TO REMAIN.
- D27 DEMO KEYNOTES D27 - D35 ON SHEET AD-102
- D28 REMOVE EXISTING TERRACOTTA TILE AND PLASTER.

GENERAL NOTES - DEMO PLANS

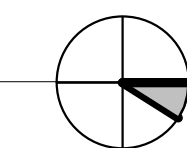
1. CONTRACTOR TO COORDINATE ALL REMOVAL WITH THE REQUIREMENTS OF NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COMPLETE REMOVAL, SALVAGE, AND DISPOSAL OF ALL ITEMS ASSOCIATED WITHIN THE DEMOLISHED AREA.
2. WALLS TO BE REMOVED ARE TO BE REMOVED FROM FLOOR TO THE DECK, U.N.O. CONTRACTOR TO VERIFY CEILING HEIGHTS IN THE FIELD DURING BIDDING.
3. SEE SHEET AD-101 FOR ADDITIONAL INFORMATION.
4. CONTRACTOR TO DEVELOP A PLAN THAT IS COORDINATED TO FULFILL ALL REQUIREMENTS OUTLINED IN THE PROJECT PHASING CONTRACT DOCUMENTS FOR REVIEW AND APPROVAL BY METRA.
5. REFERENCE MECH., ELEC., PLUMB., STRUC., AND CIVIL DEMO DRAWINGS FOR ASSOCIATED DEMO SCOPE.
6. SEE SHEETS MD-101, ED-010, ED-011, ED-201 AND PD-101 FOR ASSOCIATED DEMO SCOPE.
7. REFER TO ENVIRONMENTAL REPORT AND SPECIFICATION 02 72 00 FOR INFORMATION REGARDING LOCATIONS OF BUILDING MATERIALS IN NEED OF ABATEMENT FOR HAZARDOUS MATERIALS. CONTRACTOR TO COORDINATE REPORTS WITH ABATEMENT SCOPE AS NEEDED FOR THE PROJECT IMPROVEMENTS.

DEMOLITION LEGEND

- DEMOLISH WALL OR ELEMENT (UNO)
- EXISTING CONSTRUCTION TO REMAIN



2 DEMOLITION PLAN - PLATFORM LEVEL
1/4" = 1'-0"



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1	07-17-2020	VW	KJK	30% SUBMITTAL					

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DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R. BASARIRAD
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ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

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SCALE:
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PROJECT NO:
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MILE POST NO.
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DISTRICT:
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AD-100

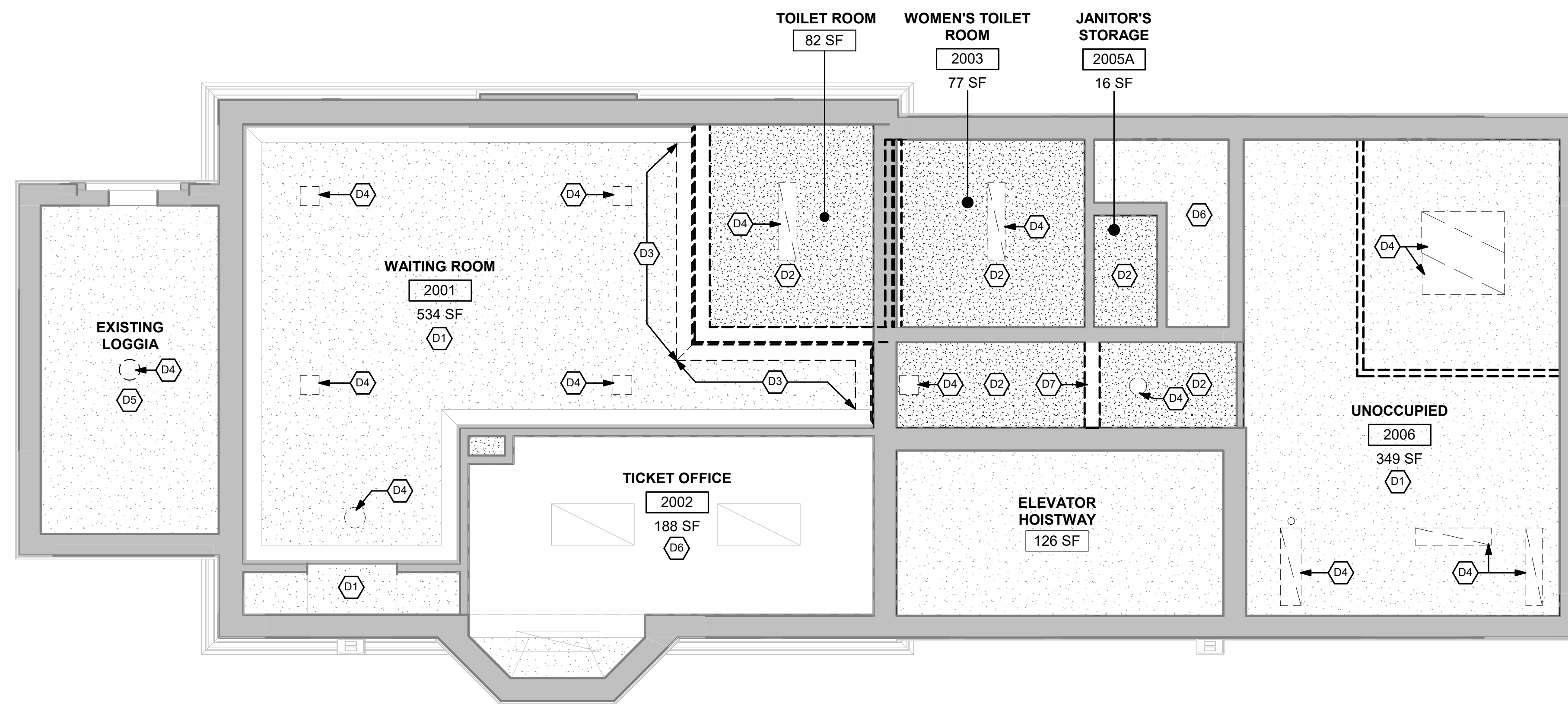
DEMOLITION PLANS DEPOT

KEYNOTES - DEMO RCP

- D1 EXISTING PLASTER CEILING TO REMAIN. REMOVE PEELING PAINT, PATCH, AND REPAIR CEILING AND CROWN MOLDING (WHERE APPLICABLE) AS REQUIRED FOR NEW FINISHES.
- D2 REMOVE EXISTING PLASTER CEILING.
- D3 REMOVE EXISTING CROWN MOLDING. REFER TO HAZARDOUS BUILDING MATERIAL SURVEY REPORT DATED 5/24/2018 AND SPECIFICATION 02 71 00 FOR ABATEMENT AT WINDOWS TYP.
- D4 REMOVE EXISTING LIGHT FIXTURES. REFER TO ED-202.
- D5 REMOVE PEELING PAINT, REPLACE DAMAGED PLASTER.
- D6 NO WORK, THIS AREA.
- D7 REMOVE EXISTING SOFFIT.

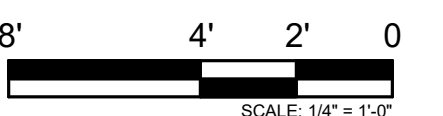
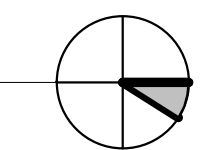
DEMOLITION LEGEND - RCP

- DEMOLISH WALL OR SOFFIT (UNO)
- EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LIGHT FIXTURES TO BE REMOVED
- PLASTER CEILING TO BE REMOVED
- EXISTING PLASTER CEILING TO REMAIN



1 DEMOLITION REFLECTED CEILING PLAN - STATION LEVEL

1/4" = 1'-0"



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1	07-17-2020	VW	KJK	30% SUBMITTAL

SUB CONSULTANT



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CHECKED:	K. KORAB
METRA PM:	R. BASARIRAD
DATE:	07-15-2024

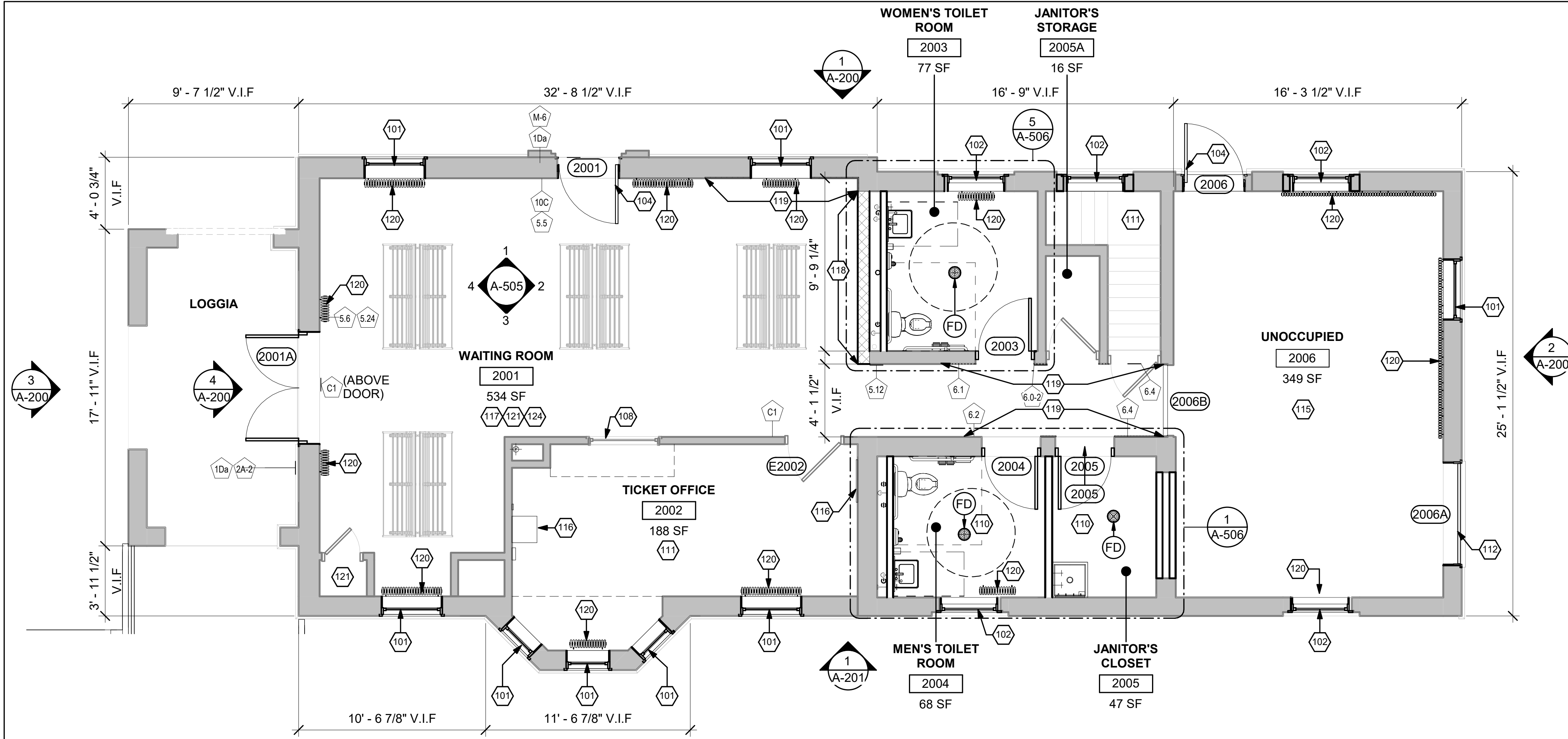


ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

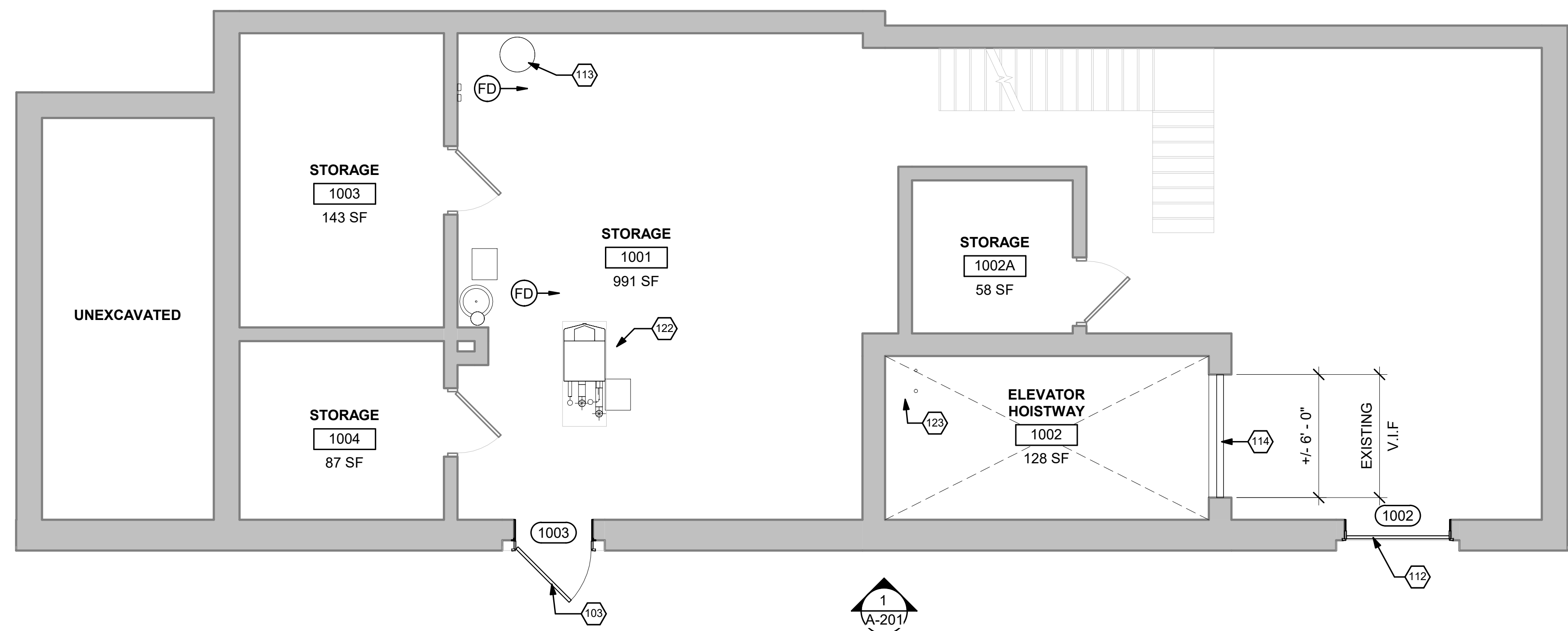
LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
DEMOLITION REFLECTED CEILING PLAN DEPOT

CAD FILE NUMBER: UP-N17.70_AD-101lgn	DISTRICT: UP-N
SCALE: AS INDICATED	SHEET NO. AD-101
PROJECT NO: JP5194	
MILE POST NO. UP-N17.70	



1 STREET LEVEL FLOOR PLAN
1/4" = 1'-0"



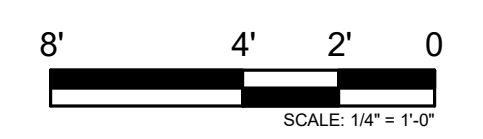
2 PLATFORM LEVEL FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL DIMENSIONS AT EXISTING CONSTRUCTION ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- ROOM FINISH SCHEDULE, SEE SHEET A-700.
- DOOR SCHEDULE, SEE SHEET A-600.
- PARTITION TYPES AND DETAILS, SEE SHEET A-605.
- CONTRACTOR TO COORDINATE CODE REQUIRED SIZES FOR CONCRETE PADS OF MEP EQUIPMENT. SEE M-102.
- MEP COMPONENTS, INCLUDING BUT NOT LIMITED TO, CONDUIT AND PIPES/DOWNSPOUTS, ARE SHOWN ON ARCHITECTURAL PLANS FOR REFERENCE ONLY. NOT ALL PENETRATIONS AND MEP COMPONENTS ARE SHOWN. CONTRACTOR TO COORDINATE AND ADJUST CHASES AND COLUMN ENCLOSURES AS REQUIRED TO FIT MEP COMPONENTS UPON ARCHITECT'S APPROVAL. SEE A-602 AND A-603 FOR WINDOW RESTORATION DETAILS.

KEYNOTES - FLOOR PLANS

- 101 REINSTALL REPAIRED WINDOW AND FRAME IN ORIGINAL WINDOW OPENING.
- 102 REINSTALL REPAIRED WINDOW AND FRAME, AND TRANSOM WINDOW IN ORIGINAL WINDOW OPENING.
- 103 REINSTALL REPAIRED DOOR AND FRAME IN ORIGINAL DOOR OPENING.
- 104 REINSTALL NEW DOOR, REPAIRED FRAME, AND REPAIRED TRANSOM WINDOW IN ORIGINAL ROUGH OPENING. PROVIDE NEW ADDRESS NUMBERS AS A VINYL GRAPHIC ON TRANSOM GLASS.
- 105 NOT USED.
- 106 NOT USED.
- 107 NOT USED.
- 108 TICKET WINDOW TO REMAIN. DEAL TRAY TO BE COVERED, AND SHADOW BOX CONSTRUCTION.
- 109 NOT USED.
- 110 NEW CONCRETE FLOOR. REFER TO S-101. FLOOR FINISH AS SCHEDULED.
- 111 NO WORK, THIS AREA. UNLESS NOTED OTHERWISE
- 112 INSTALL REPAIRED OVERHEAD DOOR AND FRAME TO BE FASTENED SHUT IN ORIGINAL OPENING.
- 113 INSTALL NEW WATER HEATER. SEE P-101
- 114 INSTALL FULL HEIGHT CHAIN LINK FENCE IN EXISTING OPENING.
- 115 FUTURE TENANT SPACE. PATCH AND PAINT PLASTER WALLS, AS SCHEDULED. REFER TO MEP DRAWINGS FOR UTILITY ROUGH-INS.
- 116 ELECTRICAL PANEL, FIRE ALARM CONTROL PANEL (FACP), SECURITY PANEL AND NETWORK SWITCHES TO REMAIN.
- 117 REPLACE DAMAGED TERRACOTTA WALL AND BASE TILES WITH SALVAGED TILES, THROUGHOUT WAITING AREA.
- 118 INSTALL SALVAGED TERRACOTTA TILES AND BASE AT NEW PARTITION. WHERE SALVAGED TILES ARE NOT AVAILABLE, USE NEW TILES TO MATCH ORIGINAL.
- 119 INSTALL SALVAGED TERRACOTTA TILES AND BASE AT EXISTING PARTITION. WHERE SALVAGED TILES ARE NOT AVAILABLE, USE NEW TILES TO MATCH ORIGINAL.
- 120 REINSTALL EXISTING RADIATOR. REFER TO MD-101.
- 121 REPAIR, PATCH AND PAINT PLASTER WALLS.
- 122 NEW CONDENSING BOILER, SEE M-101.
- 123 NEW SUMP PUMP, SEE P-101.
- 124 NEW TERRAZZO FLOORING ON EXISTING CONCRETE SLAB.
- 125 NEW PLASTER FOR TERRAZZO TILE



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Metra
ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
FLOOR PLANS DEPOT

CAD FILE NUMBER:
UP-N17.70_A-102.dgn

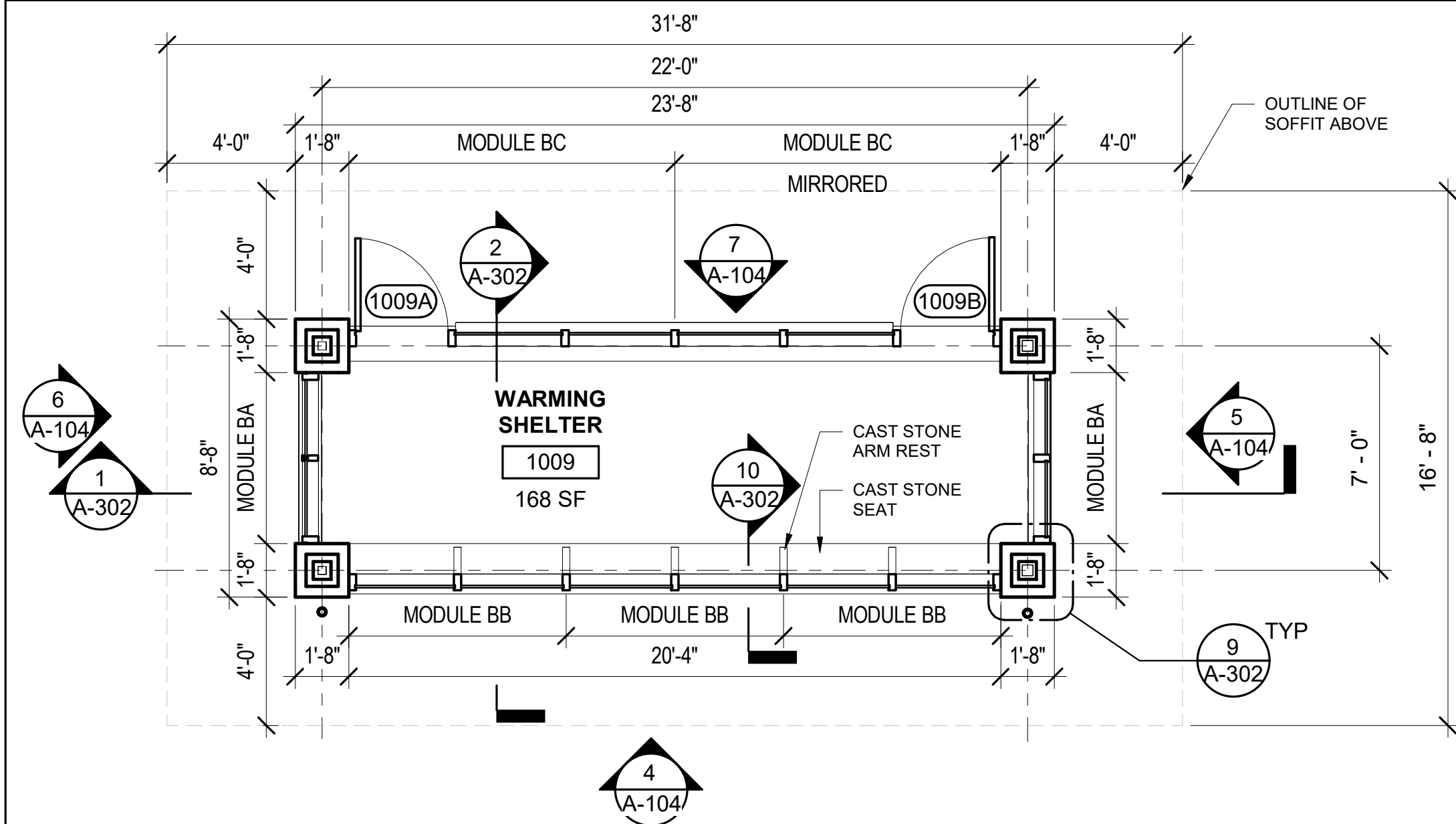
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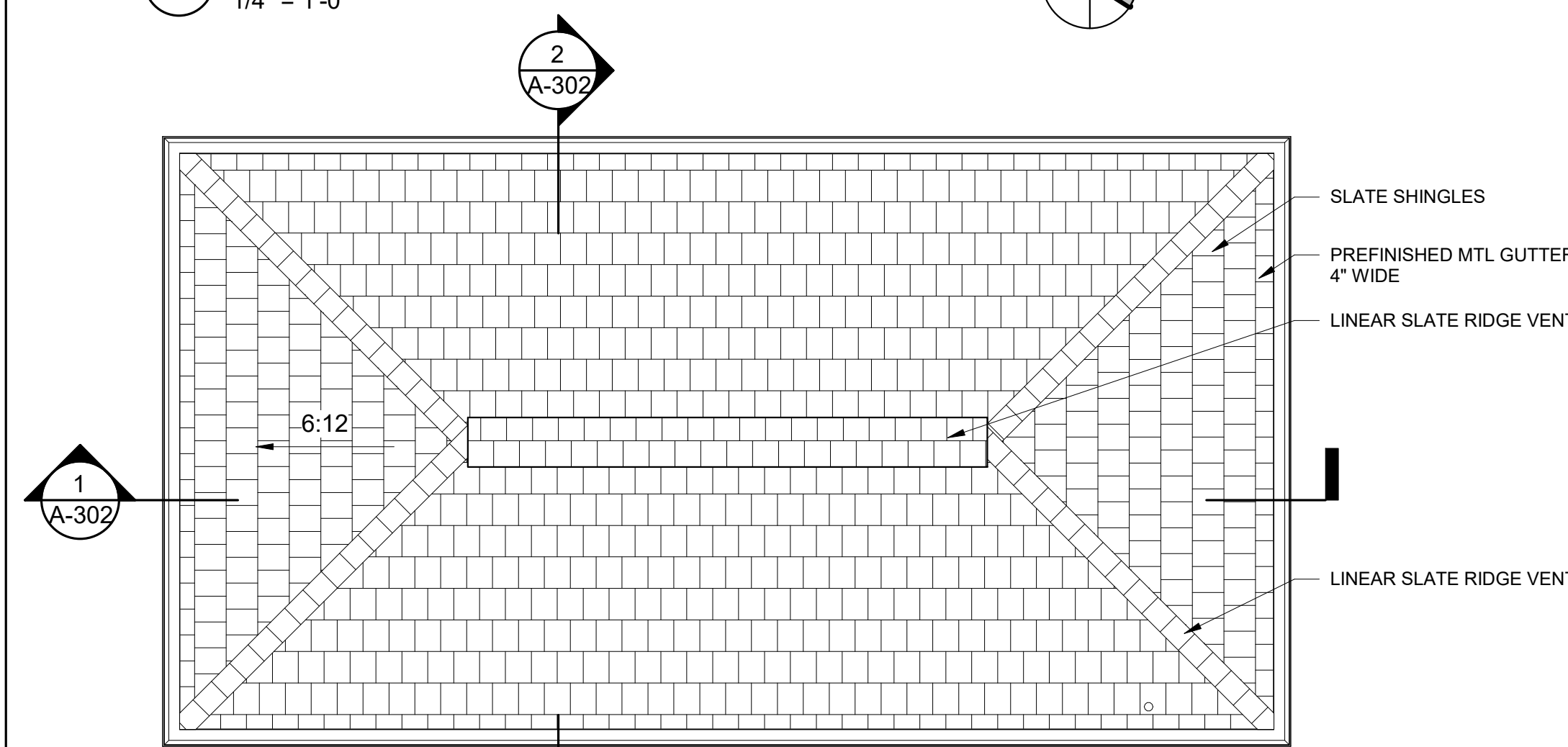
MILE POST NO.
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DISTRICT:
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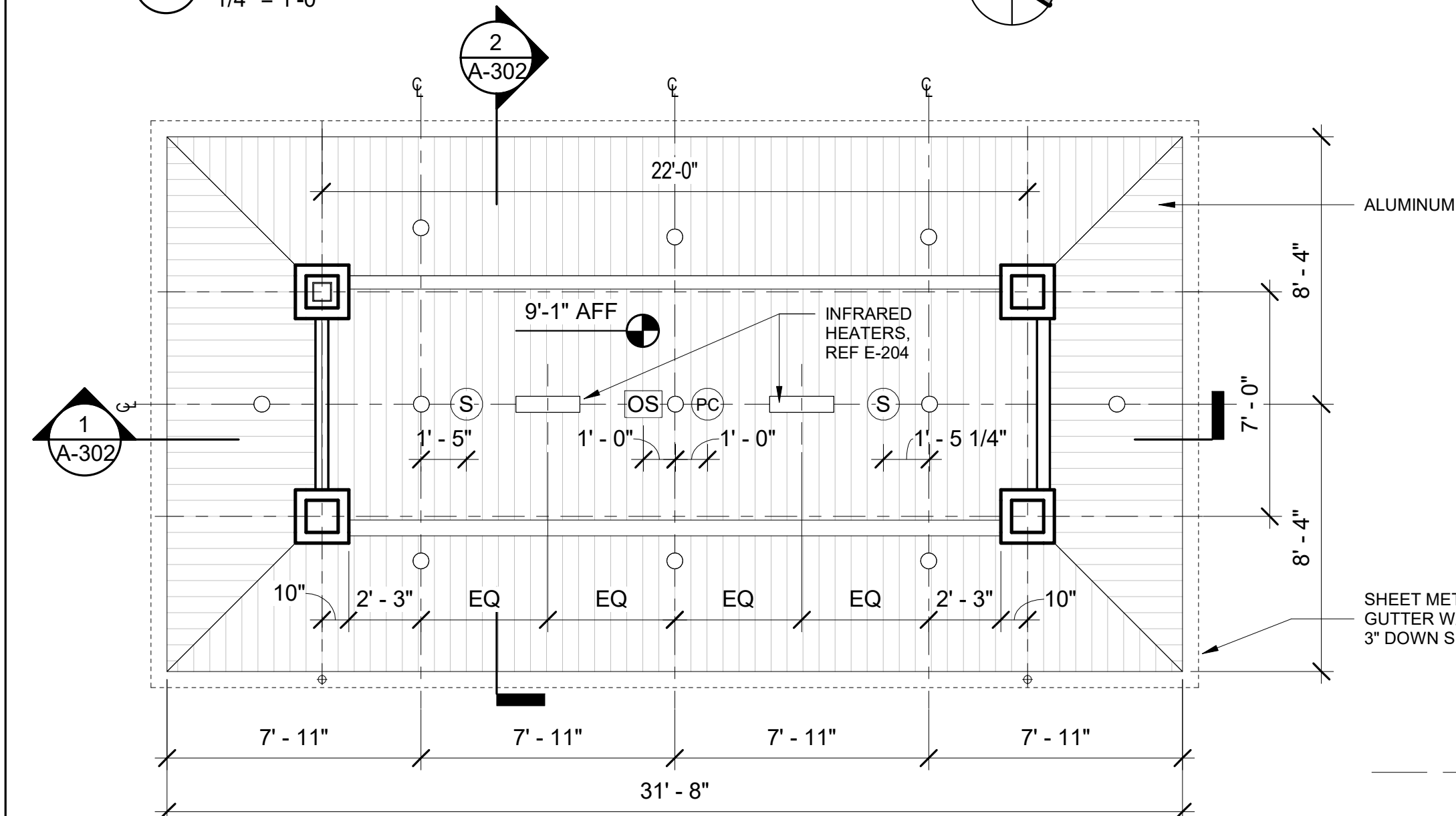
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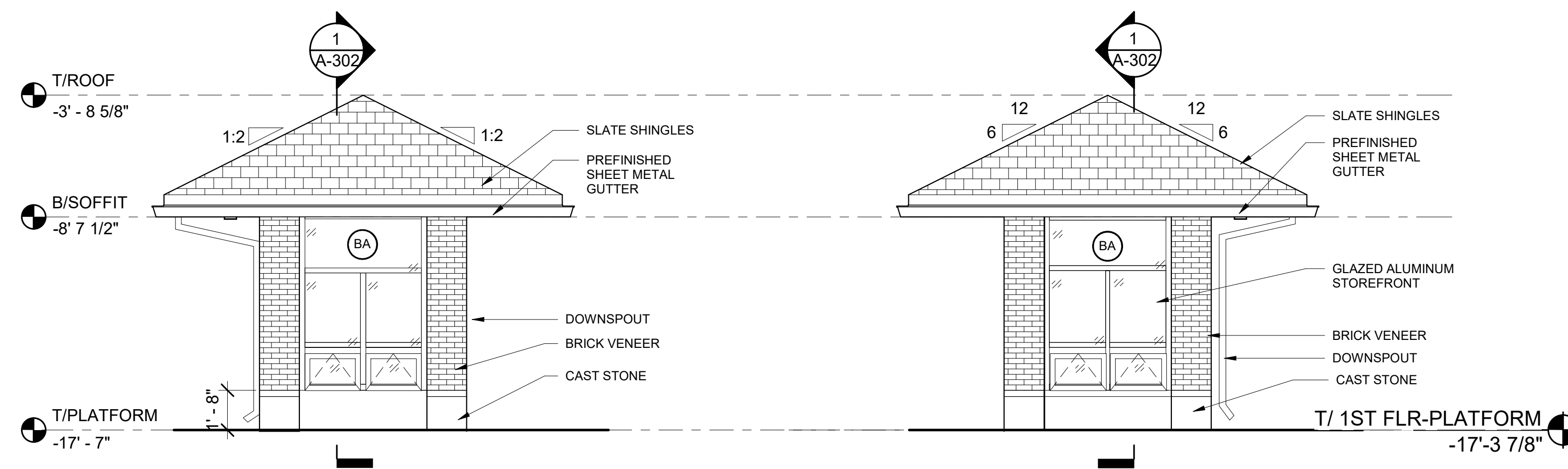
FLOOR PLAN - TYPICAL WARMING SHELTER
1/4" = 1'-0"



ROOF PLAN - TYPICAL WARMING SHELTER
1/4" = 1'-0"

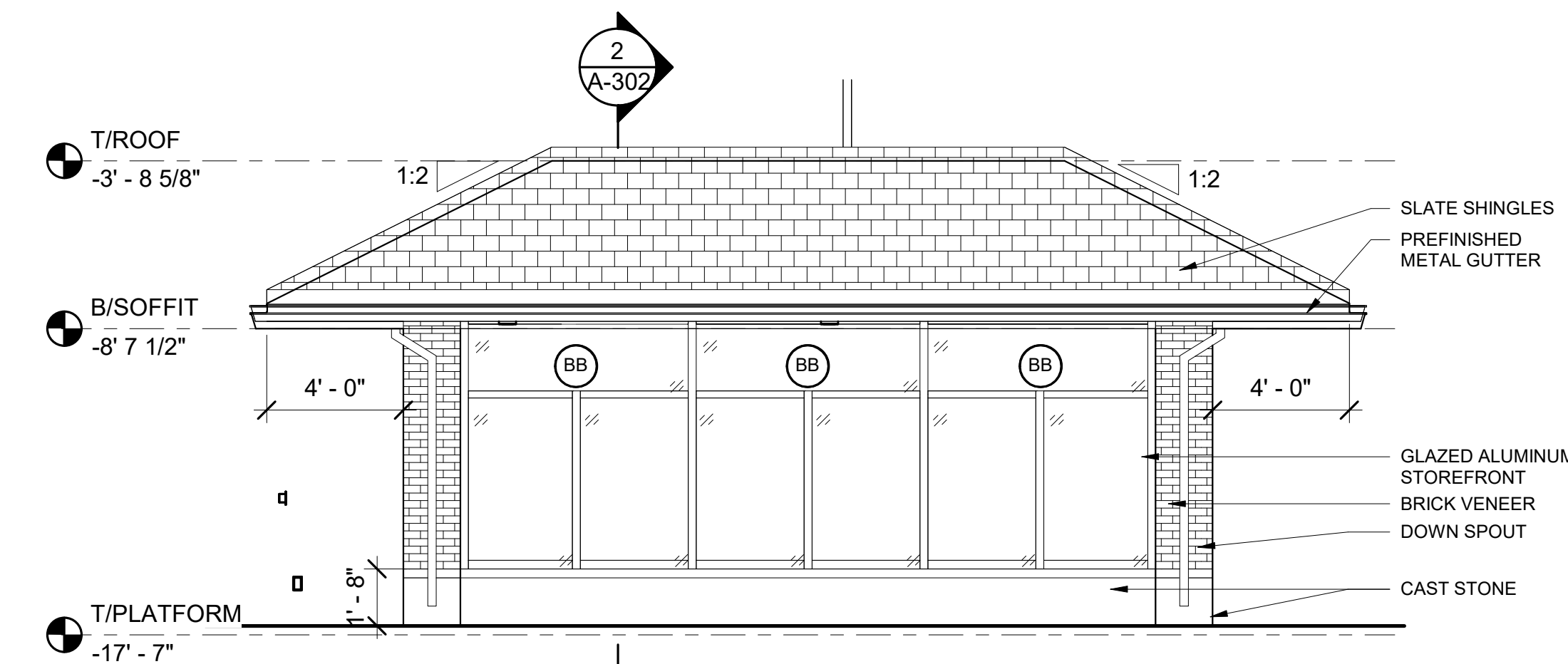


REFLECTED CEILING PLAN - TYPICAL WARMING SHELTER
1/4" = 1'-0"

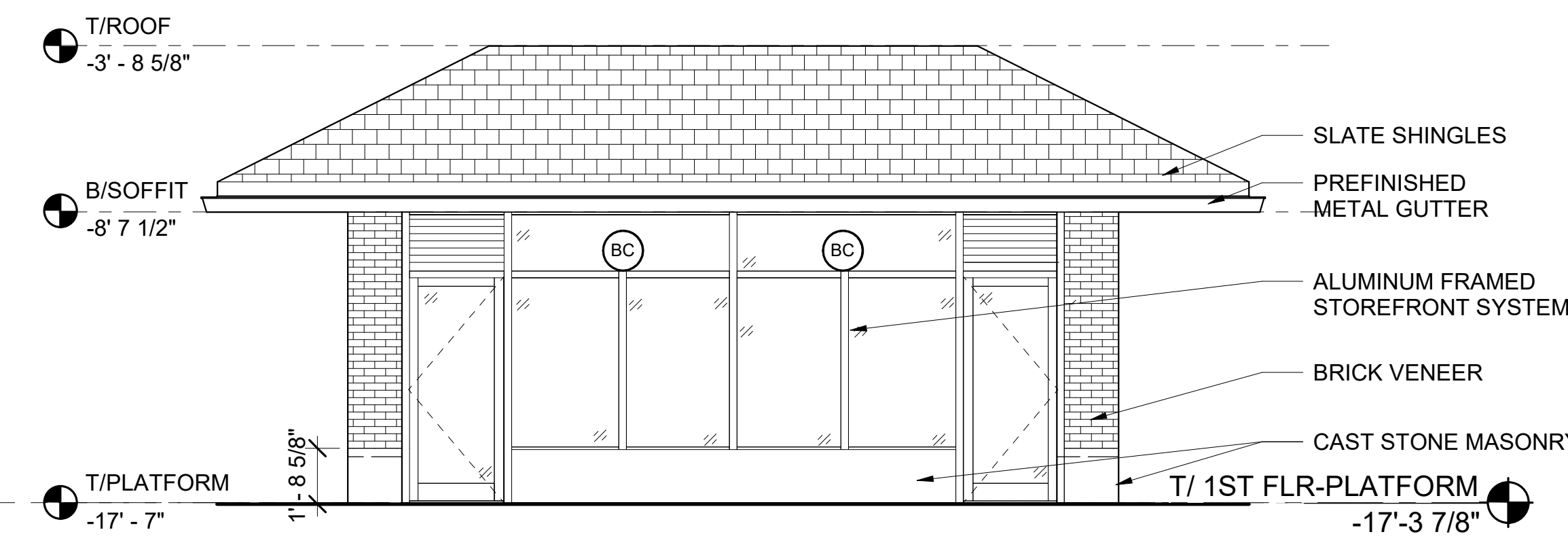


EXTERIOR ELEVATION NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION SOUTH ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION - EAST ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION - WEST ELEVATION
1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL DIMENSIONS AT EXISTING CONSTRUCTION ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- ROOM FINISH SCHEDULE, SEE SHEET A-700.
- DOOR SCHEDULE, SEE SHEET A-600.
- PARTITION TYPES AND DETAILS, SEE SHEET A-605.
- CONTRACTOR TO COORDINATE CODE REQUIRED SIZES FOR CONCRETE PADS OF MEP EQUIPMENT. SEE M-102.
- MEP COMPONENTS, INCLUDING BUT NOT LIMITED TO, CONDUIT AND PIPES/DOWNSPOUTS, ARE SHOWN ON ARCHITECTURAL PLANS FOR REFERENCE ONLY. NOT ALL PENETRATIONS AND MEP COMPONENTS ARE SHOWN. CONTRACTOR TO COORDINATE AND ADJUST CHASES AND COLUMN ENCLOSURES AS REQUIRED TO FIT MEP COMPONENTS UPON ARCHITECT'S APPROVAL.
- SEE A-602 AND A-603 FOR WINDOW RESTORATION DETAILS.

ROOF PLAN NOTES

- ROOF DETAILS, SEE SHEET A-400 FOR ELEVATOR TOWERS AND A-302 FOR WARMING SHELTER.
- REFERENCE P-101 FOR ROOF DRAIN AND VTR INFORMATION.

RCP NOTES

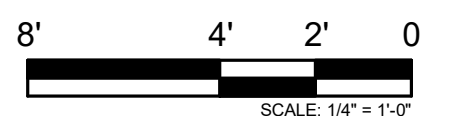
- ROOM FINISH SCHEDULE, SEE SHEET A-700.
- MATERIAL FINISH LEGEND, SEE SHEET A-700.
- LIGHTING FIXTURES; REF E-200 SERIES SHEETS.
- ALL CEILING FIXTURES AND DEVICES TO BE CENTERED IN CEILING AND/OR ALIGNED WITH ARCHITECTURAL ELEMENTS UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS IN CEILING AND WALLS AS REQUIRED. SEE MECHANICAL DRAWINGS AND SPECS FOR MORE INFORMATION. OBTAIN APPROVAL OF LOCATIONS, FINISH, AND COLOR WITH OWNER/ARCHITECT DURING ACCESS PANEL PRE-INSTALLATION CONFERENCE. REFERENCE E-401 FOR ADDITIONAL LIGHT FIXTURE INFO.
- ALL GYPSUM BOARD, PLASTER, AND CEMENT BOARD CEILINGS AND SOFFITS SHALL BE PAINTED (PT-1).
- PROVIDE CEILING & SOFFIT CONTROL JOINTS AS SHOWN AND PER SPECIFICATION 09 29 00.

ELEVATION NOTES

- MATERIAL FINISH LEGEND, SEE SHEET A-700.
- SIGN TYPES; REFERENCE ARCHITECTURAL SITE PLAN AND LOCATION PLAN, A-100.
- SIGNAGE GRAPHICS; SEE A-800 SHEETS.
- SEE S-101 FOR FOUNDATION INFORMATION.
- SEE SHEET A-500 FOR BRIDGE RAILING DETAILS.

RCP LEGEND

- ALUMINUM SOFFIT
- RECESSED DOWNLIGHT FIXTURE (CLG MTD); REF ELEC DWGS
- OCCUPANCY SENSOR; REF ELEC DWGS
- SPEAKER (CLG MTD); REF ELEC DWGS
- ON-DEMAND HEAT; REF MECH DWGS



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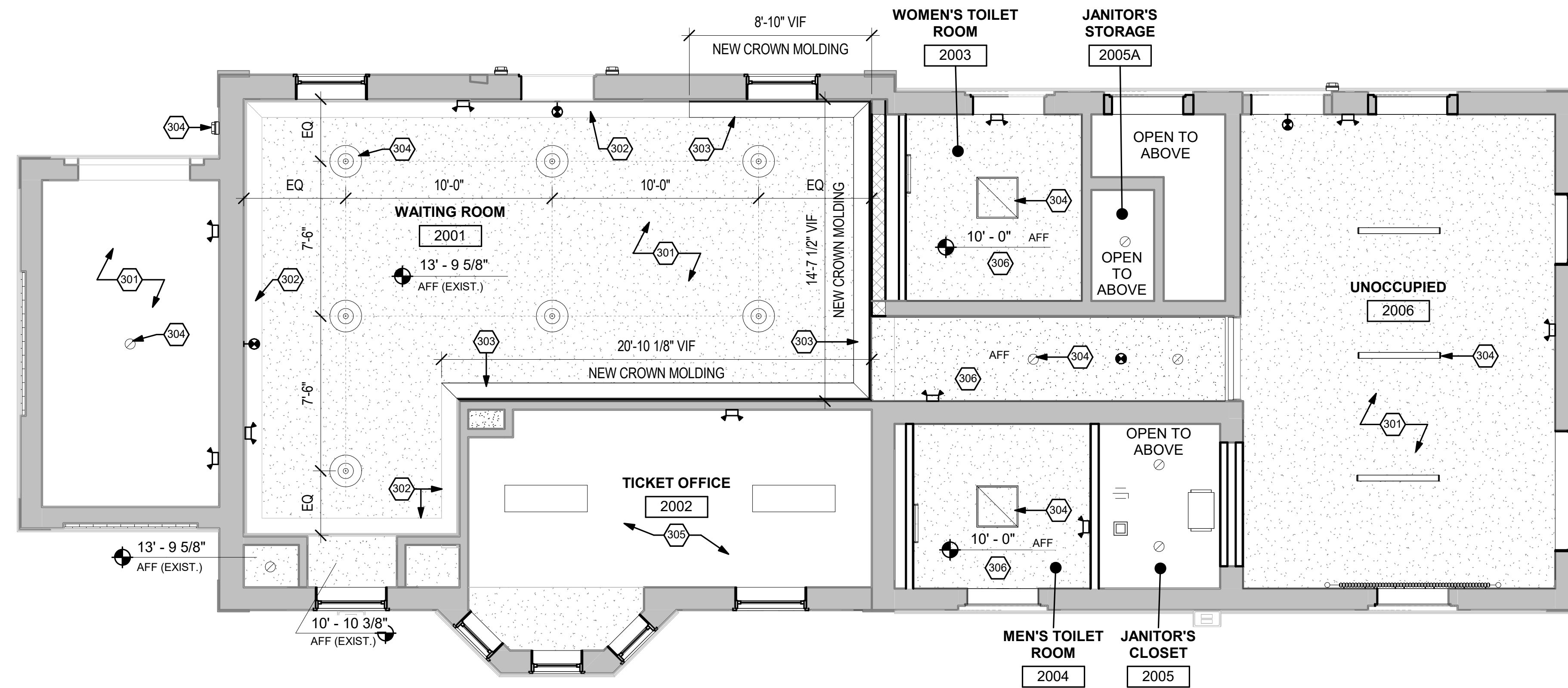
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DISTRICT:
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SHEET NO.
A-104

FLOOR PLAN, ROOF PLAN, ELEVATIONS, & REFLECTED CEILING PLAN WARMING SHELTER



RCP LEGEND

- GWB CEILING, PTD
- EXISTING BEADBOARD CEILING
- SURFACE MOUNTED LED LIGHT FIXTURE
- 2x2 LAY-IN LIGHT FIXTURE
- RECESSED DOWNLIGHT FIXTURE (CLG MTD)
- PENDANT DOWNLIGHT FIXTURE (CLG MTD)
- EXHAUST LOUVER
- EMERGENCY LIGHTING
- EXIT SIGN
- WALL PACK LED FIXTURE

NOTE: SEE E-200 SERIES SHEETS FOR ADDITIONAL INFORMATION

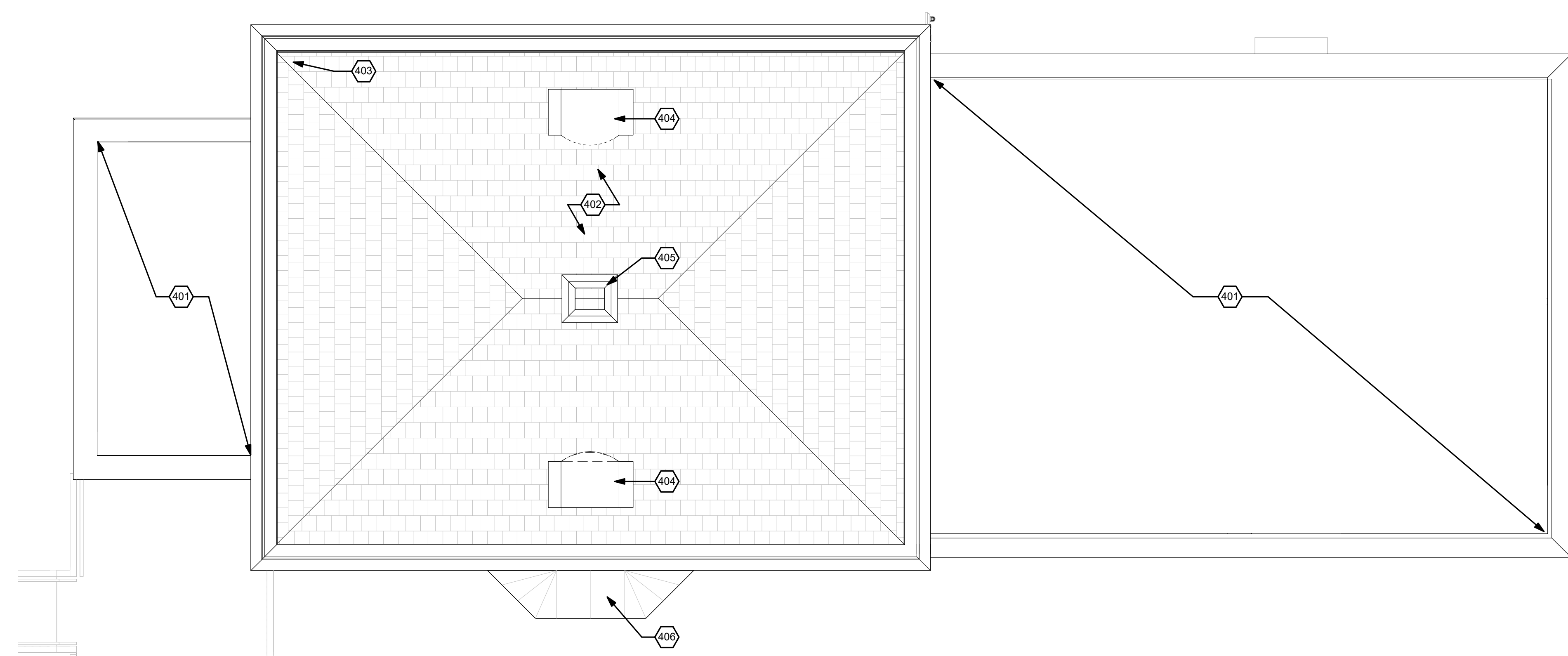
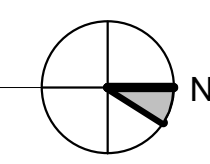
RCP NOTES

1. ROOM FINISH SCHEDULE, SEE SHEET A-700.
2. MATERIAL FINISH LEGEND, SEE SHEET A-700.
3. LIGHTING FIXTURES, REF E-200 SERIES SHEETS.
4. ALL CEILING FIXTURES AND DEVICES TO BE CENTERED IN CEILING AND/OR ALIGNED WITH ARCHITECTURAL ELEMENTS UNLESS NOTED OTHERWISE.
5. PROVIDE ACCESS PANELS IN CEILING AND WALLS AS REQUIRED. SEE MECHANICAL DRAWINGS AND SPECS FOR MORE INFORMATION. OBTAIN APPROVAL OF LOCATIONS, FINISH, AND COLOR WITH OWNER/ARCHITECT DURING ACCESS PANEL PRE-INSTALLATION CONFERENCE.
6. REFERENCE E-401 FOR ADDITIONAL LIGHT FIXTURE INFO.
7. ALL GYPSUM BOARD, PLASTER, AND CEMENT BOARD CEILINGS AND SOFFITS SHALL BE PAINTED (PT-1).
8. PROVIDE CEILING & SOFFIT CONTROL JOINTS AS SHOWN AND PER SPECIFICATION 09 29 00.

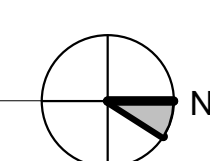
KEYNOTES - RCP

- EXISTING CEILING. PATCH/REPAIR FOR LIKE NEW APPEARANCE AND PAINT AS SCHEDULED.
- EXISTING PLASTER CROWN MOLDING. PATCH/REPAIR FOR LIKE NEW APPEARANCE AND PAINT TO MATCH CEILING.
- NEW CROWN MOLDING TO MATCH EXISTING.
- NEW LIGHTING, TYP. REFER TO ELECTRICAL DRAWINGS.
- NO WORK, THIS AREA. ALL EXISTING CEILING AND FIXTURES TO REMAIN.
- NEW GWB CEILING, PAINTED. SEE FINISH SCHEDULE.

1 REFLECTED CEILING PLAN DEPOT
1/4" = 1'-0"



2 ROOF PLAN DEPOT
1/4" = 1'-0"

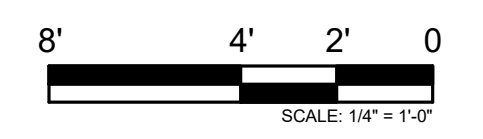


ROOF PLAN NOTES

1. ROOF DETAILS, SEE SHEET A-400 FOR ELEVATOR TOWERS AND A-302 FOR WARMING SHELTER.
2. REFERENCE P-101 FOR ROOF DRAIN AND VTR INFORMATION.

KEYNOTES - ROOF PLAN

- EXISTING FLAT ROOF TO REMAIN
- EXISTING SLATE SHINGLE ROOF TO REMAIN.
- REPLACE BROKEN SLATE SHINGLES WITH NEW TO MATCH EXISTING, WHERE OCCURS.
- EXISTING DORMER TO REMAIN
- EXISTING CHIMNEY TO REMAIN
- EXISTING STANDING SEAM ROOF ON BAY WINDOW TO REMAIN



PRINTED ON: 7/12/2024 5:38:36 PM

REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL
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1	07-17-2020	VW	KJK	30% SUBMITTAL

SUB CONSULTANT

700 N Sangamon
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DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024

ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
ROOF & REFLECTED CEILING PLANS DEPOT

CAD FILE NUMBER:
UP-N17.70_A-107.dgn

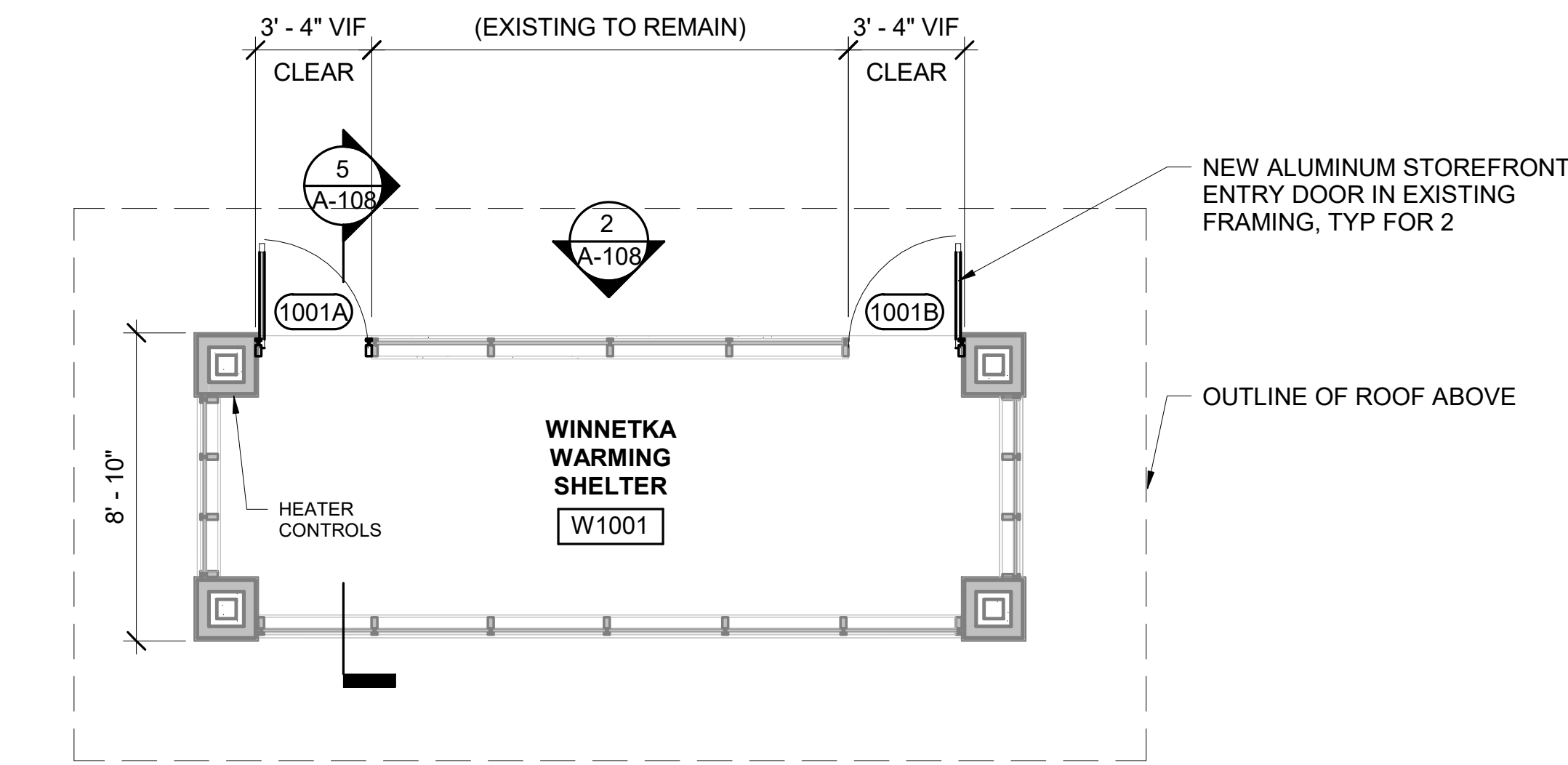
SCALE:
AS INDICATED

PROJECT NO:
JP5194

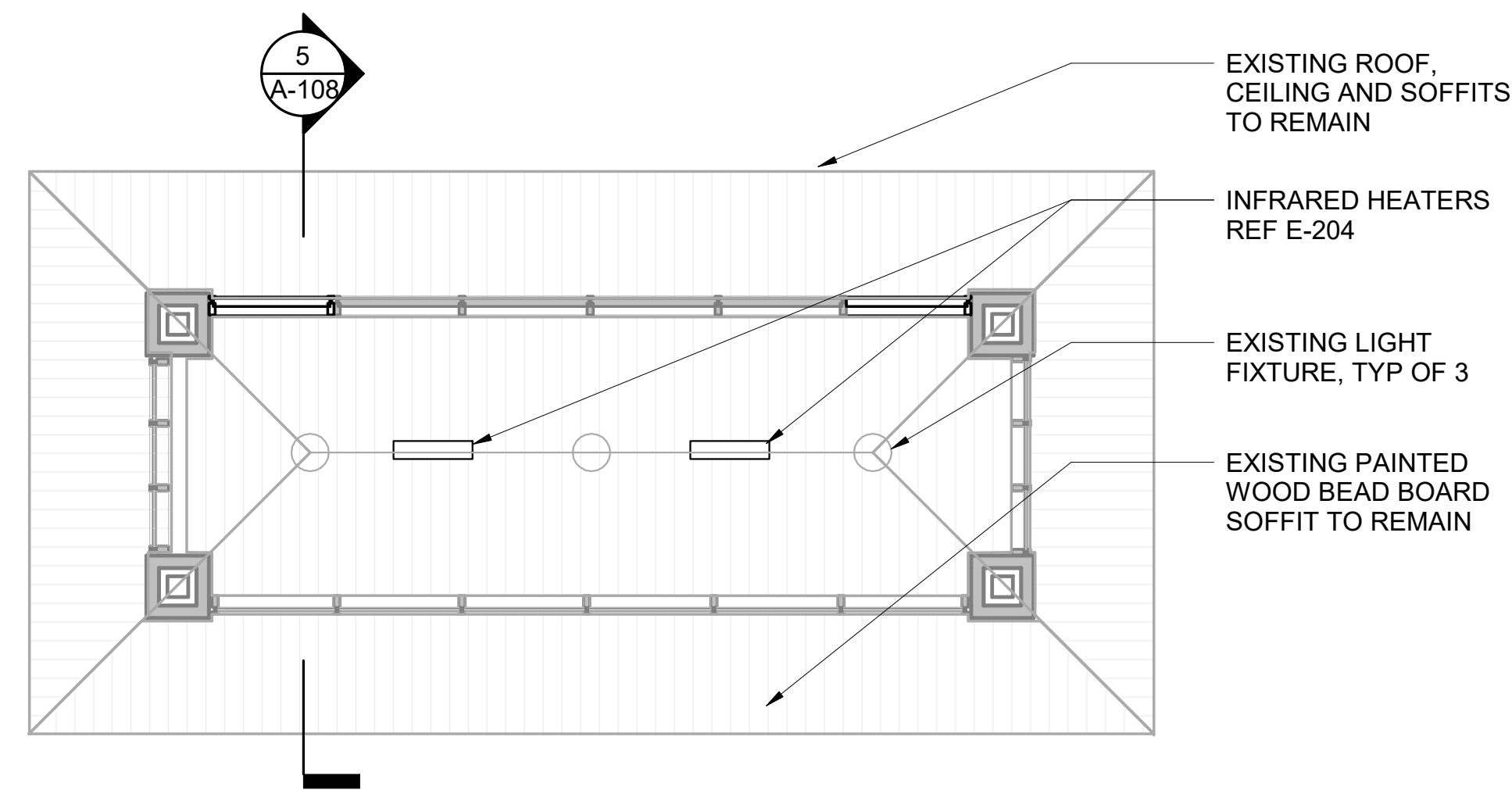
MILE POST NO.
UP-N17.70

DISTRICT:
UP-N

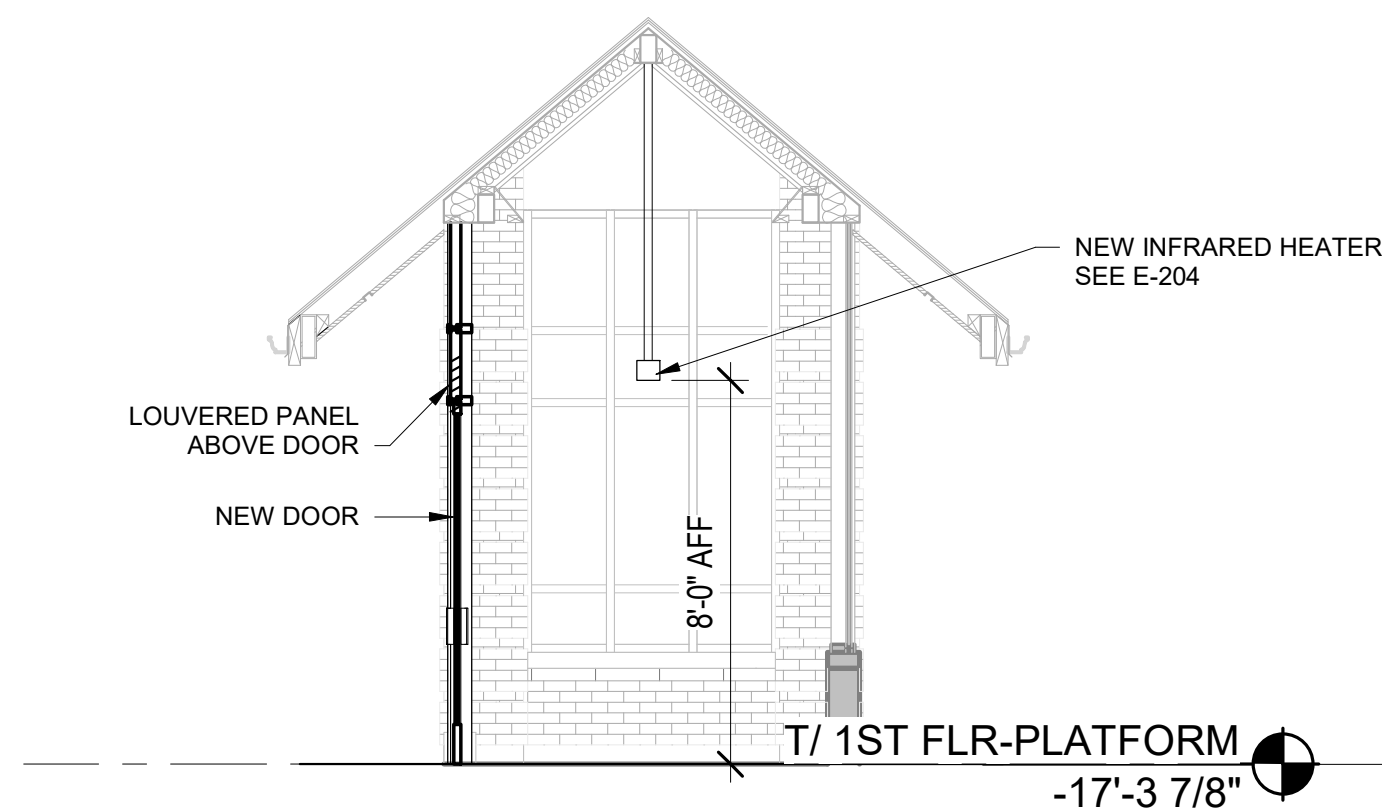
SHEET NO.
A-107



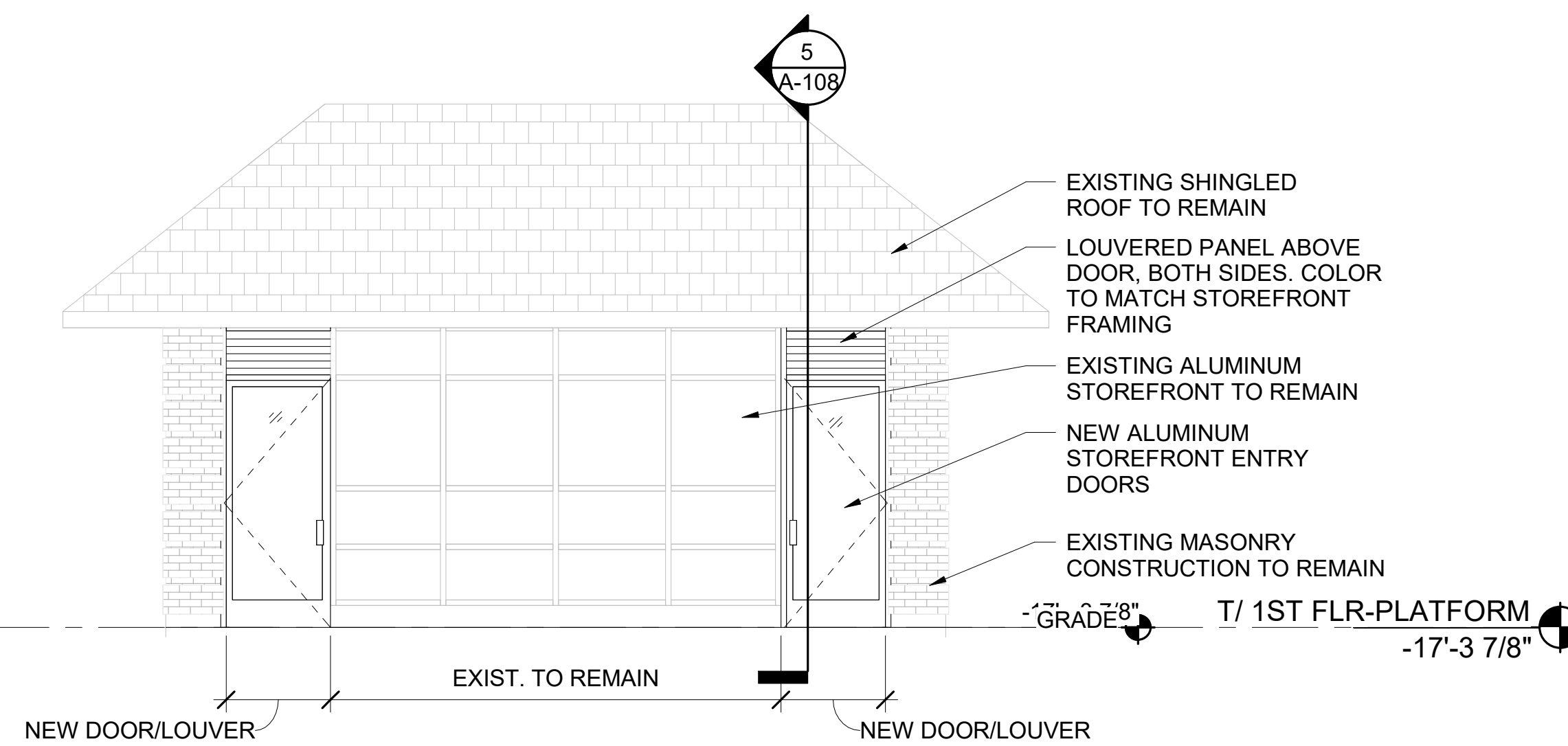
1 TYPICAL WINNETKA WARMING SHELTER FLOOR PLAN
1/4" = 1'-0"



4 TYPICAL WARMING SHELTER REFLECTED CEILING PLAN
1/4" = 1'-0"



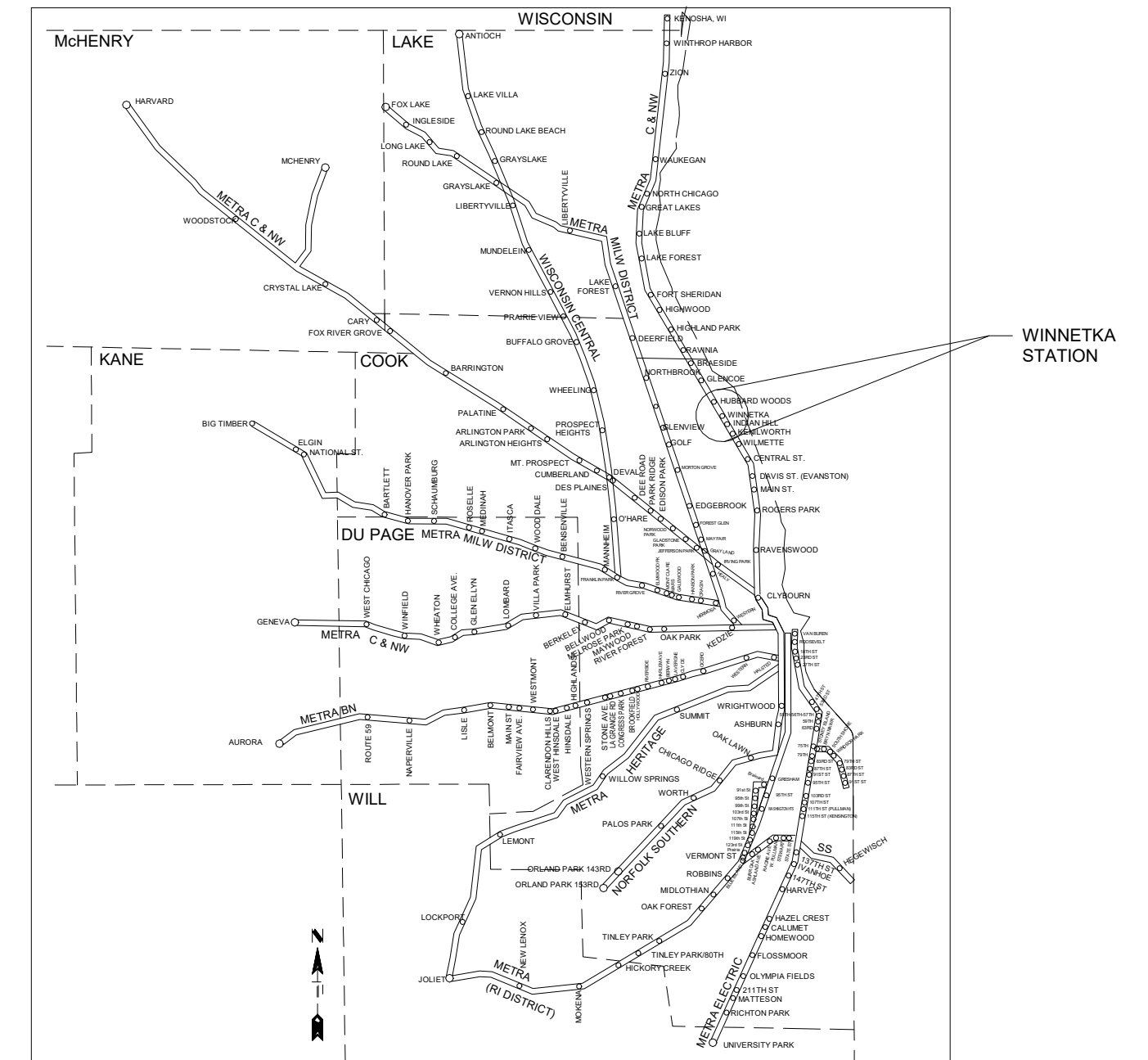
5 BUILDING SECTION - WINNETKA WARMING SHELTER
1/4" = 1'-0"



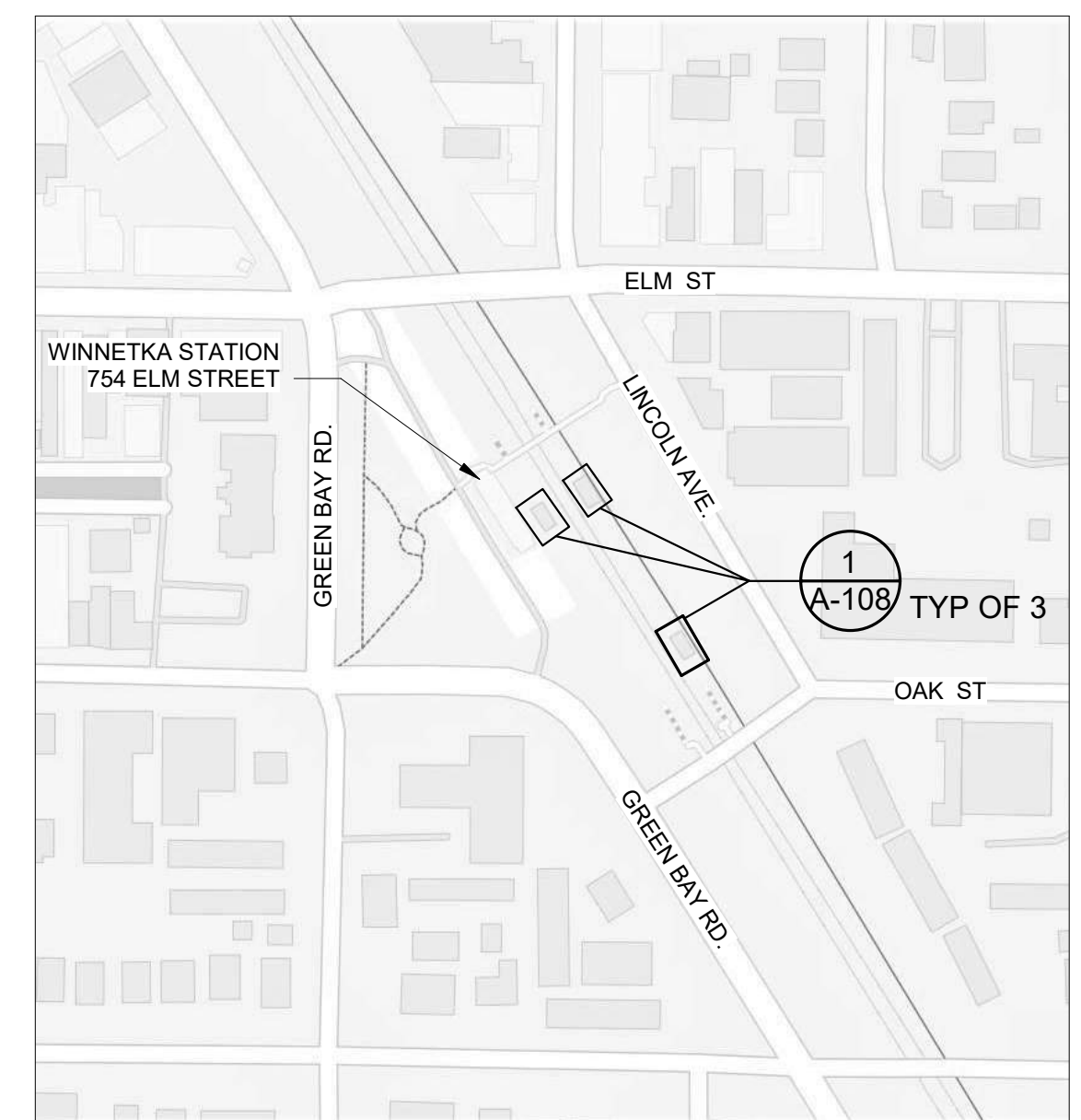
2 WINNETKA WARMING SHELTER TYPICAL ELEVATION
1/4" = 1'-0"

METRA WINNETKA STATION

WARMING SHELTERS PART OF METRA WINNETKA STATION,
754 W ELM ST, WINNETKA, IL 60093



SYSTEM MAP



LOCATION MAP

GENERAL NOTES

- DOOR SCHEDULE, SEE SHEET A-600.
- MEP COMPONENTS, INCLUDING BUT NOT LIMITED TO, CONDUIT AND PIPES/DOWNSPOUTS, ARE SHOWN ON ARCHITECTURAL PLANS FOR REFERENCE ONLY. NOT ALL PENETRATIONS AND MEP COMPONENTS ARE SHOWN. CONTRACTOR TO COORDINATE AND ADJUST CHASES AND COLUMN ENCLOSURES AS REQUIRED TO FIT MEP COMPONENTS UPON ARCHITECT'S APPROVAL.
- STATION ADDRESS: 754 ELM ST, WINNETKA, IL 60093

WINNETKA STATION SCOPE OF WORK REMOVE AND REPLACE EXISTING STOREFRONT DOOR AND LOUVER PANELS AND REPLACE EXISTING INFRARED HEATERS AT WINNETKA STATION.

PRINTED ON: 7/12/2024 5:38:39 PM

REV	DATE	BY	APP	DESCRIPTION
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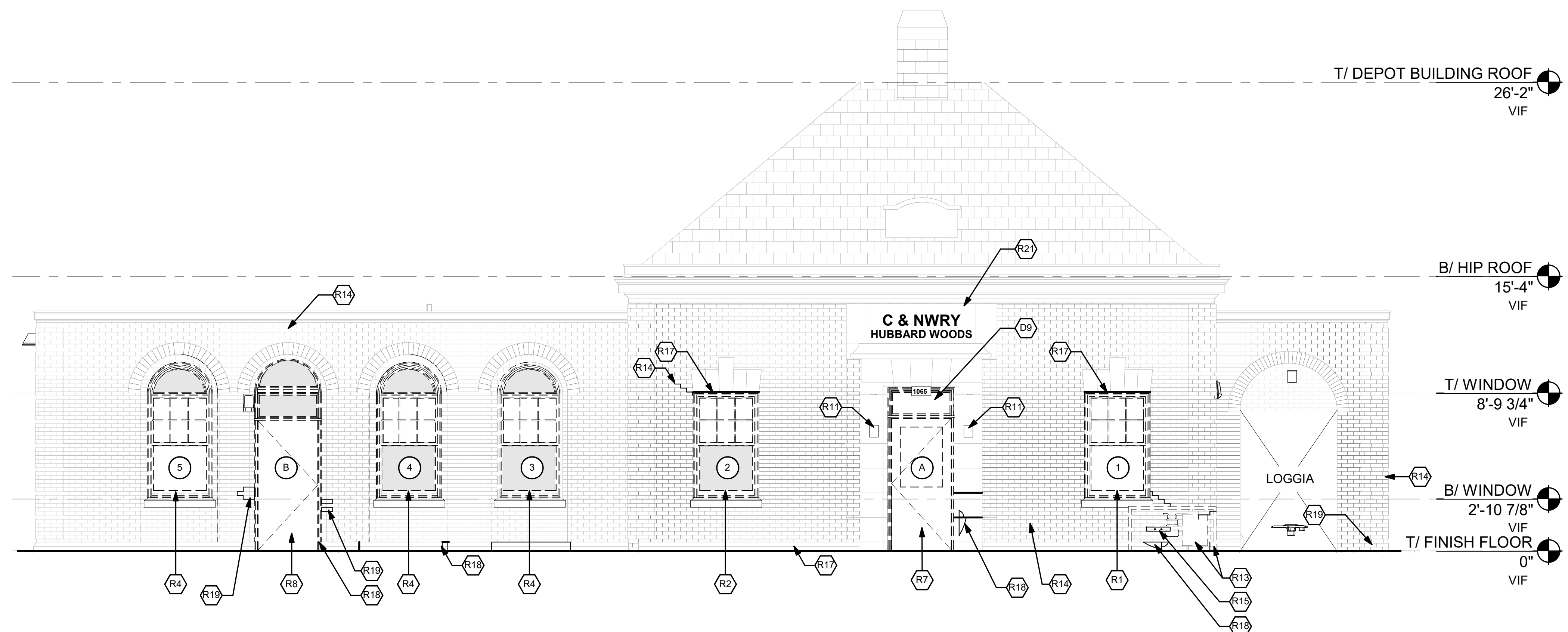
DESIGNED: V. WIEGAND
DRAWN: V. WIEGAND
CHECKED: K. KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024

ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION
TITLE:
WINNETKA WARMING SHELTER - FLOOR PLAN, REFLECTED CEILING PLAN, ELEVATIONS, AND SECTION

CAD FILE NUMBER:
UP-N17.70_A-108.dgn
SCALE:
AS INDICATED
PROJECT NO:
JPS194
MILE POST NO.
UP-N17.70

DISTRICT:
UP-N
SHEET NO.
A-108



1 WEST EXTERIOR ELEVATION - RESTORATION
1/4" = 1'-0"

GENERAL NOTES

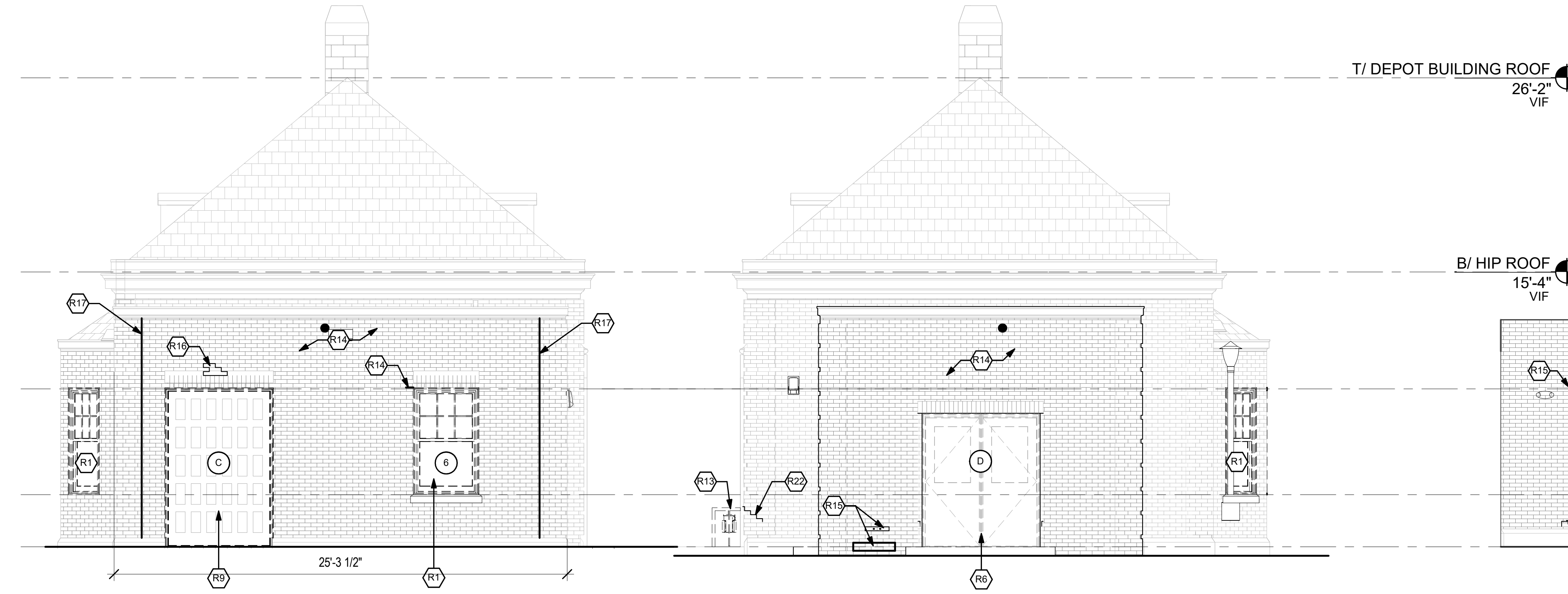
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2. WALLS TO BE REMOVED ARE TO BE REMOVED TO THE DECK, U.N.O. CONTRACTOR TO VERIFY CEILING HEIGHTS IN THE FIELD DURING BIDDING.
3. SEE SHEET AD-100 AND AD-101 FOR ADDITIONAL DEMOLITION INFORMATION.
4. SEE SHEET A-602 TO A-605 FOR WINDOWS AND DOORS RESTORATION DETAILS.
5. SEE SHEET A-403 FOR MASONRY RESTORATION DETAILS.
6. CONTRACTOR TO DEVELOP A PLAN THAT IS COORDINATED TO FULFILL ALL REQUIREMENTS OUTLINED IN THE PROJECT PHASING CONTRACT DOCUMENTS
7. REFERENCE MECH., ELEC., PLUMB., STRUC., AND CIVIL DEMO DRAWINGS FOR ASSOCIATED DEMO SCOPE.

RESTORATION LEGEND

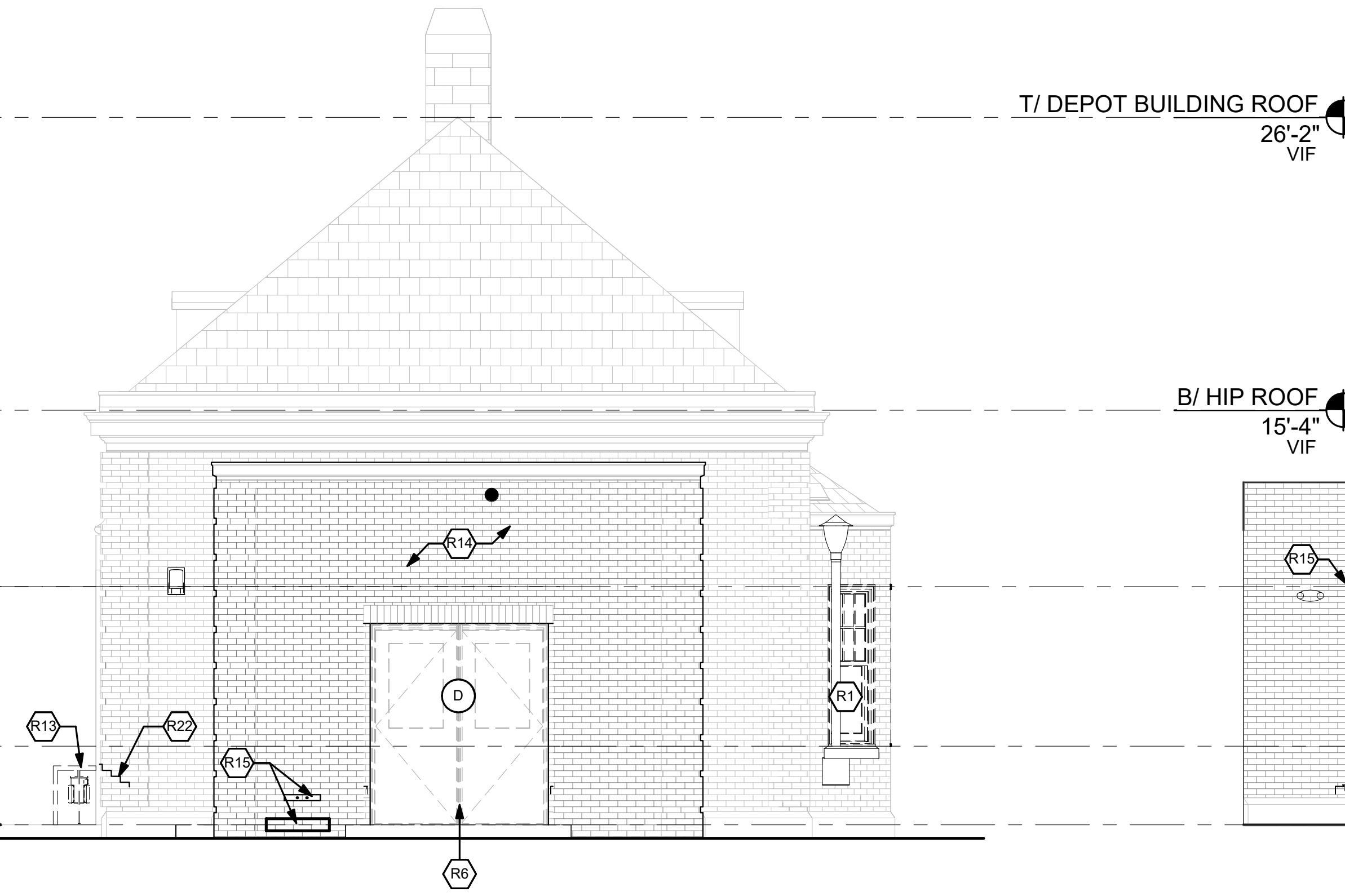
- DEMOLISH WALL OR ELEMENT (UNO)
- RESTORATION WINDOW TAG SEE A-600 SHEETS

KEYNOTES - RESTORATION ELEVATIONS

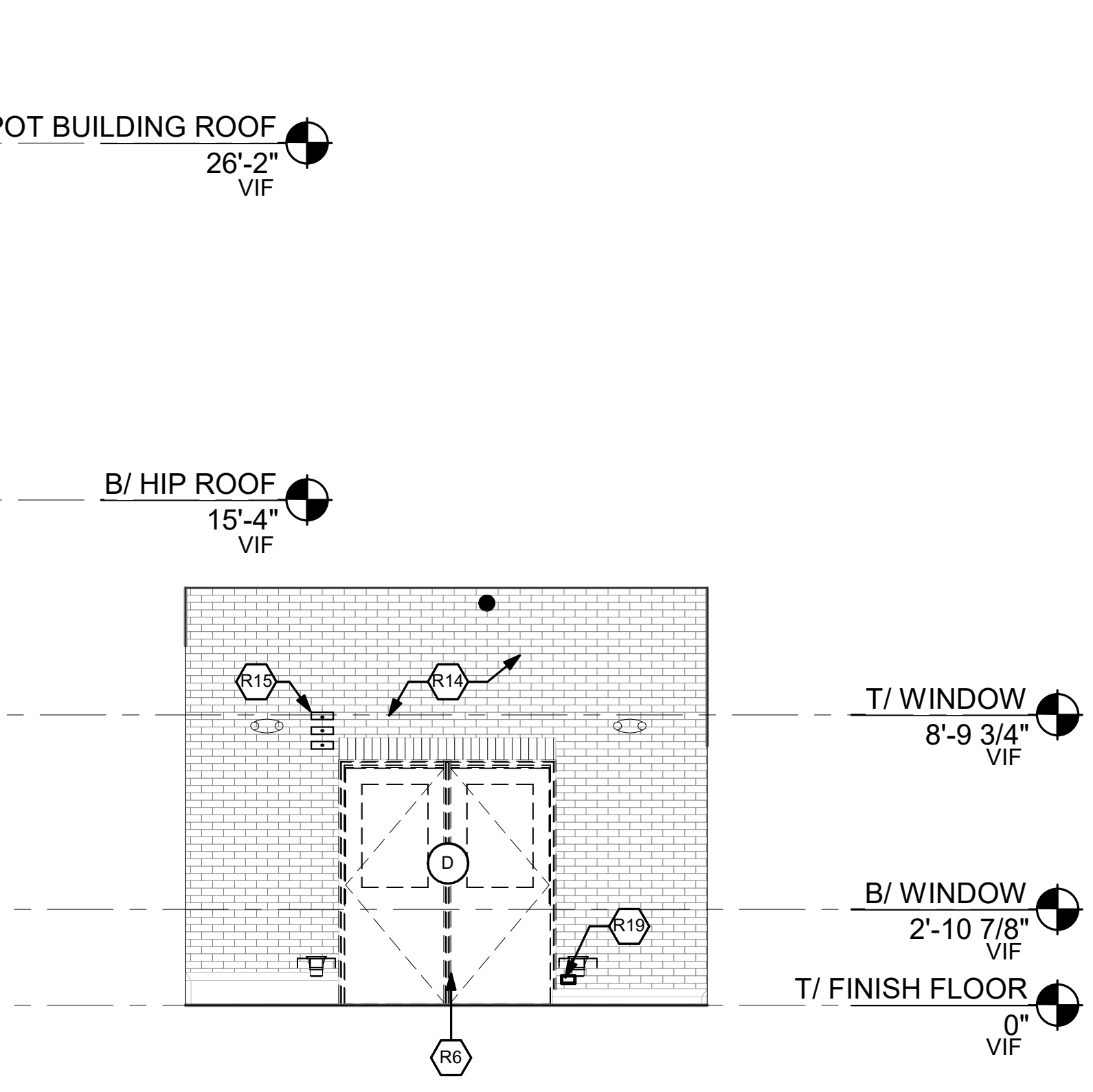
- R1 REMOVE ORIGINAL WINDOW AND FRAME FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- R2 REMOVE INFILL PANEL FROM ORIGINAL WINDOW. REMOVE ORIGINAL WINDOW AND FRAME FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
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- R4 REMOVE INFILL PANEL(S) FROM ORIGINAL WINDOW AND TRANSOM. REMOVE ORIGINAL WINDOW AND TRANSOM FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- R5 REMOVE INFILL PANEL(S), AND AIR CONDITIONING UNIT FROM ORIGINAL WINDOW AND TRANSOM. REMOVE ORIGINAL WINDOW AND TRANSOM FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- R6 REMOVE EXISTING DOOR AND FRAME FROM ORIGINAL ROUGH OPENING TO BE REPLACED WITH NEW DOOR AND FRAME.
- R7 DEMOLISH EXISTING DOOR AND ADDRESS PLATE. SALVAGE EXISTING DOOR FRAME AND TRANSOM WINDOW FROM ROUGH OPENING TO BE REPAIRED AND REUSED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION. PROVIDE NEW ADDRESS NUMBERS AS A VINYL GRAPHIC ON TRANSOM GLASS.
- R8 REMOVE EXISTING DOOR AND FRAME, TRANSOM WINDOW, AND INFILL PANEL FROM ROUGH OPENING TO BE REPLACED WITH NEW DOOR AND FRAME. INSTALL NEW DOOR, REPAIRED FRAME, AND REPAIRED TRANSOM WINDOW IN ORIGINAL ROUGH OPENING. PROVIDE NEW ADDRESS NUMBERS AS A VINYL GRAPHIC ON TRANSOM GLASS.
- R9 REMOVE INFILL PANEL OVER ORIGINAL DOOR AND FRAME. REMOVE TEMPORARY EXTERIOR CLADDING FURRED OVER OPENING. REMOVE ORIGINAL DOOR AND FRAME, AND DOOR OPENER ASSEMBLY FROM ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- R10 REMOVE ORIGINAL DOOR AND FRAME, AND DOOR OPENER ASSEMBLY FROM ORIGINAL ROUGH OPENING TO BE REPAIRED. REINSTALL IN ORIGINAL OPENING DURING NEW CONSTRUCTION.
- R11 REMOVE EXISTING LIGHT FIXTURE(S). PATCH EXISTING HOLES IN MASONRY TO ENSURE COMPLETE COVERAGE BY NEW FIXTURE(S). INSTALL NEW LIGHT FIXTURE(S), REFER TO ED-202 AND E-201.
- R12 REMOVE LOOSE PAINT AND DEBRIS FROM EXISTING WALL AND PATCH EXISTING MASONRY.
- R13 REMOVE GAS METER TO BE RELOCATED. REMOVE PROTECTIVE SHROUD AND PATCH EXISTING MASONRY.
- R14 REPOINT MORTAR ON ENTIRE FACADE. MATCH EXISTING COLOR/TINT. PROVIDE MOCK-UP FOR OWNER AND ARCHITECT APPROVAL.
- R15 REMOVE ANCHOR IN MASONRY UNIT. REPLACE WITH NEW MASONRY UNIT TO MATCH EXISTING.
- R16 REMOVE NON-ORIGINAL MASONRY UNITS, TO BE REPLACED WITH NEW UNITS TO MATCH ORIGINAL.
- R17 REPLACE SEALANT, SEE 2/A-403.
- R18 REPAIR PRECAST PANEL IN KIND.
- R19 REPLACE DAMAGED MASONRY UNITS WITH NEW UNITS TO MATCH EXISTING.
- R20 NEW MECHANICAL LOUVER, REF MECHANICAL, SEE 1/M-101
- R21 PROTECT EXISTING LIMESTONE DURING CONSTRUCTION.
- R22 REPAIR CRACK IN MASONRY UNITS
- R23 PROVIDE NEW LIGHT FIXTURE, REF ELECTRICAL DWGS.
- R24 PROVIDE NEW FLUE VENT, REF MECH DWG 6/M-502.



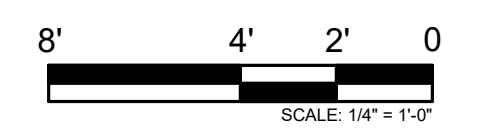
2 NORTH EXTERIOR ELEVATION - RESTORATION
1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION - RESTORATION
1/4" = 1'-0"



4 SOUTH EXTERIOR ELEVATION - RESTORATION
1/4" = 1'-0"



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REV	DATE	BY	APP	DESCRIPTION
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1	07-17-2020	VW	KJK	30% SUBMITTAL

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TEL: 312-777-2900

DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R.BASARIRAD
DATE: 07-15-2024

Metra
ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
EXTERIOR ELEVATIONS DEPOT RESTORATION

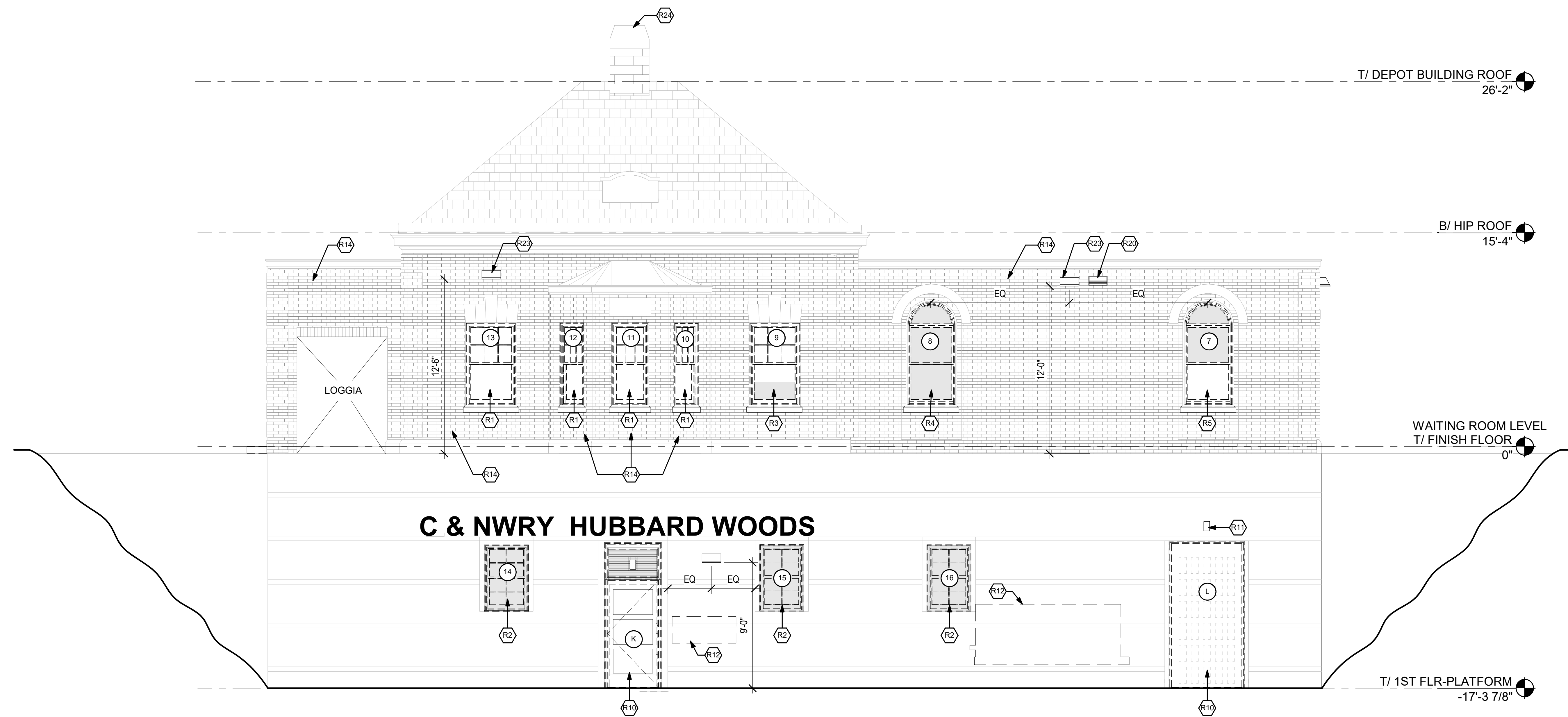
CAD FILE NUMBER: UP-N17.70_A-200.dgn	DISTRICT: UP-N
SCALE: AS INDICATED	SHEET NO. A-200
PROJECT NO: JP5194	
MILE POST NO. UP-N17.70	

GENERAL NOTES

1. CONTRACTOR TO COORDINATE ALL REMOVAL WITH THE REQUIREMENTS OF NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COMPLETE REMOVAL OF ALL ITEMS ASSOCIATED WITHIN THE DEMOLISHED AREA.
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4. SEE SHEET A-602 TO A-605 FOR WINDOWS AND DOORS RESTORATION DETAILS.
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7. REFERENCE MECH., ELEC., PLUMB., STRUC., AND CIVIL DEMO DRAWINGS FOR ASSOCIATED DEMO SCOPE.

KEYNOTES - RESTORATION ELEVATIONS

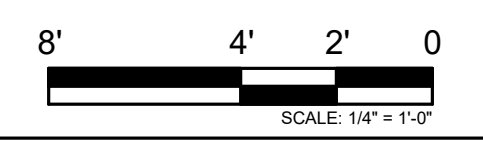
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- R24 PROVIDE NEW FLUE VENT, REF MECH DWG 6/M-502.



1 EAST EXTERIOR ELEVATION - RESTORATION
1/4" = 1'-0"

RESTORATION LEGEND

RESTORATION WINDOW TAG
SEE A-600 SHEETS



PRINTED ON: 7/12/2024 5:38:45 PM

REV	DATE	BY	APP	DESCRIPTION
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ENGINEERING DEPARTMENT
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CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
EXTERIOR ELEVATIONS DEPOT RESTORATION

CAD FILE NUMBER:
UP-N17.70_A-201.dgn

SCALE:
AS INDICATED

PROJECT NO:
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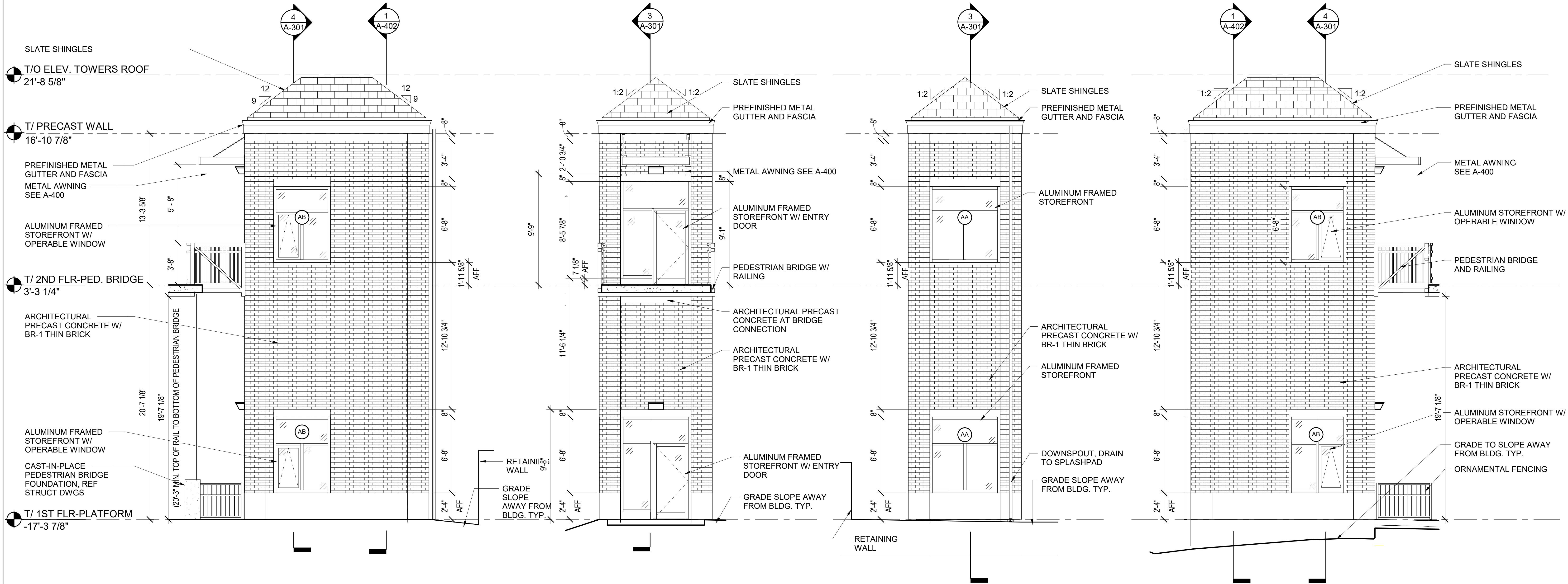
MILE POST NO.
UP-N17.70

DISTRICT:
UP-N

SHEET NO.
A-201

ELEVATION NOTES

1. MATERIAL FINISH LEGEND, SEE SHEET A-700.
2. SIGN TYPES; REFERENCE ARCHITECTURAL SITE PLAN AND LOCATION PLAN, A-100.
3. SIGNAGE GRAPHICS; SEE A-800 SHEETS.
4. SEE S-101 FOR FOUNDATION INFORMATION
5. SEE SHEET A-500 FOR BRIDGE RAILING DETAILS

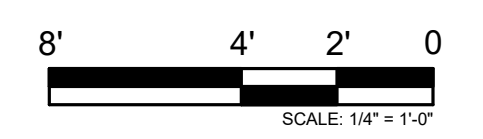


EXTERIOR ELEVATION WEST ELEVATOR TOWER WEST ELEVATION
 ① 1/4" = 1'-0"

EXTERIOR ELEVATION WEST ELEVATOR TOWER NORTH ELEVATION
 ② 1/4" = 1'-0"

EXTERIOR ELEVATION WEST ELEVATOR TOWER SOUTH ELEVATION
 ③ 1/4" = 1'-0"

EXTERIOR ELEVATION WEST ELEVATOR TOWER EAST ELEVATION
 ④ 1/4" = 1'-0"



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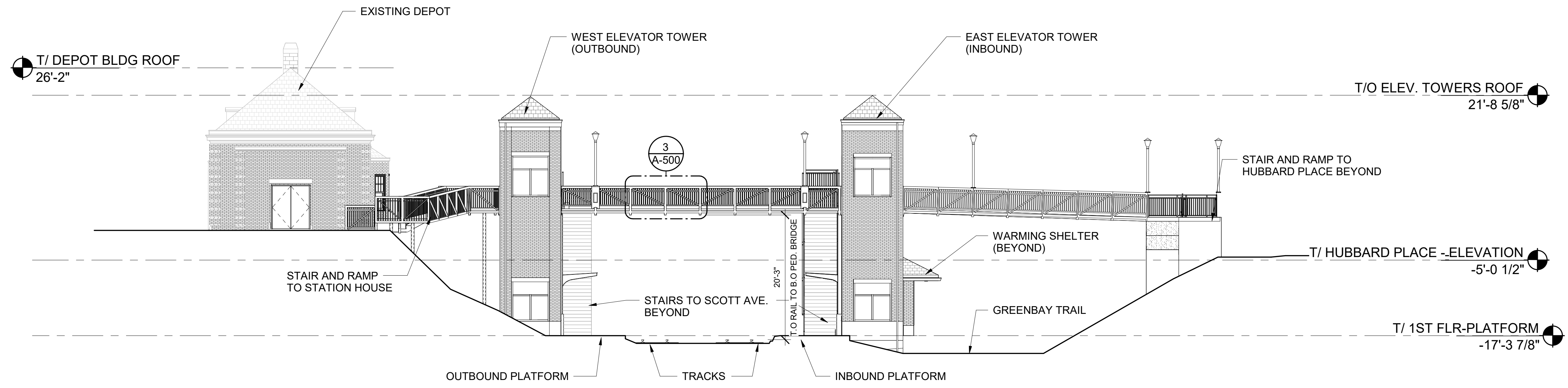
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 CHECKED: K. KORAB
 METRA PM: R. BASARIRAD
 DATE: 07-15-2024

Metra
 ENGINEERING DEPARTMENT
 547 W. JACKSON BOULEVARD
 CHICAGO, ILLINOIS 60661

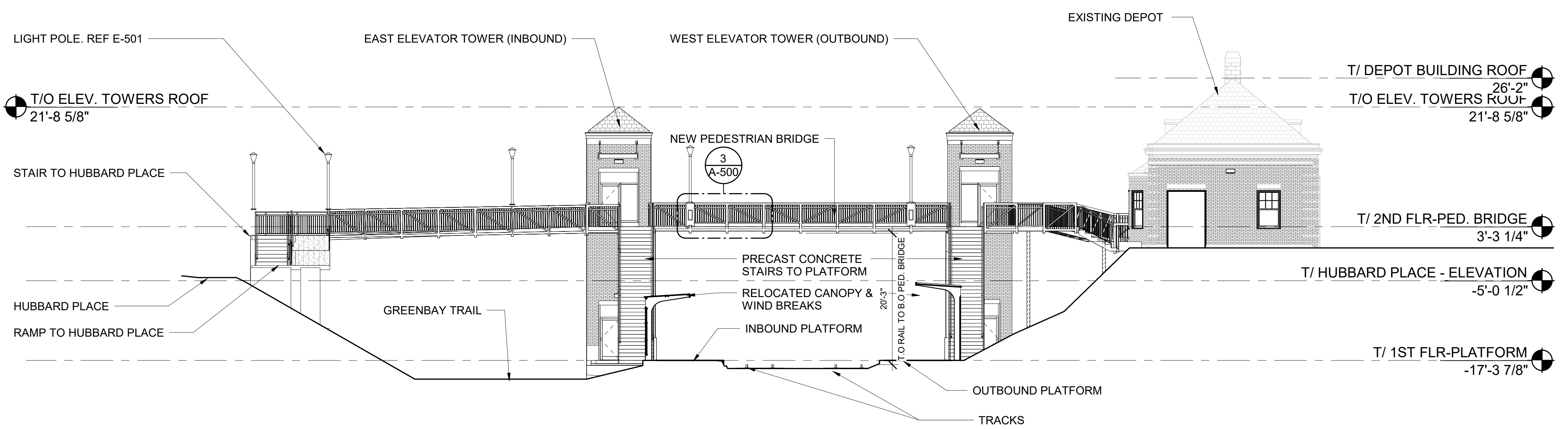
LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
EXTERIOR ELEVATIONS WEST ELEVATOR TOWER

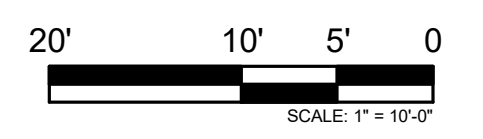
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SCALE: AS INDICATED	SHEET NO. A-202
PROJECT NO: JP5194	
MILE POST NO. UP-N17.70	



1 SITE SECTION
1" = 10'-0"



2 SITE SECTION
1" = 10'-0"



PRINTED ON: 7/12/2024 5:38:50 PM

REV	DATE	BY	APP	DESCRIPTION	REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL					
3	12-14-2021	JH	KJK	90% SUBMITTAL					
2	08-06-2021	NT	VAW	60% SUBMITTAL					
1	07-17-2020	VW	KJK	30% SUBMITTAL					

SUB CONSULTANT



700 N Sangamon
Chicago, IL 60642
312.432.4180
312.432.4184
2024, Muller & Muller, Ltd.

PRIMARY CONSULTANT
SEAL/ SIGNATURE

PRIMARY CONSULTANT:



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TEL: 312-777-2900

DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024

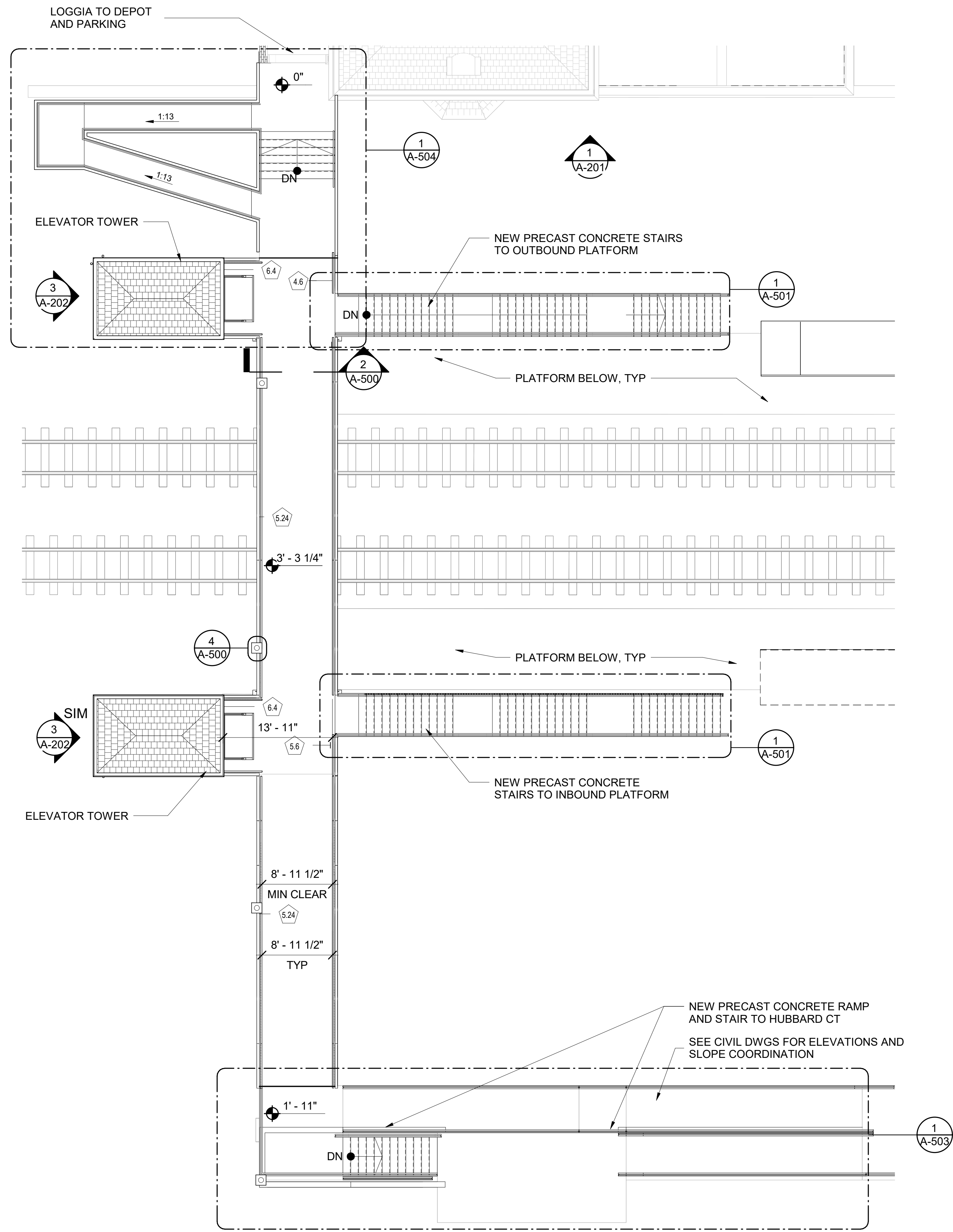


ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

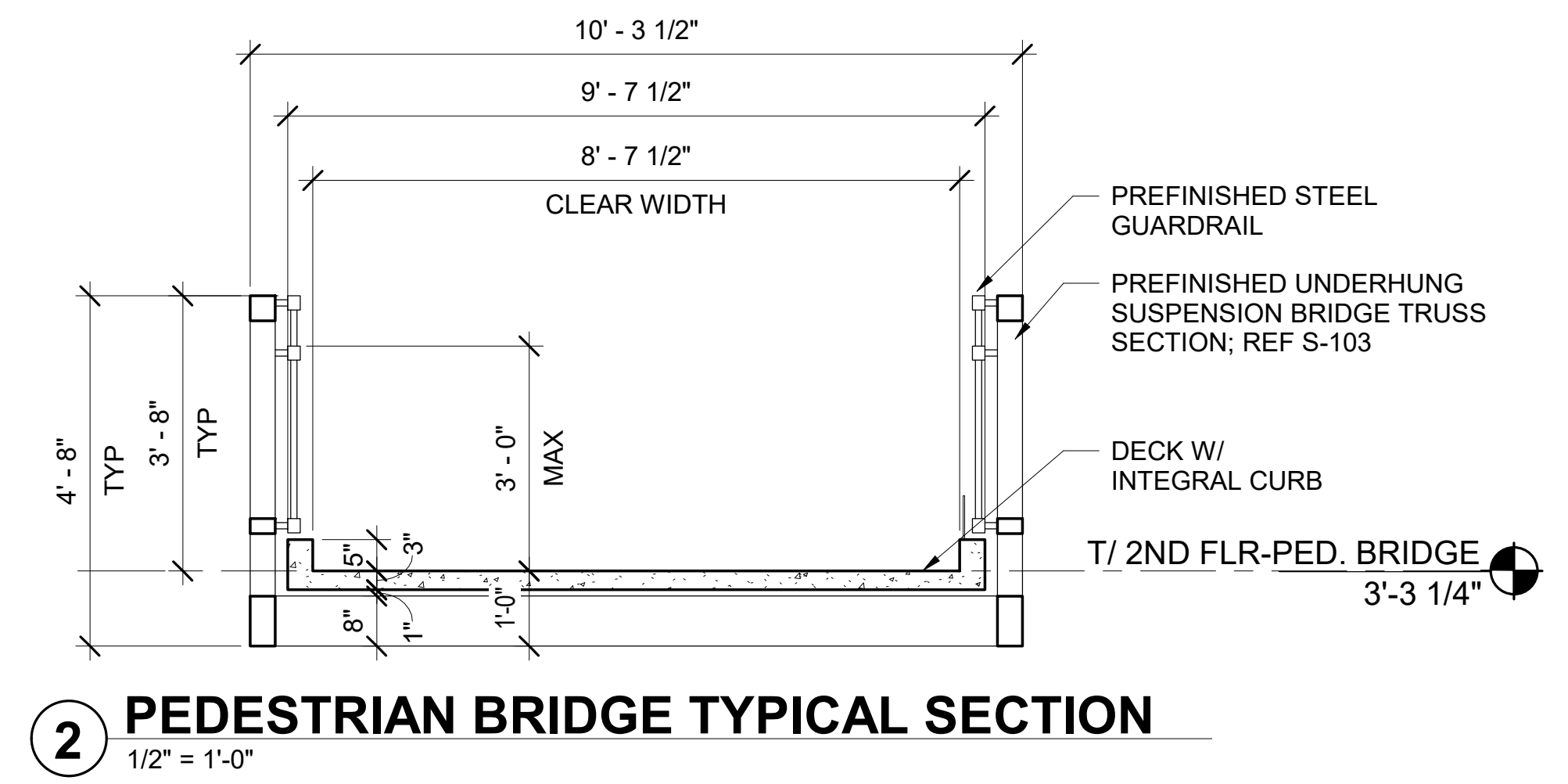
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HUBBARD WOODS STATION

TITLE:
SITE SECTIONS

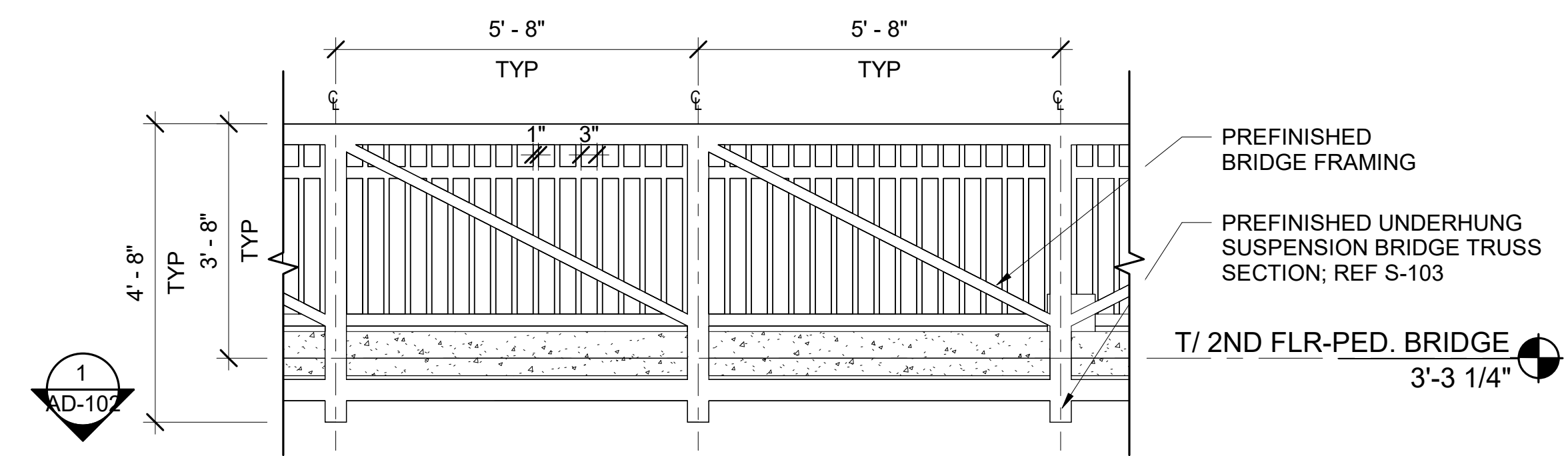
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SCALE: AS INDICATED	SHEET NO. A-300
PROJECT NO: JP5194	
MILE POST NO. UP-N17.70	



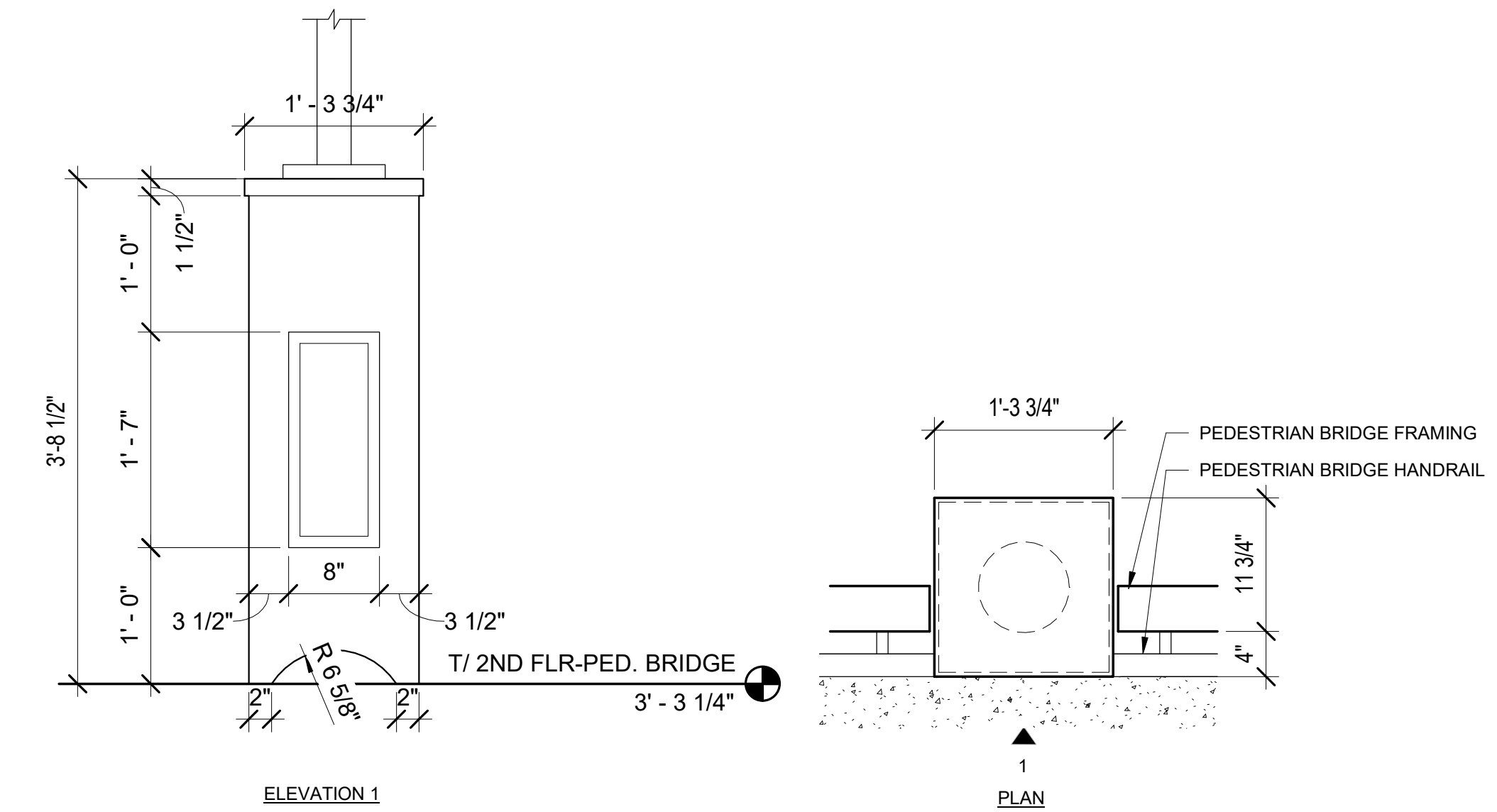
1 ENLARGED PLAN PEDESTRIAN BRIDGE
1/8" = 1'-0"



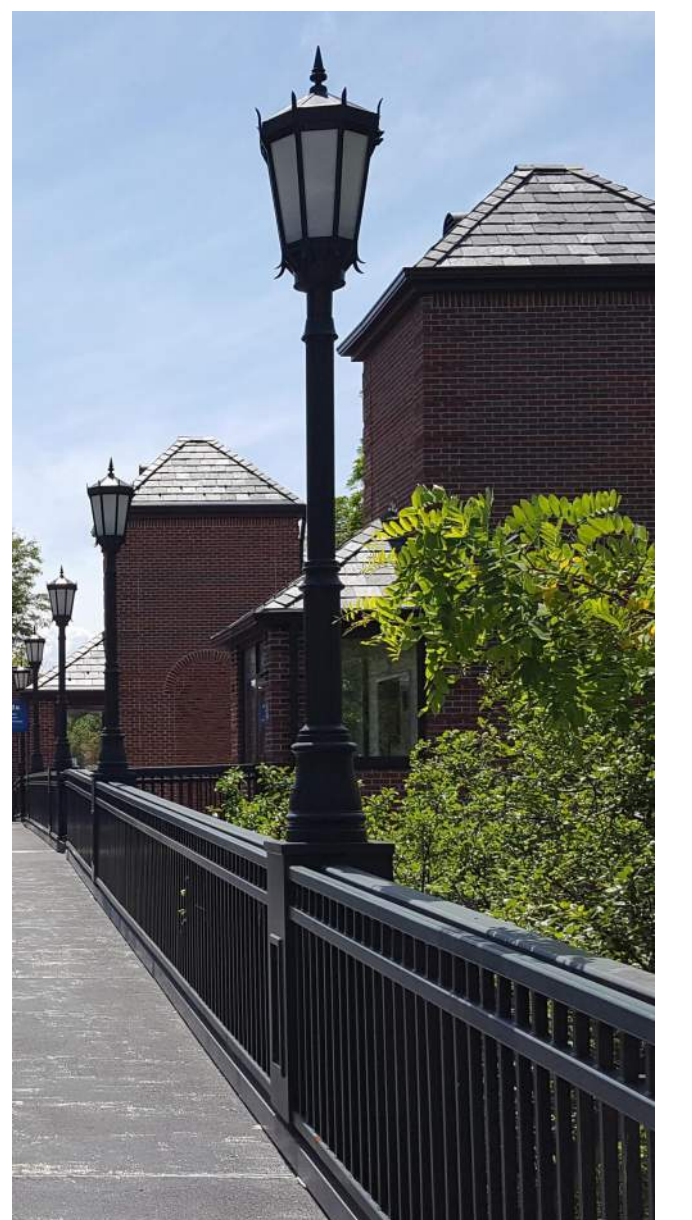
2 PEDESTRIAN BRIDGE TYPICAL SECTION
1/2" = 1'-0"



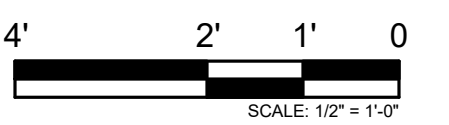
3 PEDESTRIAN BRIDGE TYPICAL RAILING ELEVATION
1/2" = 1'-0"



4 LAMP POST SUPPORT
1" = 1'-0"



LIGHT POST BASE TO MATCH THOSE AT WINNETKA STATION PEDESTRIAN BRIDGE



PRINTED ON: 7/12/2024 5:38:59 PM

REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL
3	12-14-2021	JH	KJK	90% SUBMITTAL
2	08-06-2021	NT	VAW	60% SUBMITTAL
1	07-17-2020	VW	KJK	30% SUBMITTAL

SUB CONSULTANT

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 700 N Sangamon
 Chicago, IL 60642
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 312.432.4184
 2024, Muller & Muller, Ltd.

PRIMARY CONSULTANT
 SEAL/SIGNATURE

PRIMARY CONSULTANT:
TYLin
 200 S. WACKER DR. SUITE 1400
 CHICAGO, IL 60606
 TEL: 312-777-2900

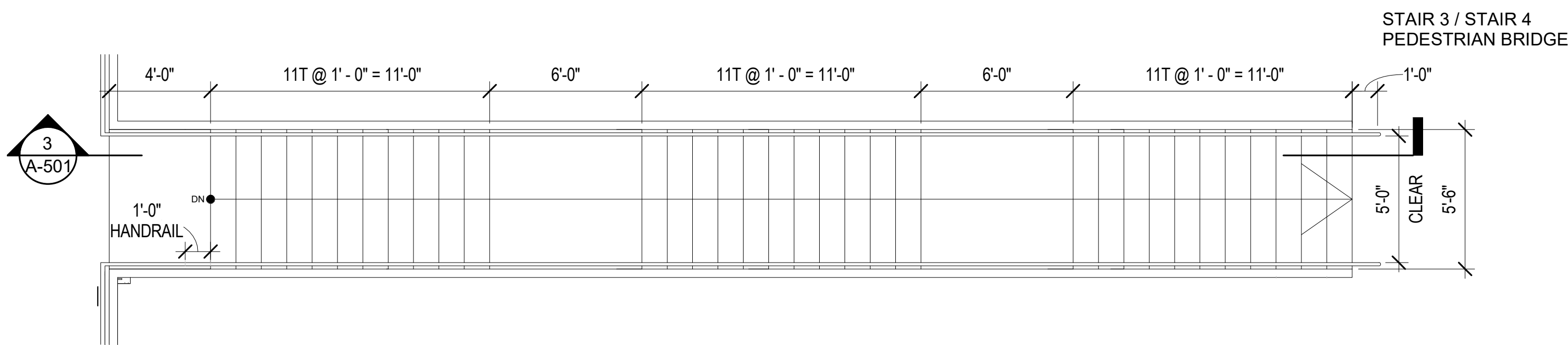
DESIGNED: V.WIEGAND
 DRAWN: V.WIEGAND
 CHECKED: K.KORAB
 METRA PM: R.BASARIRAD
 DATE: 07-15-2024


 ENGINEERING DEPARTMENT
 547 W. JACKSON BOULEVARD
 CHICAGO, ILLINOIS 60661

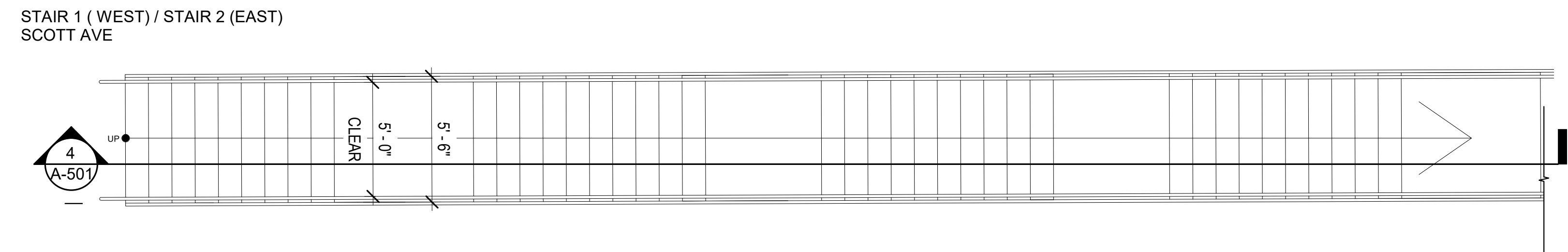
LOCATION NAME:
HUBBARD WOODS STATION
 TITLE:
**ENLARGED PEDESTRIAN BRIDGE PLANS, SECTIONS,
 ELEVATIONS & DETAILS**

CAD FILE NUMBER:
 UP-N17.70_A-500.dgn
 SCALE:
 AS INDICATED
 PROJECT NO:
 JP5194
 MILE POST NO.
 UP-N17.70

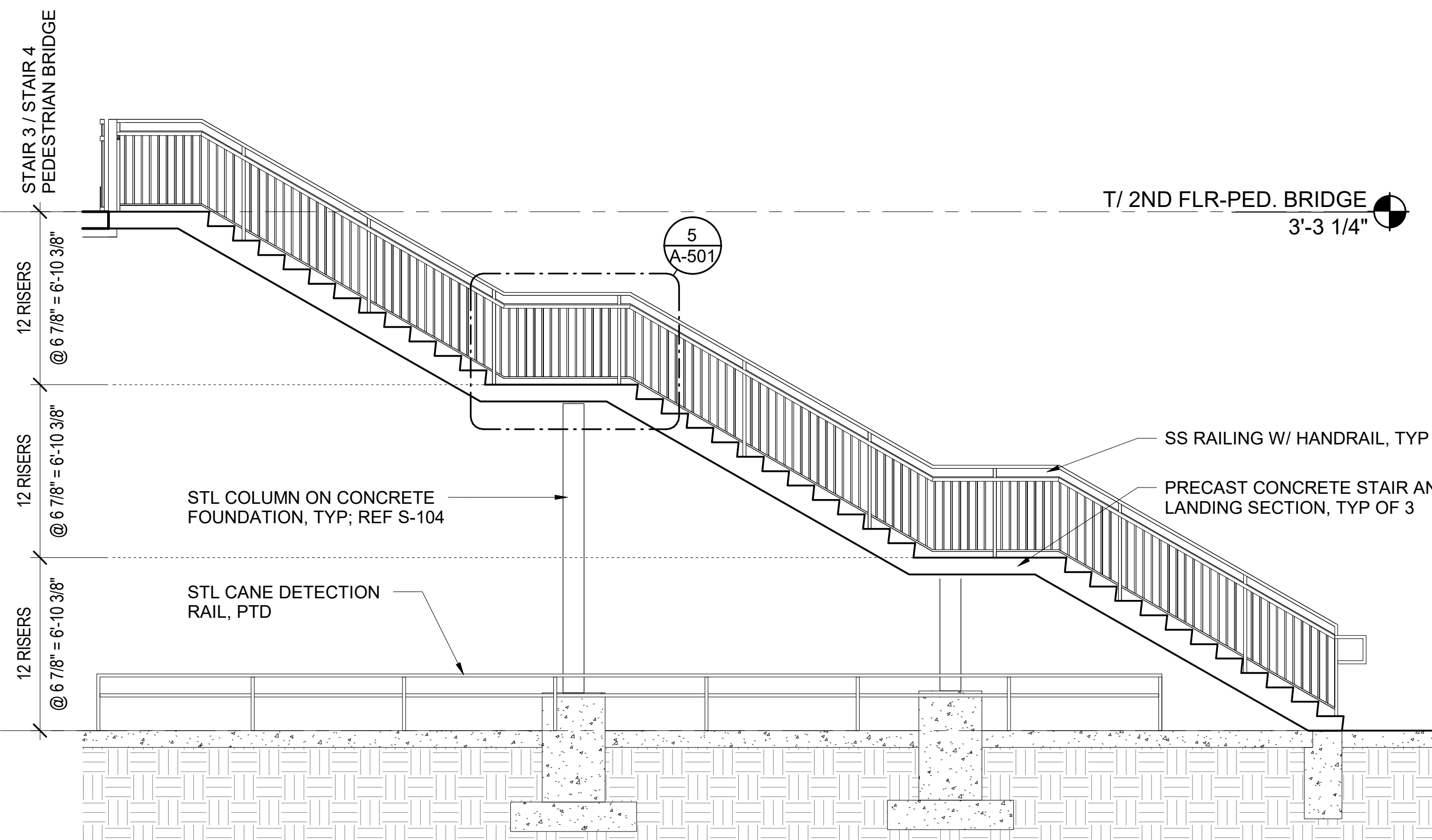
DISTRICT:
 UP-N
 SHEET NO.
A-500



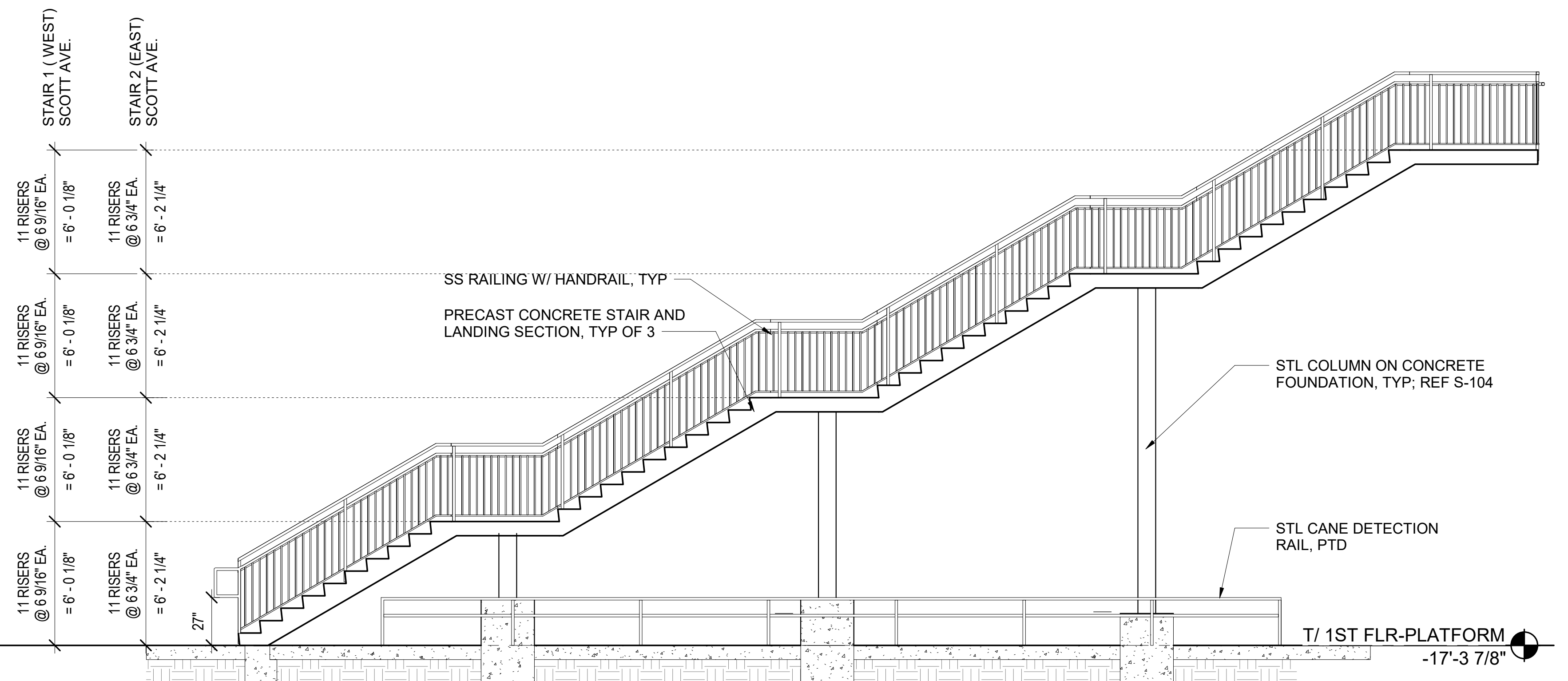
1 PLATFORM STAIRS PLAN
1/4" = 1'-0"



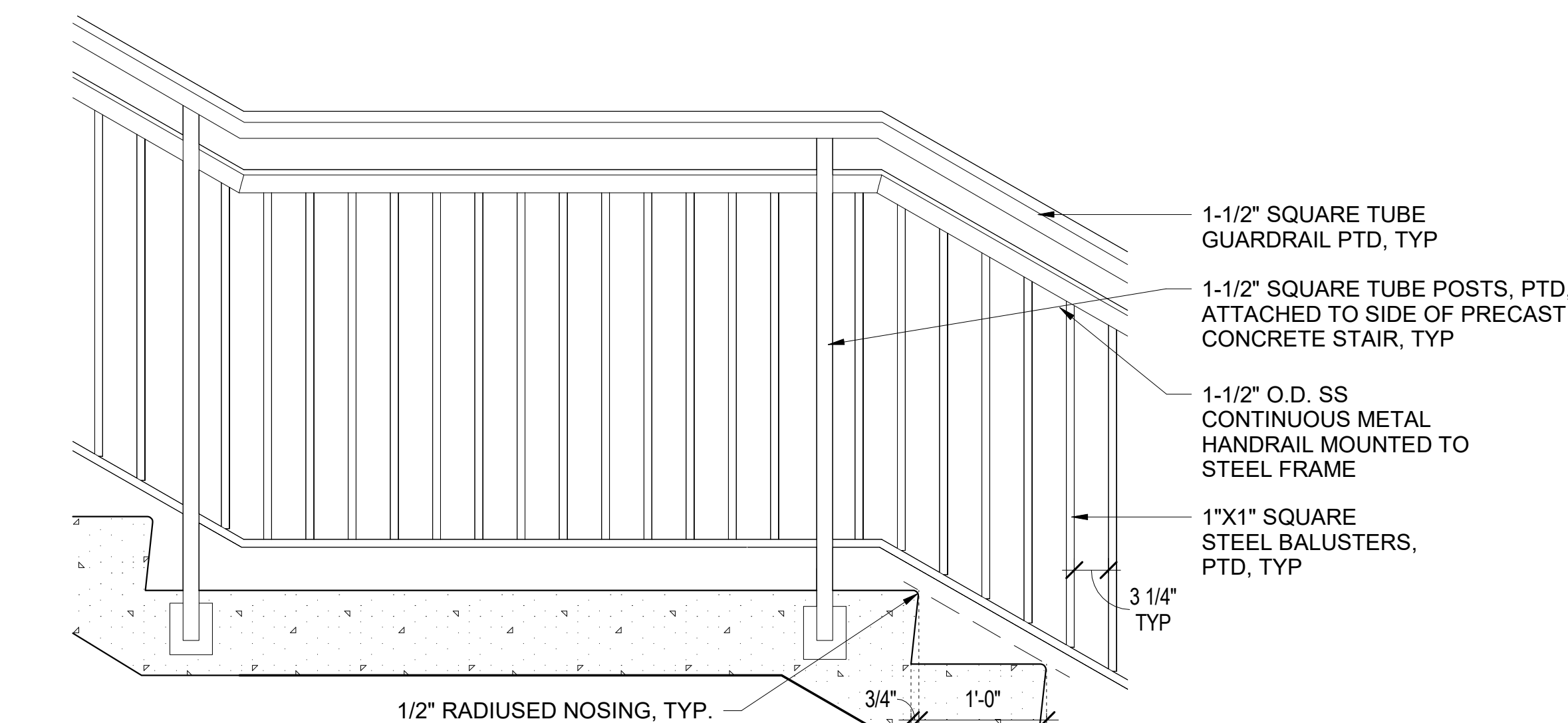
2 SCOTT AVE. STAIRS PLAN
1/4" = 1'-0"



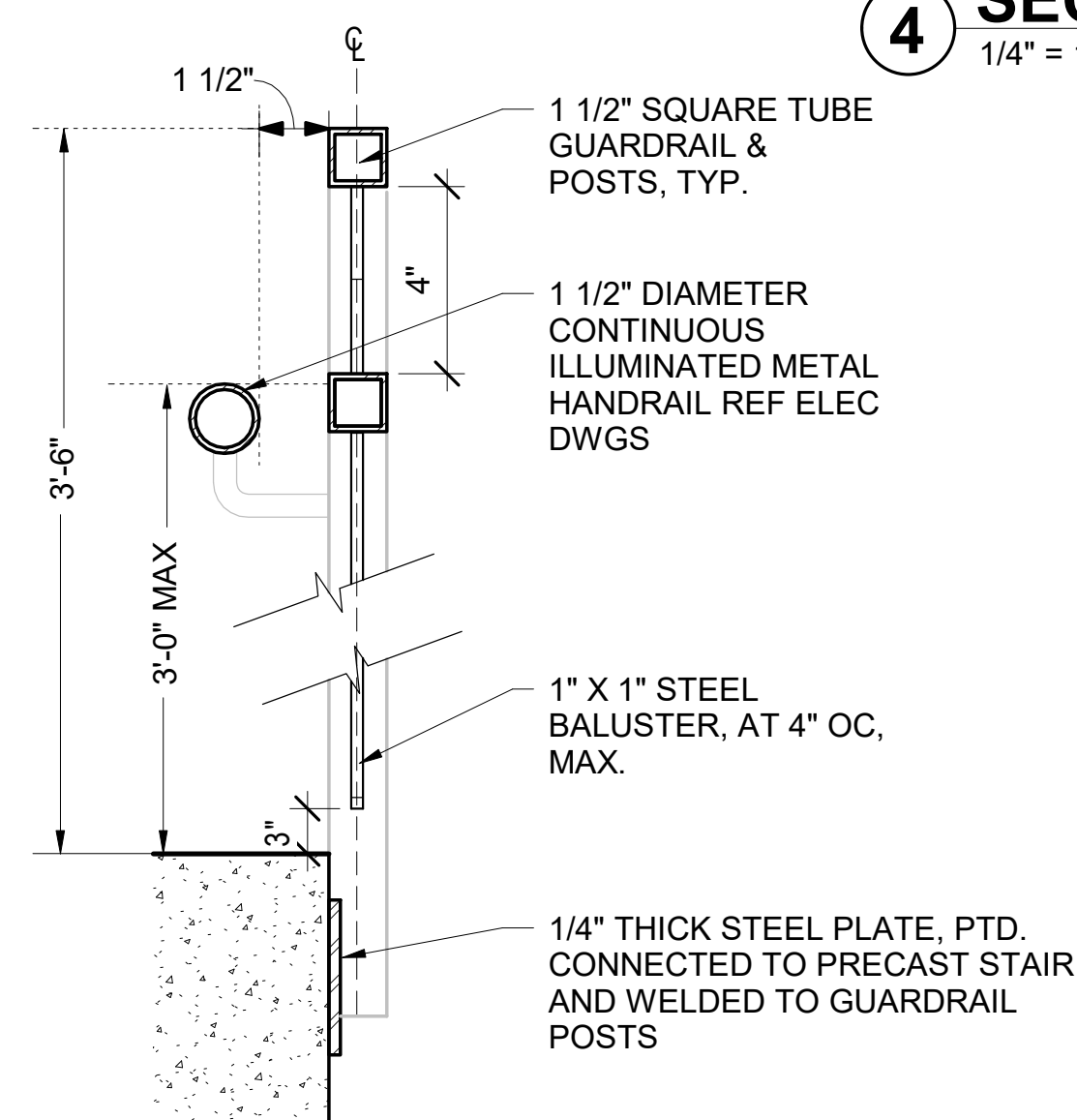
3 SECTION AT PLATFORM TYPICAL STAIR
1/4" = 1'-0"



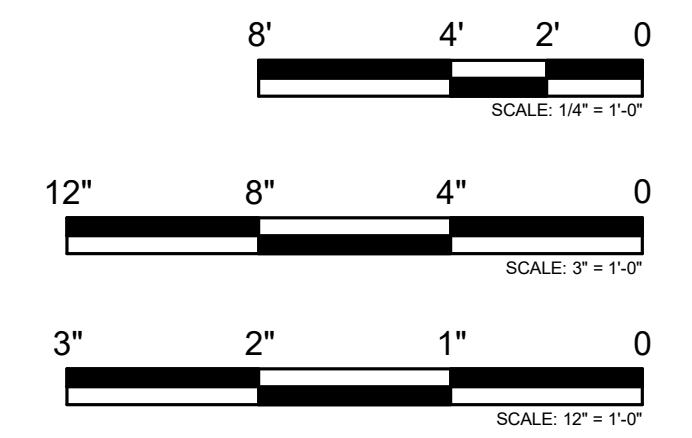
4 SECTION AT SCOTT AVE TYPICAL STAIR
1/4" = 1'-0"



5 TYPICAL GUARDRAIL ELEVATION
1" = 1'-0"



6 TYPICAL GUARDRAIL DETAIL @ PLATFORM STAIRS
3" = 1'-0"



PRINTED ON: 7/12/2024 5:39:00 PM

REV	DATE	BY	APP	DESCRIPTION	REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL					
3	12-14-2021	JH	KJK	90% SUBMITTAL					
2	08-06-2021	NT	VAW	60% SUBMITTAL					
1	07-17-2020	VW	KJK	30% SUBMITTAL					

SUB CONSULTANT

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PRIMARY CONSULTANT
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PRIMARY CONSULTANT:

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DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024

ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
ENLARGED STAIR PLANS, SECTIONS & DETAILS

CAD FILE NUMBER:
UP-N17.70_A-501.dgn

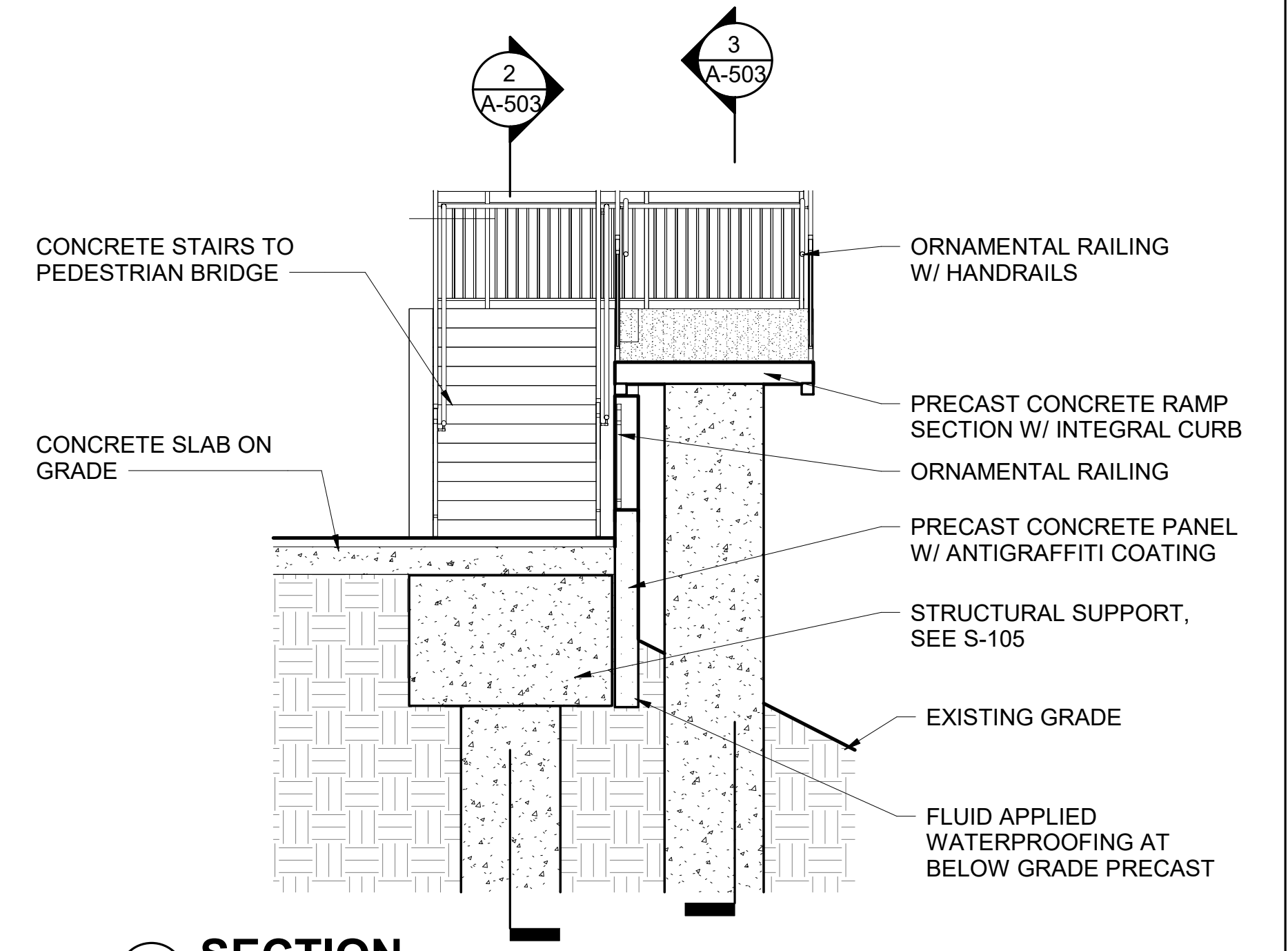
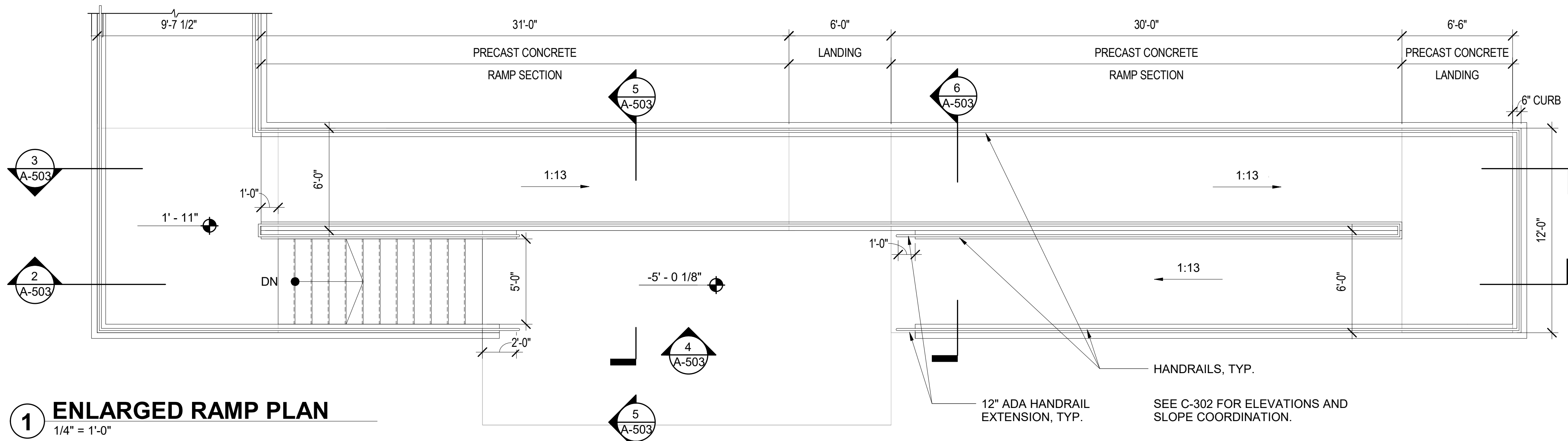
SCALE:
AS INDICATED

PROJECT NO:
JP5194

MILE POST NO.
UP-N17.70

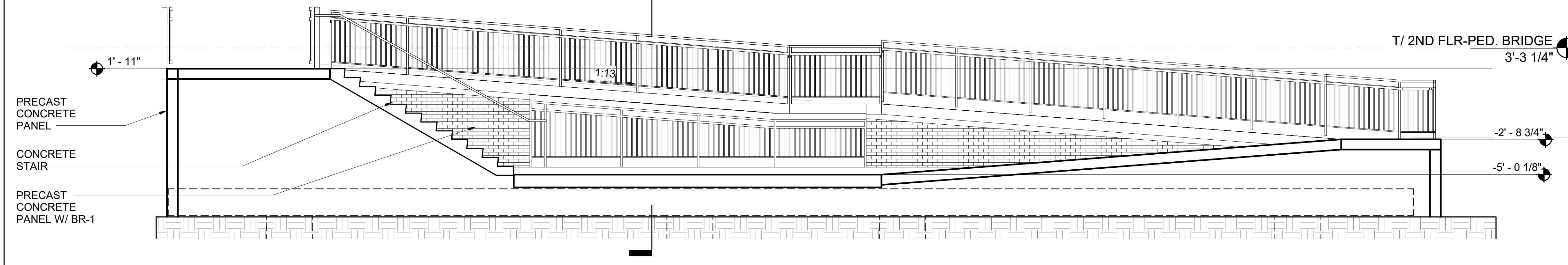
DISTRICT:
UP-N

SHEET NO.
A-501

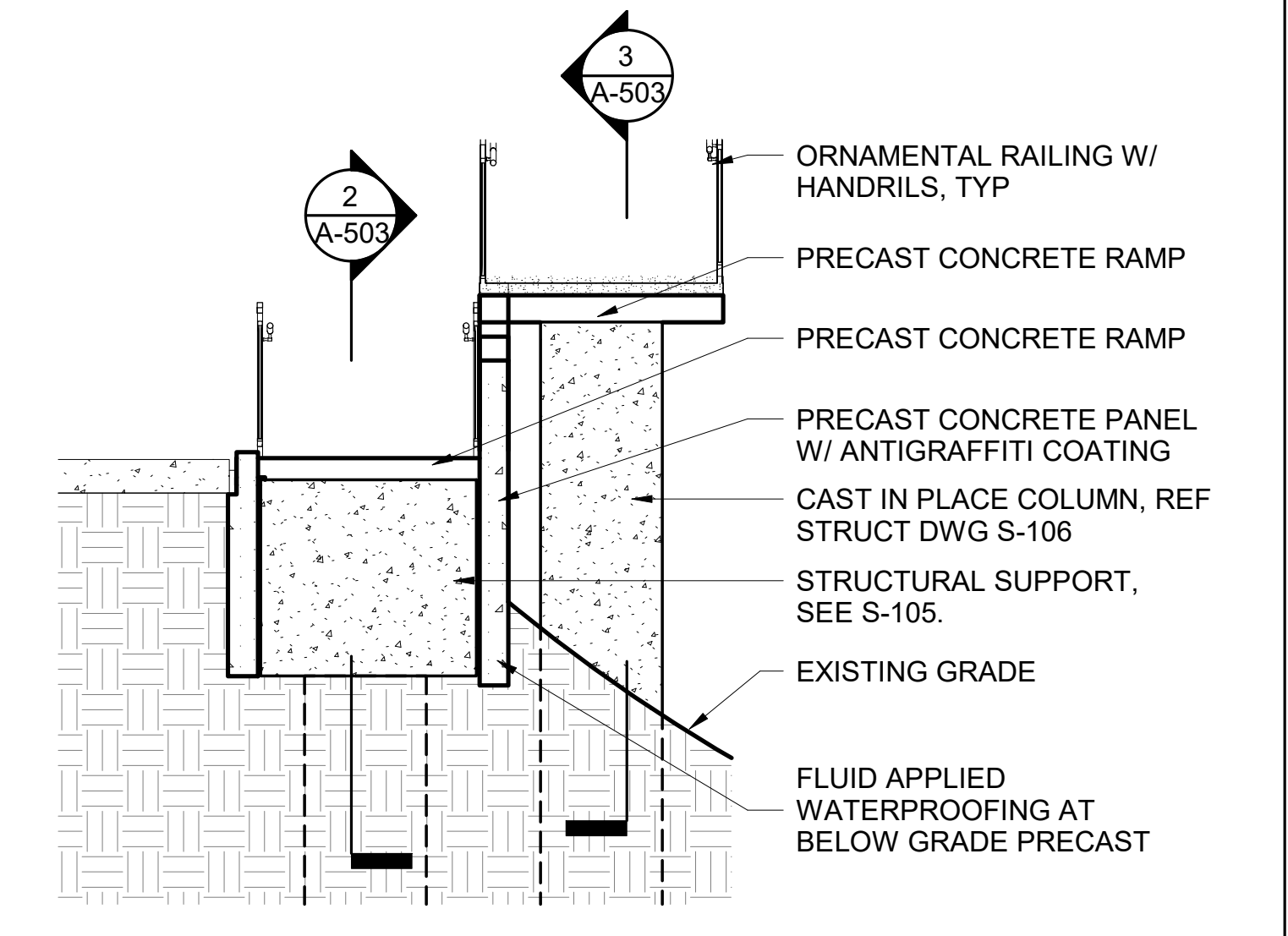


1 ENLARGED RAMP PLAN
1/4" = 1'-0"

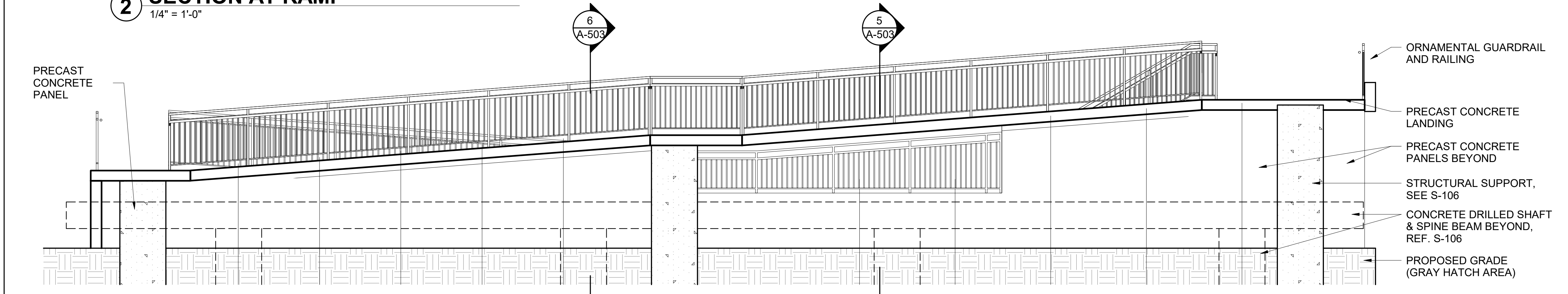
5 SECTION
1/4" = 1'-0"



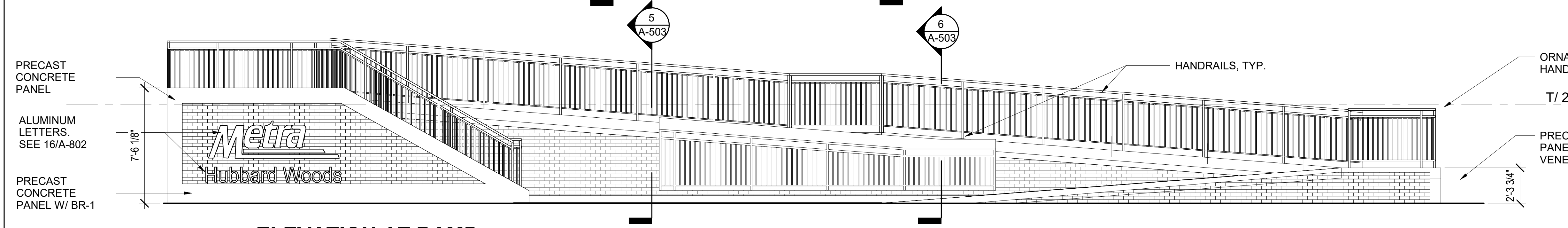
2 SECTION AT RAMP
1/4" = 1'-0"



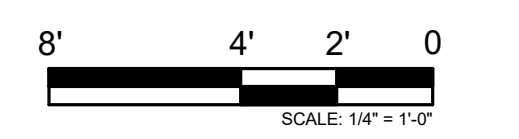
6 SECTION
1/4" = 1'-0"



3 SECTION AT RAMP
1/4" = 1'-0"



4 ELEVATION AT RAMP
1/4" = 1'-0"



REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL
3	12-14-2021	JH	KJK	90% SUBMITTAL
2	08-06-2021	NT	VAW	60% SUBMITTAL
1	07-17-2020	VW	KJK	30% SUBMITTAL

SUB CONSULTANT



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312.432.4184
2024, Muller & Muller, Ltd.

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PRIMARY CONSULTANT:



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TEL: 312-777-2900

DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024



ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
ENLARGED RAMP PLAN, SECTIONS & DETAILS

CAD FILE NUMBER:
UP-N17.70_A-503.dgn

SCALE:
AS INDICATED

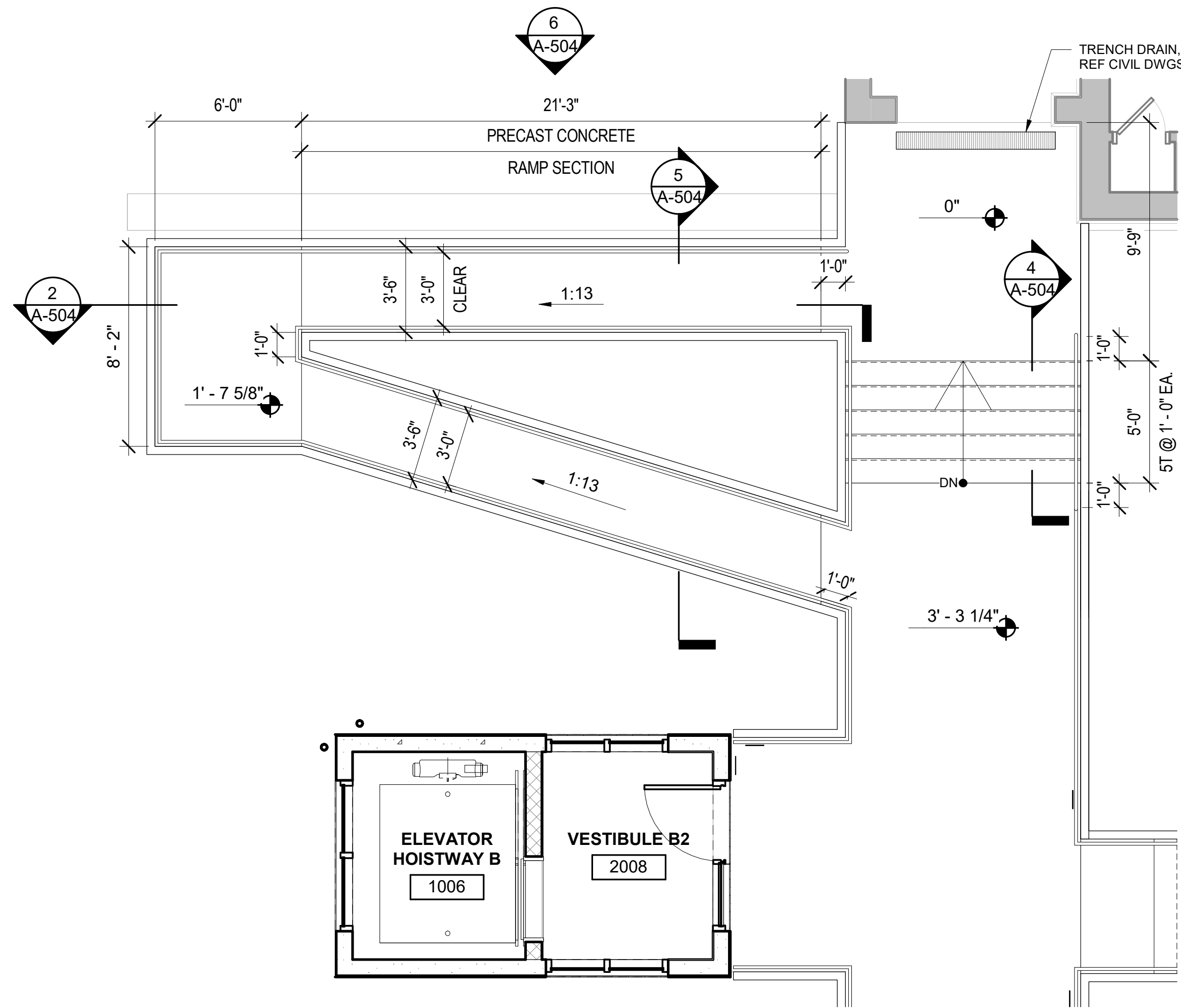
PROJECT NO:
JP5194

MILE POST NO.
UP-N17.70

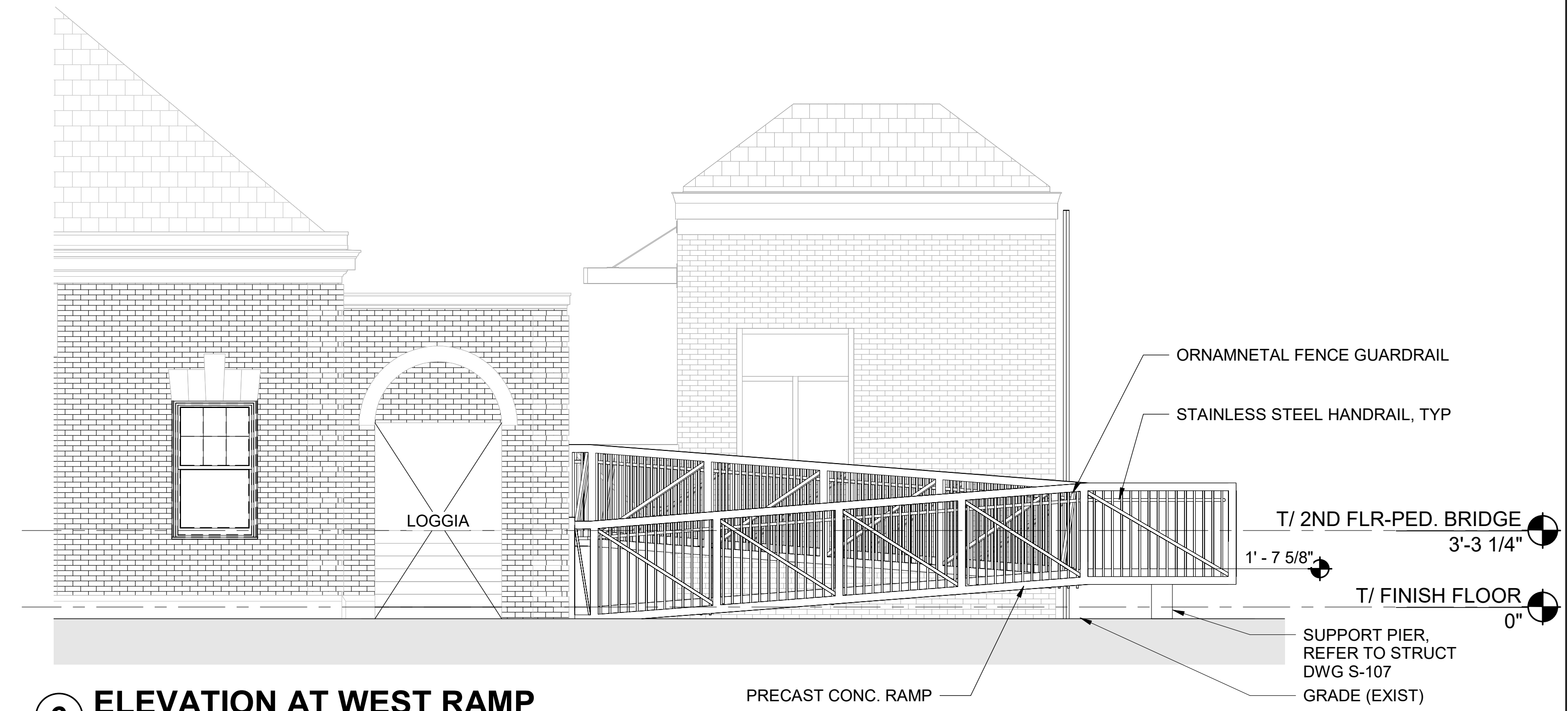
DISTRICT:
UP-N

SHEET NO.
A-503

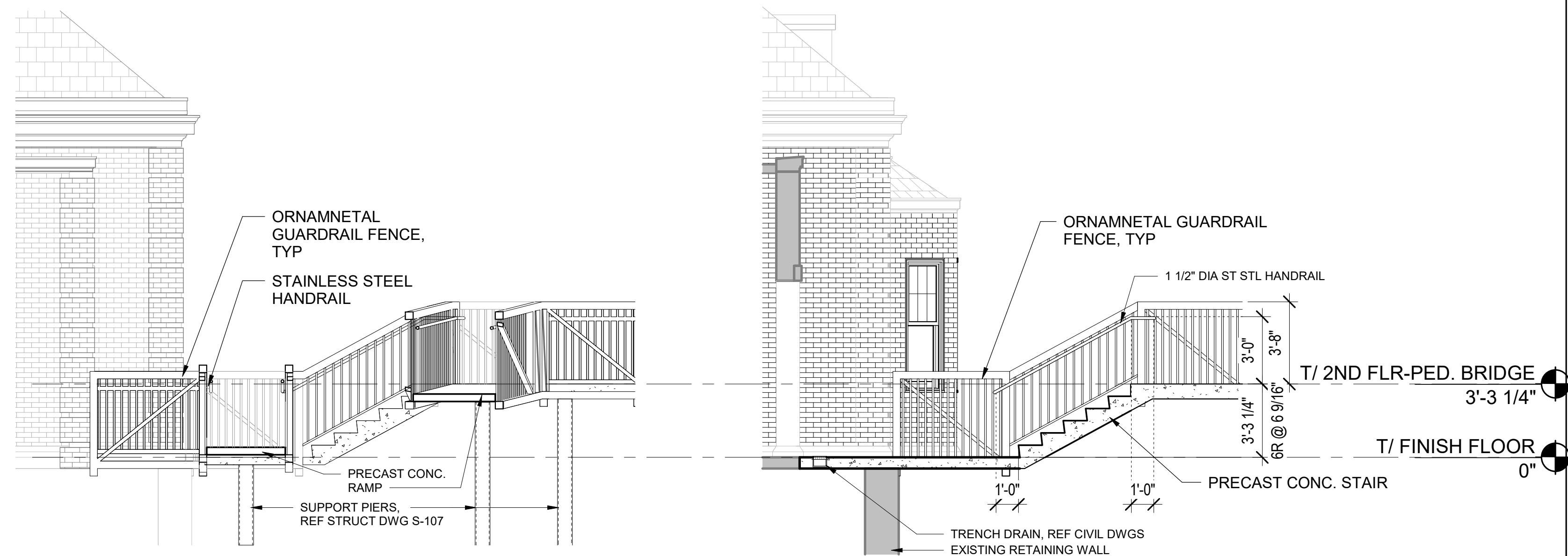
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1 ENLARGED WEST RAMP PLAN
1/4" = 1'-0"

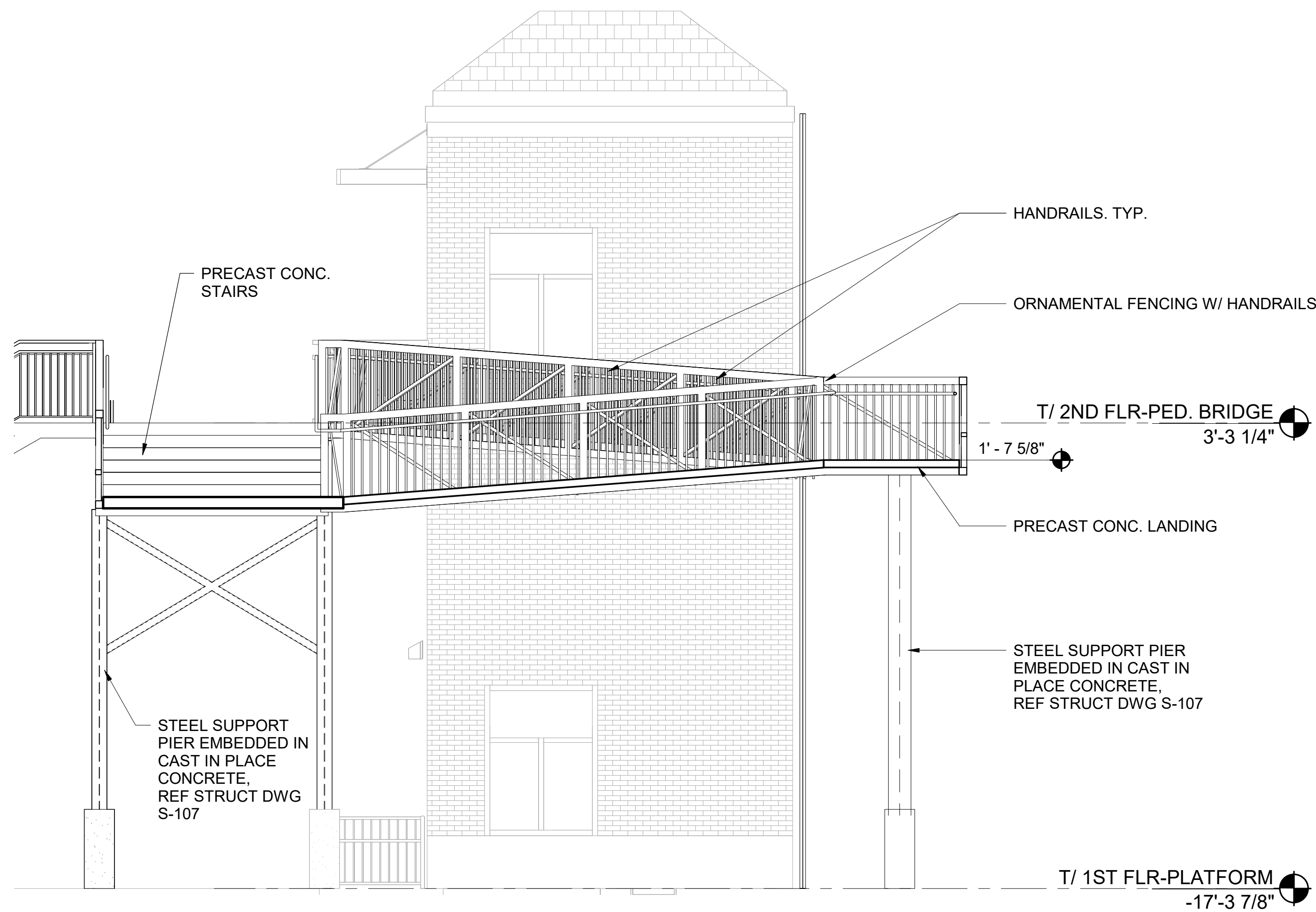


6 ELEVATION AT WEST RAMP
1/4" = 1'-0"

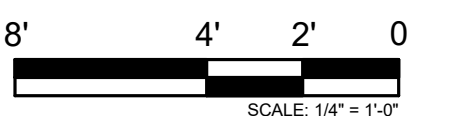


5 SECTION THROUGH WEST RAMP
1/4" = 1'-0"

4 SECTION THROUGH WEST STAIR
1/4" = 1'-0"



2 SECTION AT WEST RAMP
1/4" = 1'-0"



PRINTED ON: 7/12/2024 5:38:03 PM

REV	DATE	BY	APP	DESCRIPTION	REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL					
3	12-14-2021	JH	KJK	90% SUBMITTAL					
2	08-06-2021	NT	VAW	60% SUBMITTAL					
1	07-17-2020	VW	KJK	30% SUBMITTAL					

SUB CONSULTANT

MULLER
2024, Muller & Muller, Ltd.

700 N Sangamon
Chicago, IL 60642
312.432.4180
312.432.4184

PRIMARY CONSULTANT
SEAL/ SIGNATURE

PRIMARY CONSULTANT:

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200 S. WACKER DR. SUITE 1400
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TEL: 312-777-2900

DESIGNED: V.WIEGAND
DRAWN: V.WIEGAND
CHECKED: K.KORAB
METRA PM: R.BASARIRAD
DATE: 07-15-2024

ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
ENLARGED RAMP PLAN, SECTIONS & DETAILS

CAD FILE NUMBER:
UP-N17.70_A-504.dgn

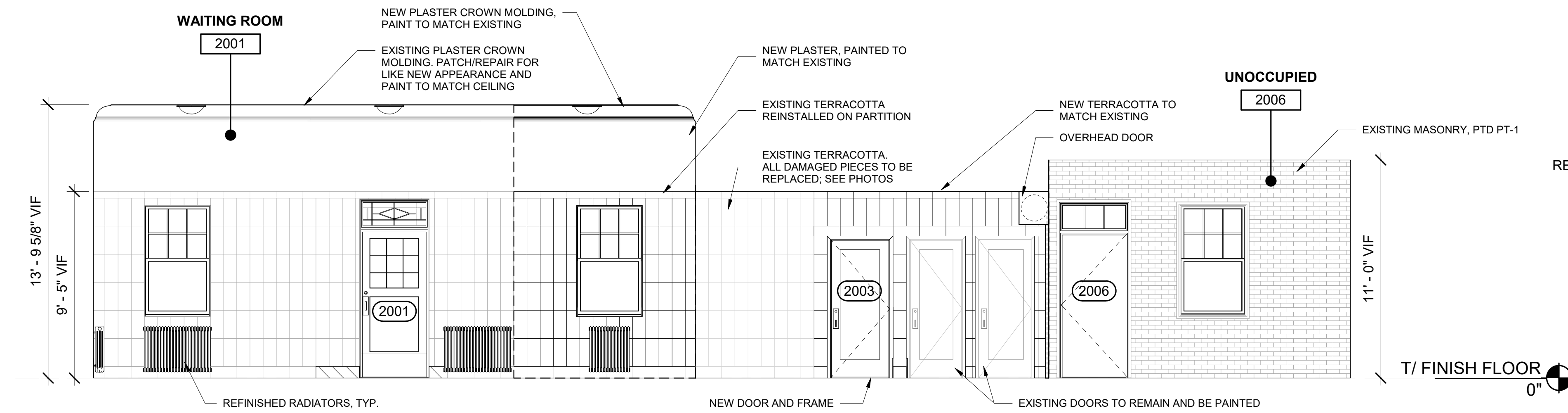
SCALE:
AS INDICATED

PROJECT NO.:
JP5194

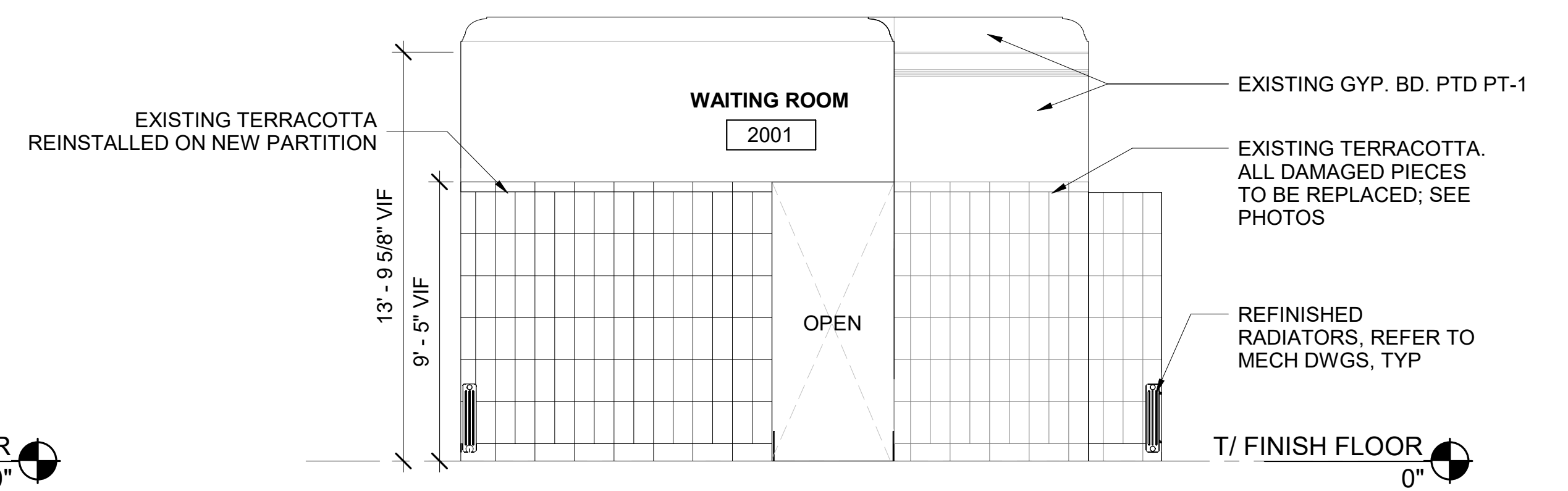
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UP-N17.70

DISTRICT:
UP-N

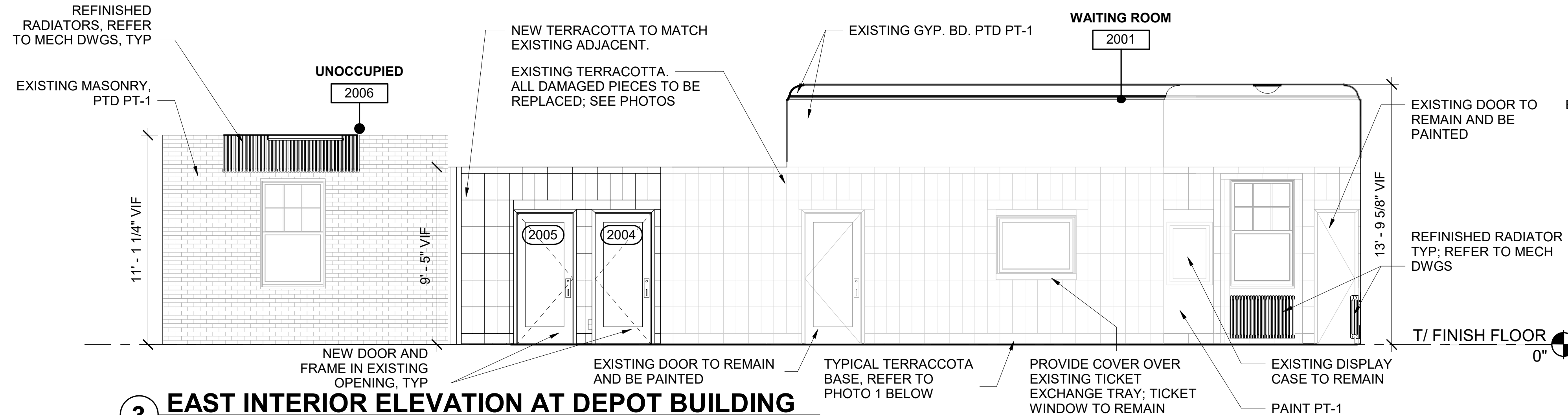
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A-504



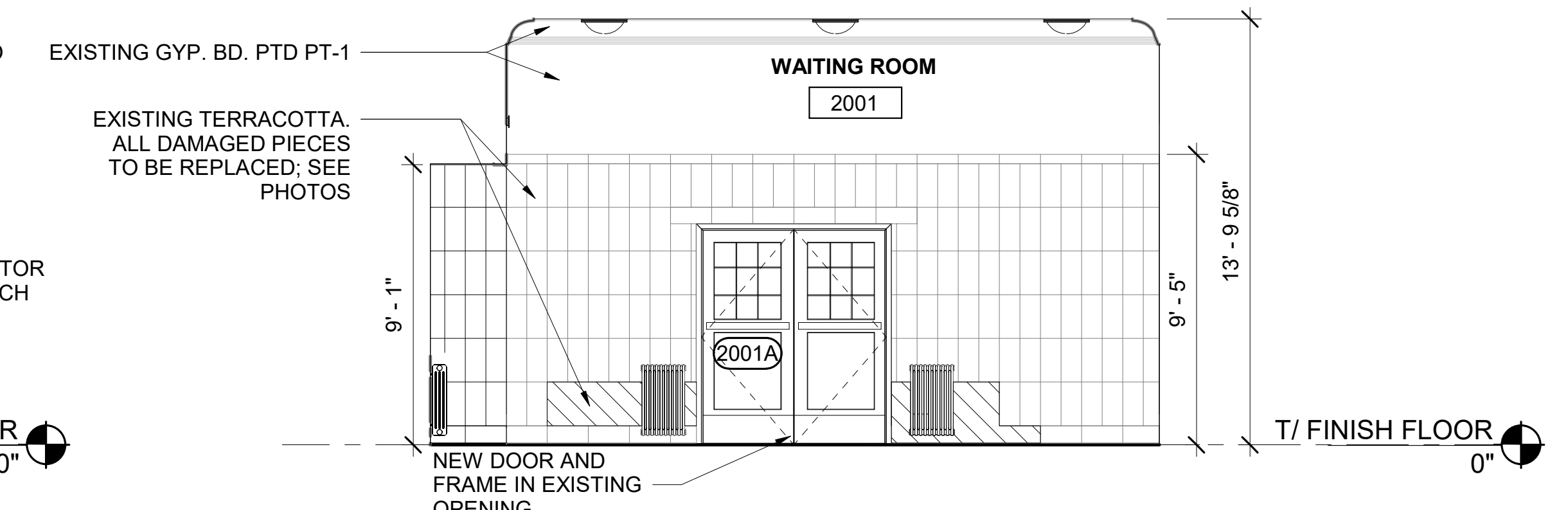
1 WEST INTERIOR ELEVATION AT DEPOT BUILDING
1/4" = 1'-0"



2 NORTH INTERIOR ELEVATION AT DEPOT BUILDING
1/4" = 1'-0"



3 EAST INTERIOR ELEVATION AT DEPOT BUILDING
1/4" = 1'-0"



4 SOUTH INTERIOR ELEVATION AT DEPOT BUILDING
1/4" = 1'-0"

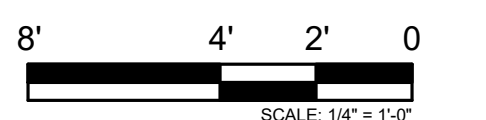
5 DAMAGED TERRACOTTA PHOTOS
1/4" = 1'-0"

LEGEND

TERRACOTTA REQUIRING REPLACEMENT AND/OR REPAIR

GENERAL NOTES

- MATERIAL FINISH LEGEND, SEE SHEET A-700.
- DOOR SCHEDULE, SEE SHEET A-600.
- REFER TO SHEET A-605 FOR PARTITION TYPES AND DETAILS



PRINTED ON: 7/12/2024 5:38:11 PM

REV	DATE	BY	APP	DESCRIPTION
4	07/15/2024	MB	VAW	90% RESUBMITTAL
3	12-14-2021	JH	KJK	90% SUBMITTAL
2	08-06-2021	NT	VAW	60% SUBMITTAL
1	07-17-2020	VW	KJK	30% SUBMITTAL

SUB CONSULTANT

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Chicago, IL 60642
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312.432.4184
2024, Muller & Muller, Ltd.

PRIMARY CONSULTANT
SEAL/ SIGNATURE

PRIMARY CONSULTANT:

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TEL: 312-777-2900

DESIGNED: V. WIEGAND
DRAWN: V. WIEGAND
CHECKED: K. KORAB
METRA PM: R. BASARIRAD
DATE: 07-15-2024

ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME:
HUBBARD WOODS STATION

TITLE:
INTERIOR ELEVATIONS DEPOT

CAD FILE NUMBER:
UP-N17.70_A-505.dgn

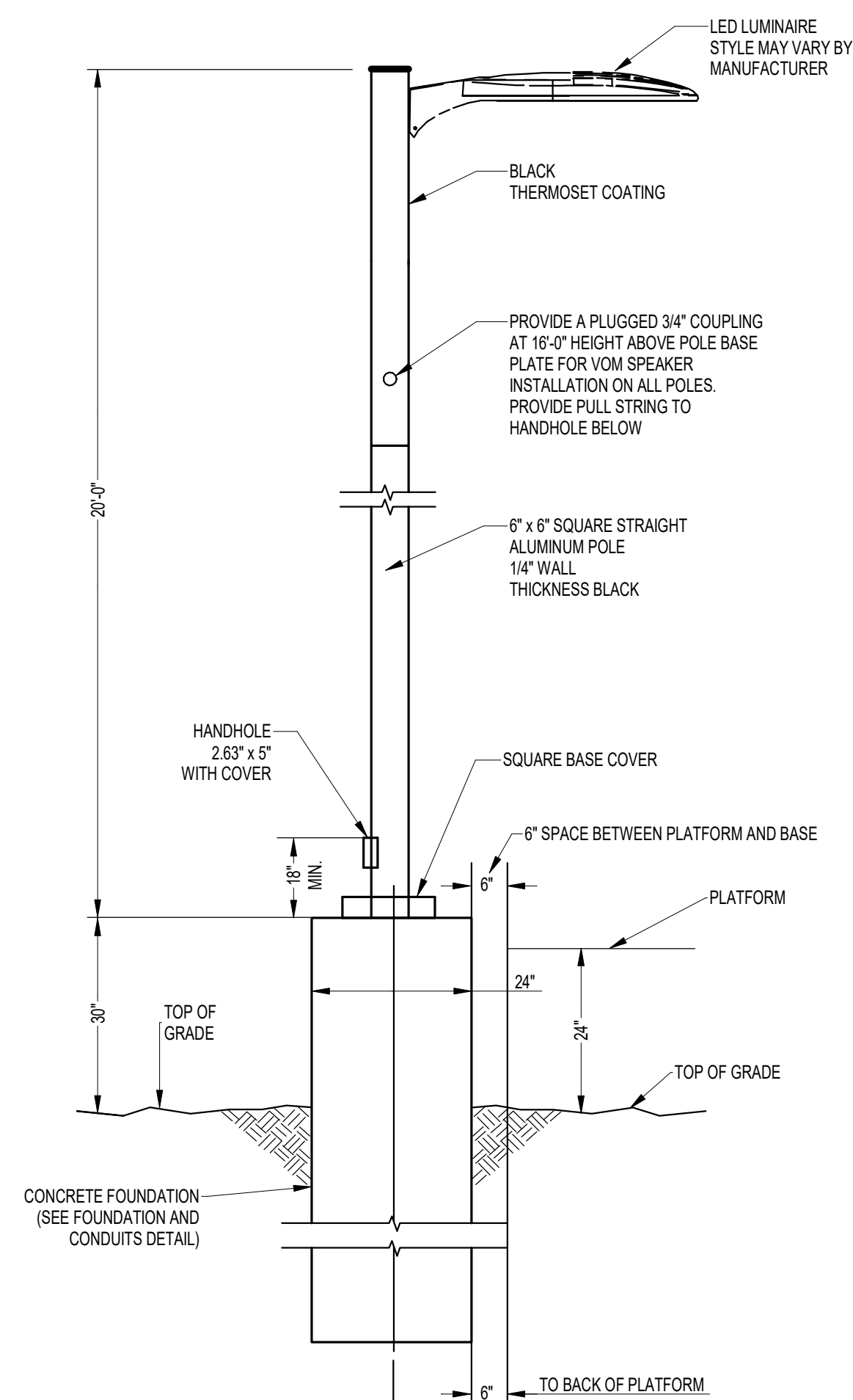
SCALE:
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PROJECT NO:
JP5194

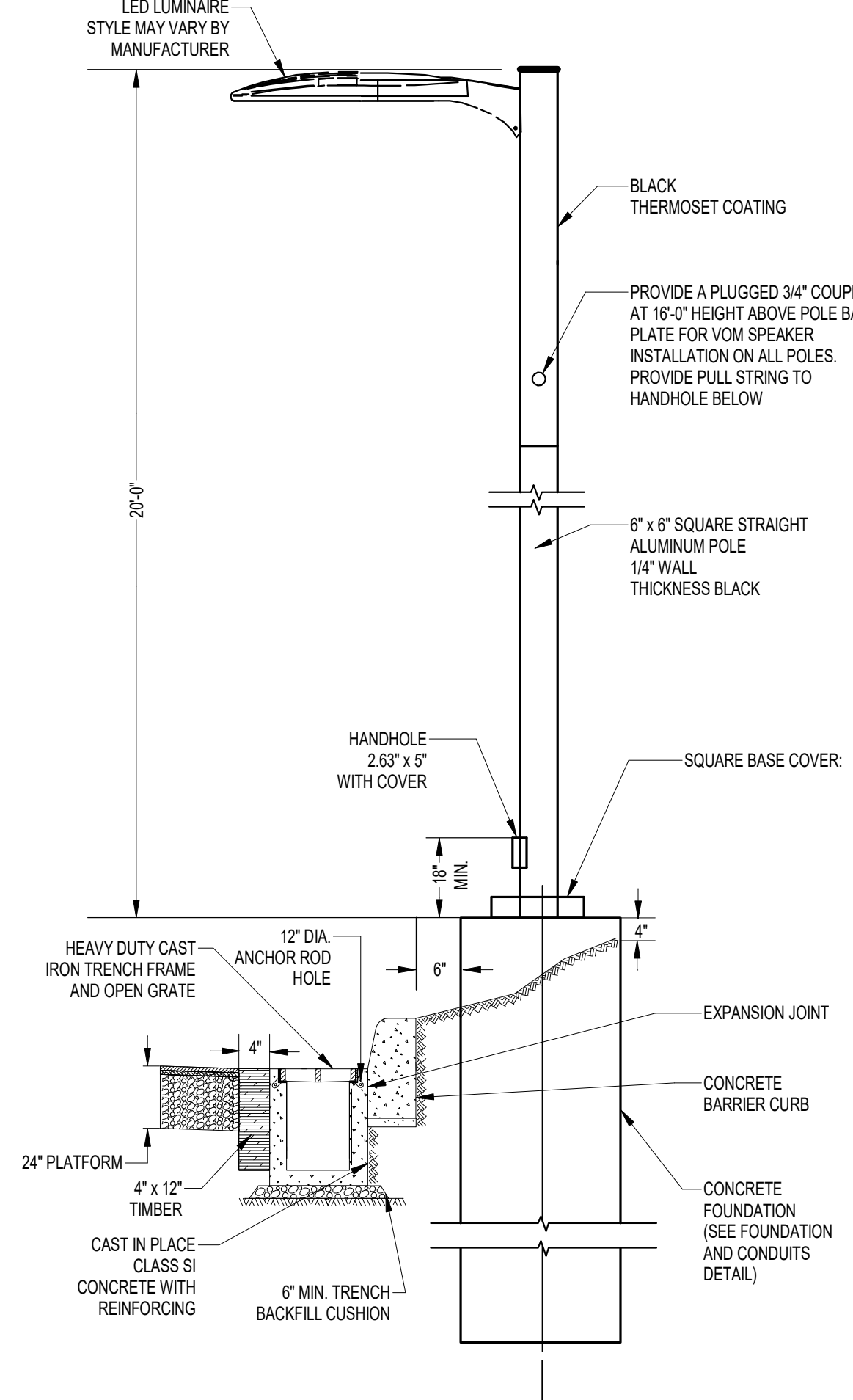
MILE POST NO.
UP-N17.70

DISTRICT:
UP-N

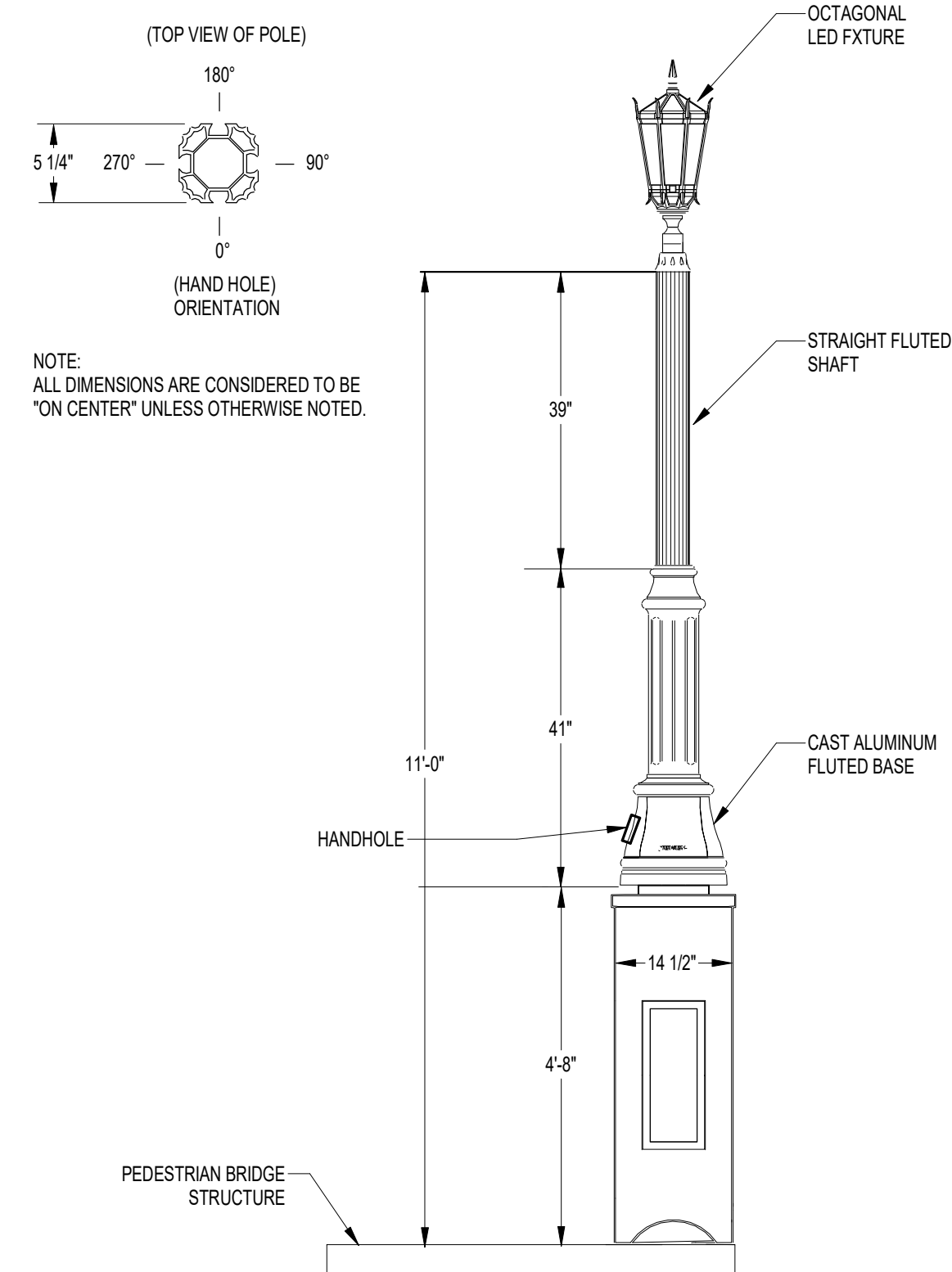
SHEET NO.
A-505



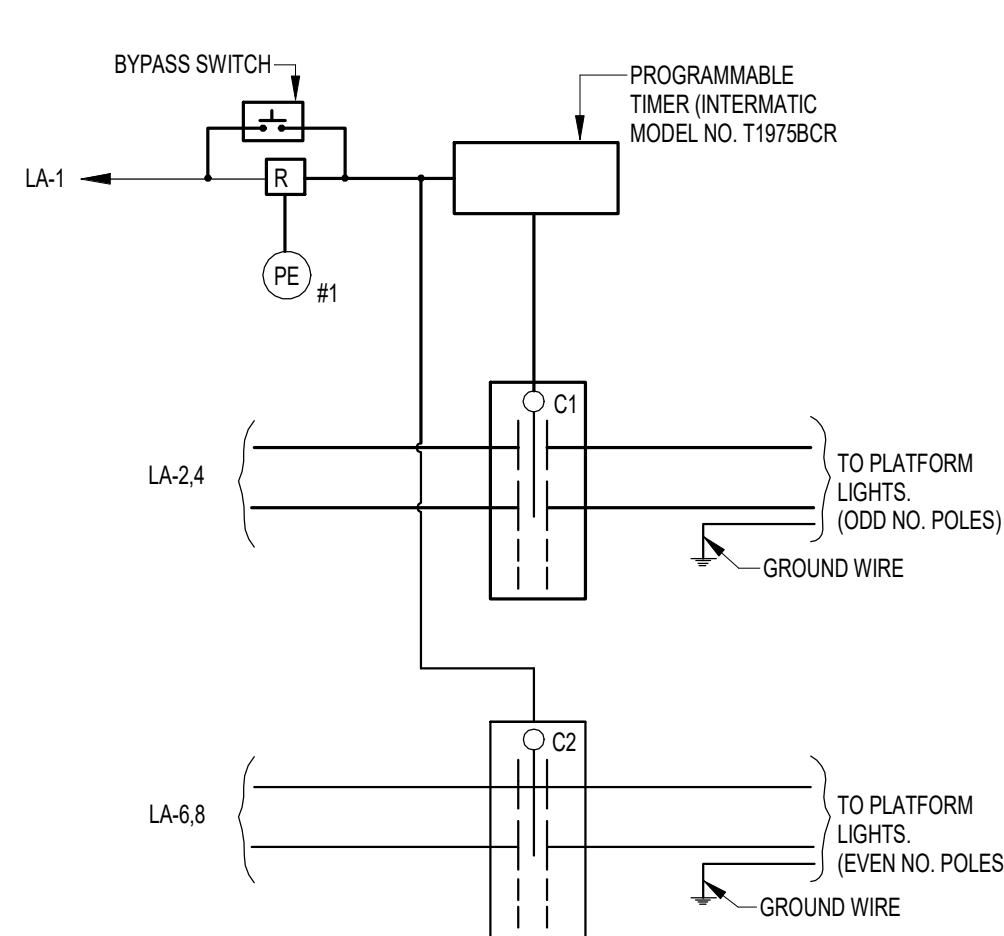
1 EAST PLATFORM LIGHT POLE DETAIL
3" = 1'-0"



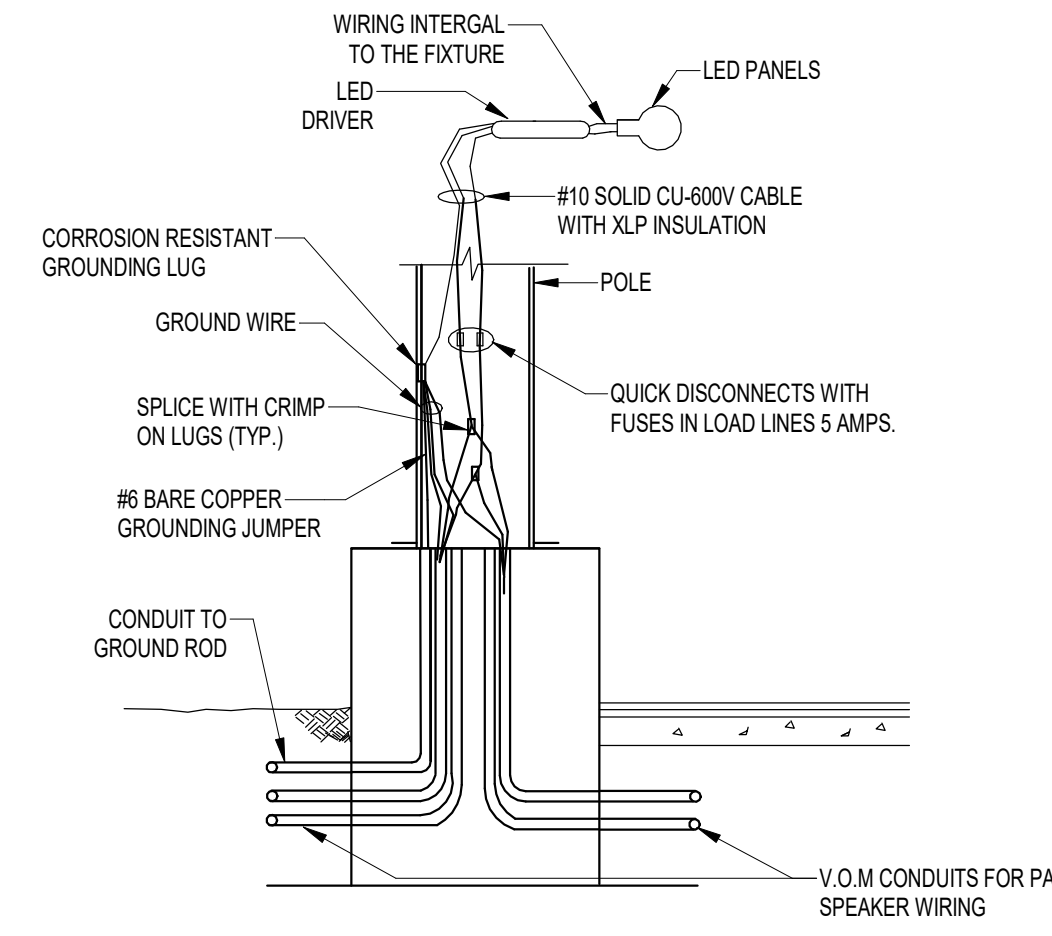
2 WEST PLATFORM LIGHT POLE DETAIL
3" = 1'-0"



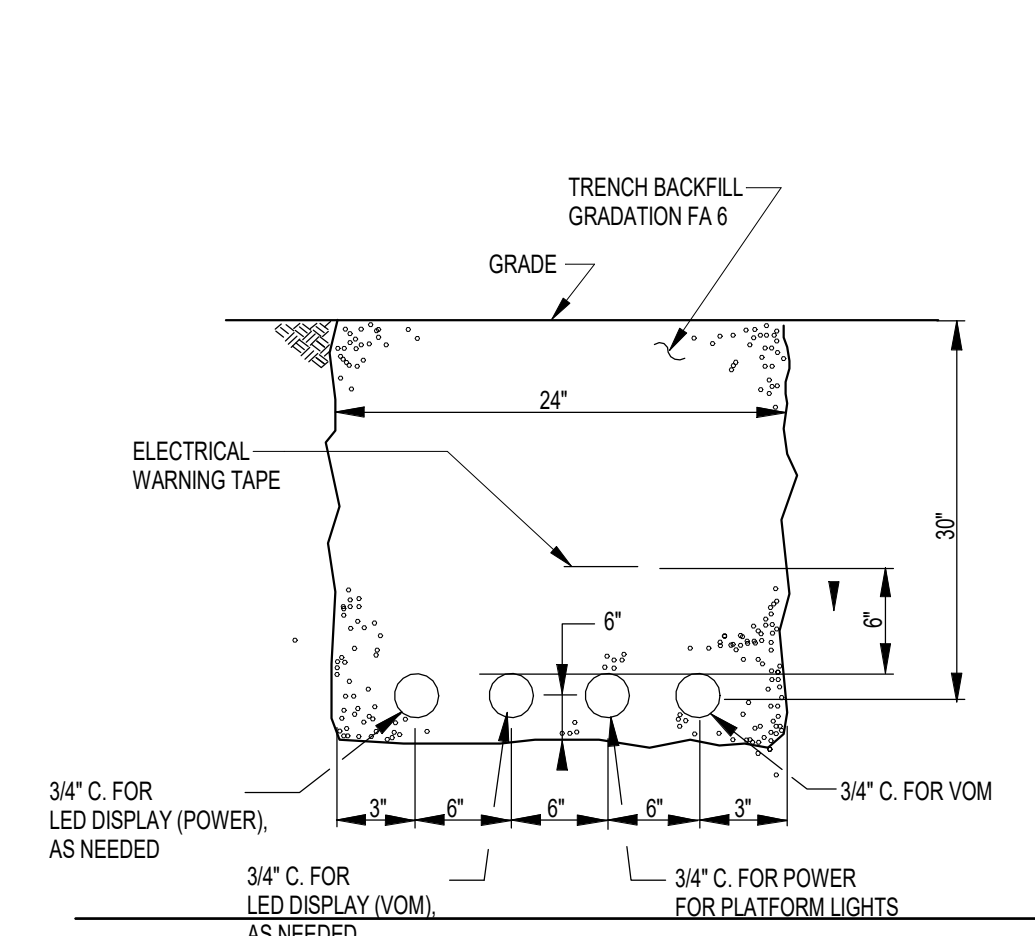
3 PEDESTRIAN BRIDGE LIGHT POLE DETAIL
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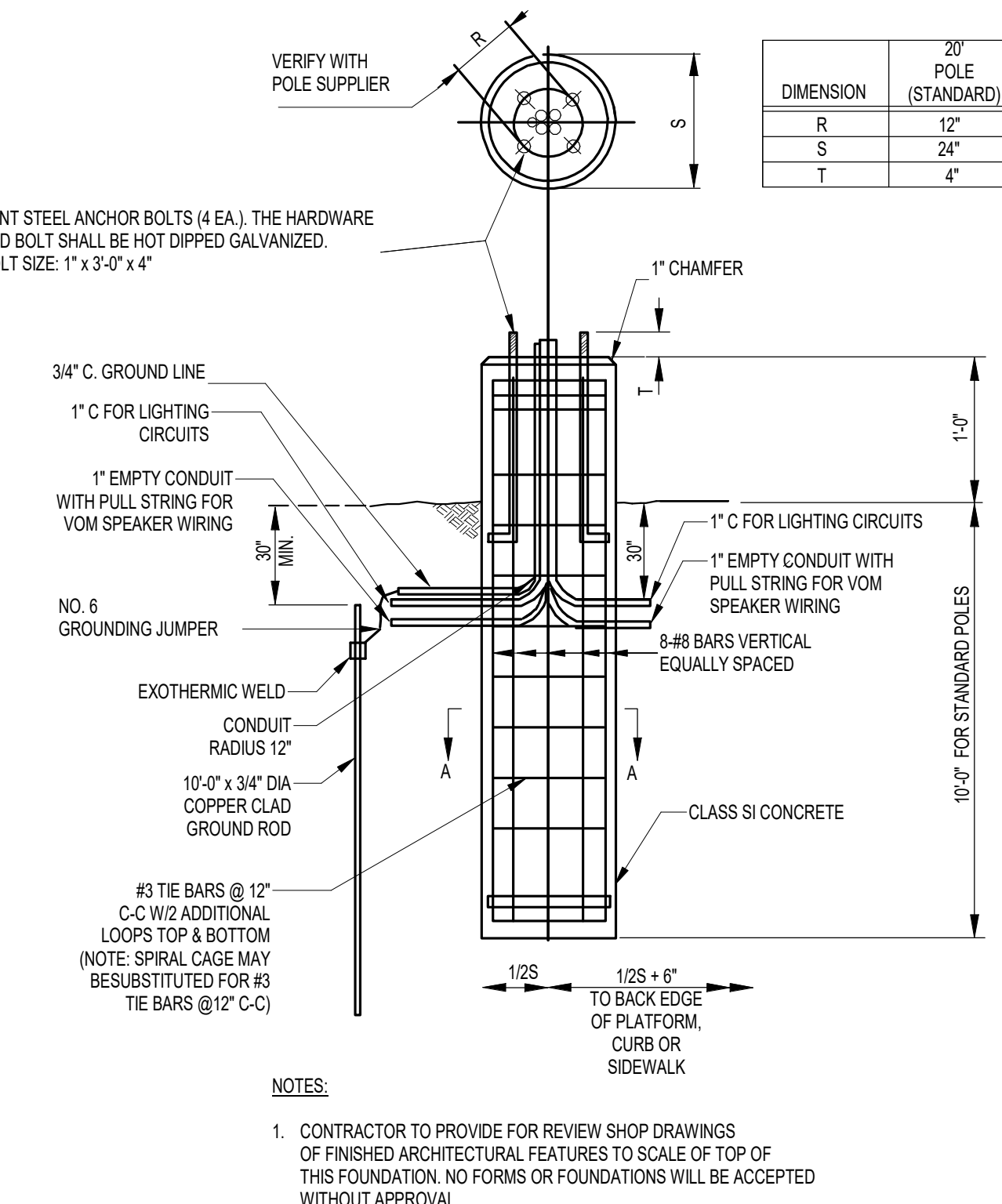
4 LIGHTING CONTROL WIRING DETAIL
NO SCALE



5 TYPICAL POLE WIRING
NO SCALE



6 POWER AND CONTROL CONDUITS TRENCH DETAIL
NO SCALE



8 FOUNDATION AND CONDUITS DETAIL
NO SCALE

PRINTED ON: 7/12/2024 1:55:06 PM

REV	DATE	BY	APP	DESCRIPTION	REV	DATE	BY	APP	DESCRIPTION
4	07/15/24	RD	JBH	90% RESUBMITTAL					
3	12/14/21	RD	JBH	90% SUBMITTAL					
2	08/06/21	RD	JBH	60% SUBMITTAL					
1	07/17/20	RD	JBH	30% SUBMITTAL					

SUB CONSULTANT
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 CHICAGO, IL 60606

PRIMARY CONSULTANT
 SEAL/SIGNATURE

PRIMARY CONSULTANT:
 TYLin
 200 S. WACKER DR. SUITE 1400
 CHICAGO, IL 60606
 TEL: 312-777-2900

DESIGNED: R. DAWOOD
 DRAWN: R. DAWOOD
 CHECKED: J. HOLT
 METRA PM: R. BASIRIRAD
 DATE: 07/15/2024

LOCATION NAME: HUBBARD WOODS STATION
 TITLE: ELECTRICAL DETAILS SHEET-1
 METRA
 ENGINEERING DEPARTMENT
 547 W. JACKSON BOULEVARD
 CHICAGO, ILLINOIS 60661

CAD FILE NUMBER: UPN 17.70_E-501.dgn
 SCALE: AS INDICATED
 PROJECT NO: JPS194
 MILE POST NO. UPN 17.70
 DISTRICT: UPN
 SHEET NO. E-501

Village of Winnetka – Special Use Permit Application



Renovation of Hubbard Woods Station Selection of Project Plans (Full Set Provided under Separate Cover)

- Renderings







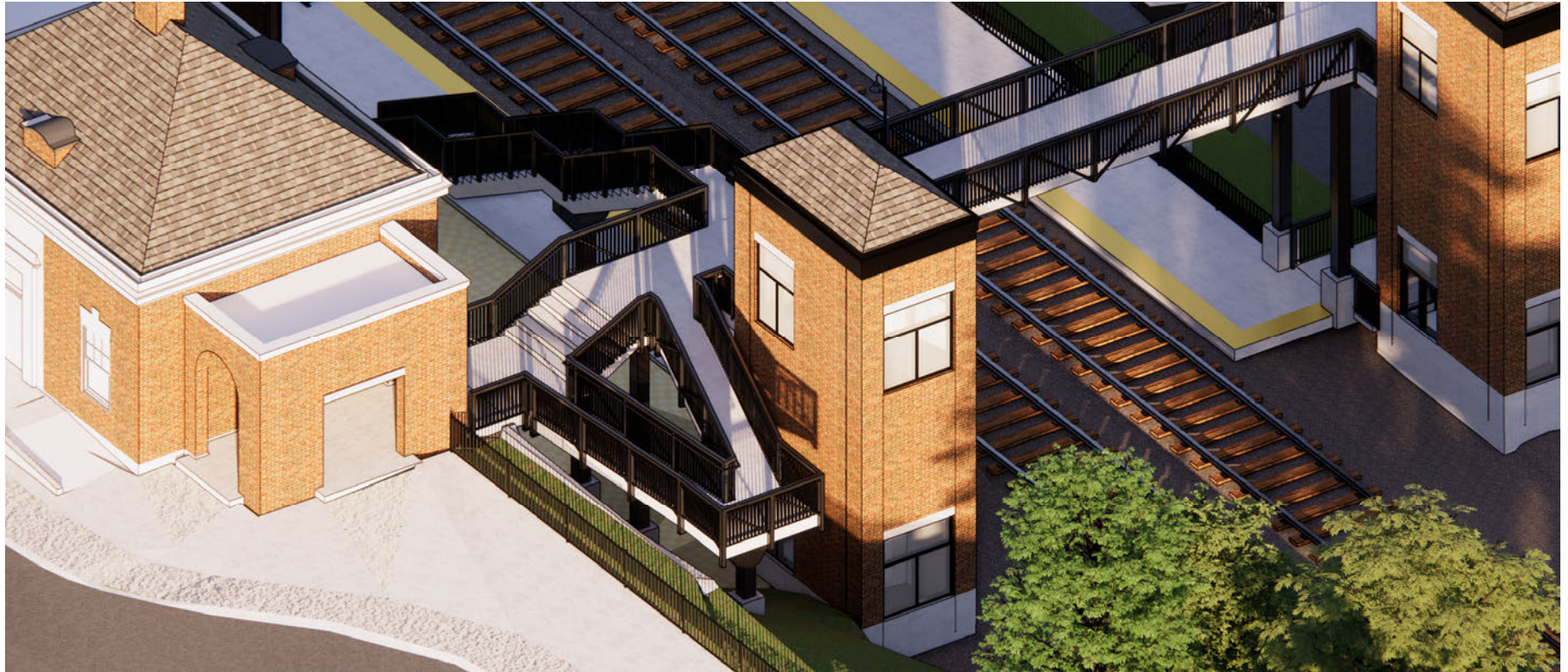








Proposed West Ramp – Scissor Shape



Pedestrian Bridge Railing Options:

Due to ongoing UPRR review, Metra and the Design team have developed options for the pedestrian bridge railing. The original option (Option 1) was designed to closely match the Winnetka Metra Station pedestrian bridge. However, the UPRR design guidelines have changed so two other options have been presented in renderings.

Option 2 - similar in style to Option 1, but 6'-0" tall over the railroad track area.

Option 3 - the UPRR guideline standard, is an arched chain link fence over the railroad track area.

Metra will propose and request a variance for Option 2 to UPRR

RENDERING
RAILING OPTION 1
BIRDS EYE



RENDERING
RAILING OPTION 1
EYE LEVEL



**RENDERING
RAILING OPTION 2
BIRDS EYE**



RENDERING
RAILING OPTION 3
BIRDS EYE



RENDERING
RAILING OPTION 3
EYE LEVEL



Village of Winnetka – Special Use Permit Application



Renovation of Hubbard Woods Station

Selection of Project Plans

(Full Set Provided under Separate Cover)

- Civil Site Plan

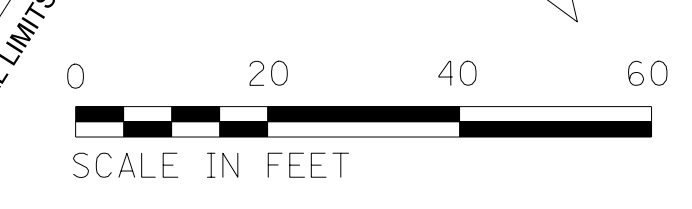
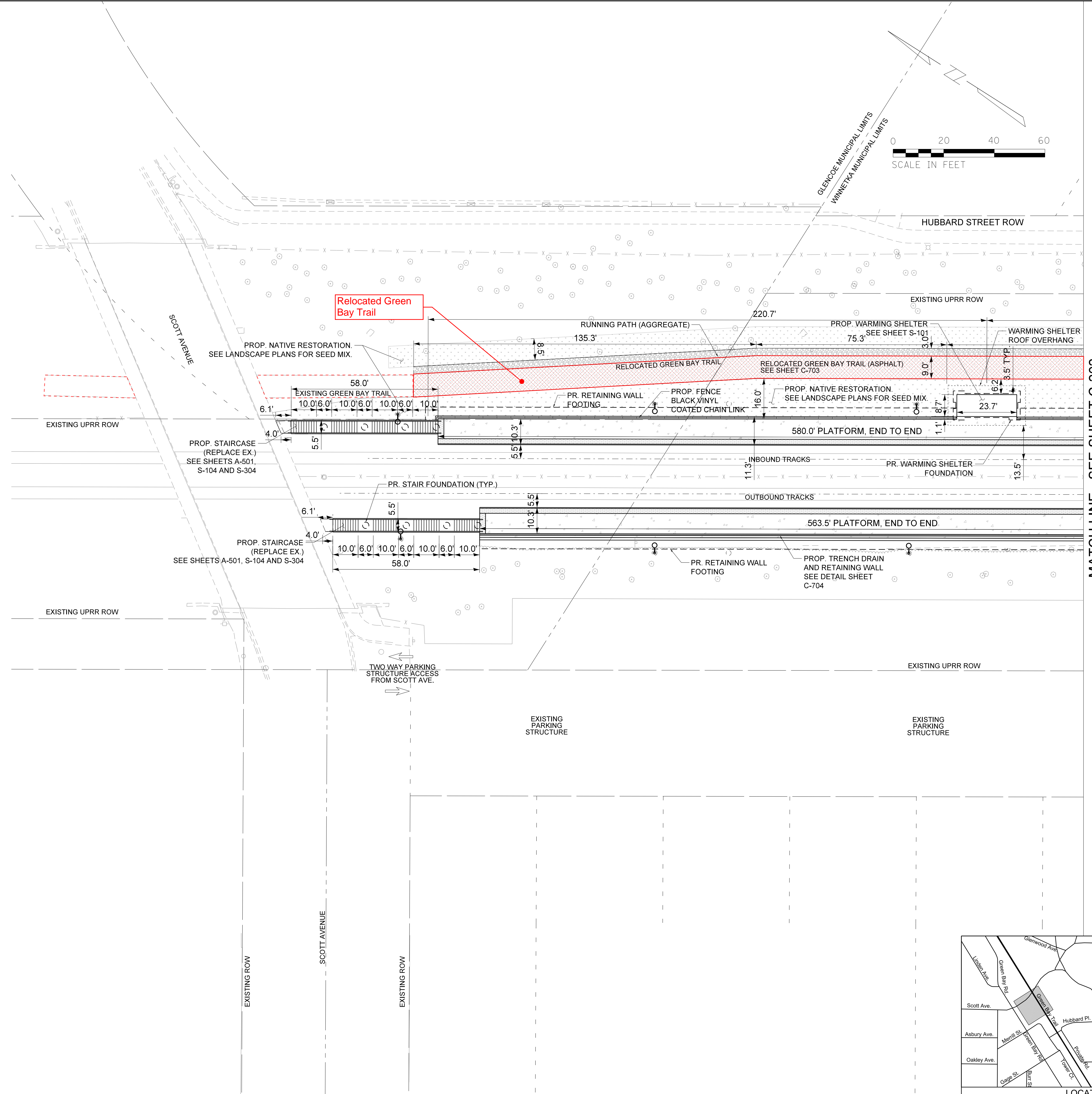
NOTES:

1. QUANTITIES SHOWN FOR INFORMATION ONLY
2. QUANTITIES SHOWN FOR CIVIL SHEETS C-201 & C-202
3. SEE LANDSCAPING PLANS FOR SEED TYPE.

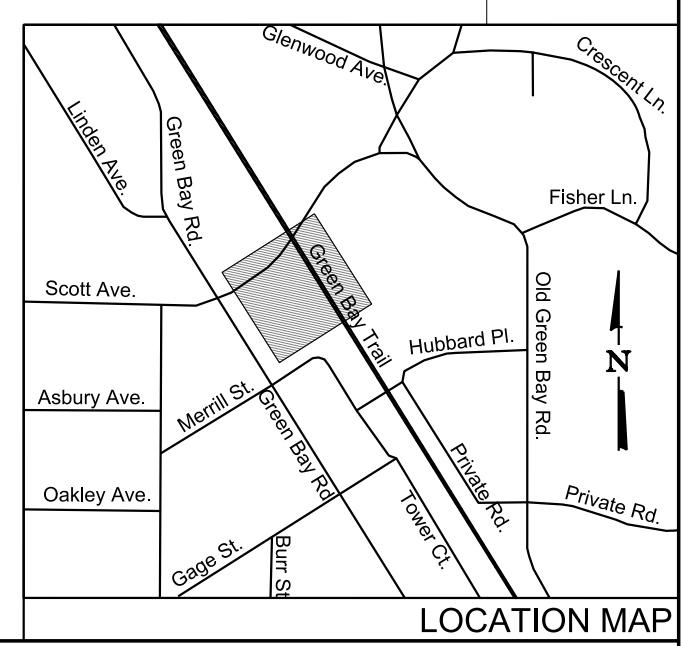
LEGEND

	ASPHALT TRAIL	7,741 SQFT
	AGGREGATE TRAIL	2,581 SQFT
	BRICK PAVERS	2,149 SQFT
	PEDESTRIAN BRIDGE	1,199 SQFT
	DETECTABLE WARNING	INBOUND = 600 LF OUTBOUND = 576 LF ADA = 86 LF
	LANDSCAPING - STREET LEVEL	538 SQFT
	NATIVE SEED MIX	2,326 SQYD
	PCC CONCRETE	SIDEWALK = 6,528 SQFT
	ASPHALT SURFACE REPLACEMENT (1-1/2" DEPTH) & LEVELING BINDER	13,287 SQFT
	PLATFORM WINDBREAK	
	PCC B.6.12 CURB & GUTTER	1,350 LF
	TRENCH DRAIN	404 LF
	COMMUTER RAIL PLATFORM (CONCRETE TIMBER BOX)	INBOUND = 584 FT END TO END OUTBOUND = 560 FT END TO END INBOUND = 4,639 SQFT = 515 SY OUTBOUND = 4,441 SQFT = 493 SY
	FOUNDATION	
	LIGHT POLE	

CURVE DATA (COORDINATES TO BACK OF CURB, TYP.)						
CURVE NO.	PC NORTHING	PC EASTING	PT NORTHING	PT EASTING	RADIUS TO B/C (FT)	
C-1	1986231.26	1144128.55	1986214.84	1144134.48	40	
C-2	1986214.84	1144134.48	1986204.46	1144138.26	25	
C-3	1986125.71	1144188.21	1986118.01	1144195.89	25	
C-4	1986118.01	1144195.89	1986105.70	1144208.18	40	
C-5	1986229.93	1144164.06	1986210.94	1144167.31	25	
C-6	1986140.88	1144211.74	1986134.24	1144216.47	76.16	
C-7	1986125.23	1144223.70	1986118.53	1144228.48	75	
C-8	1986338.21	1144107.43	1986330.98	1144116.71	17.47	

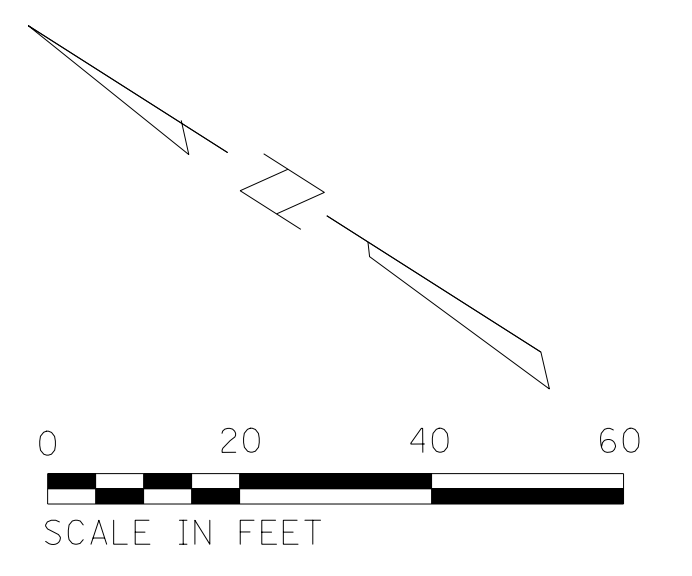


MATCH LINE - SEE SHEET C-202

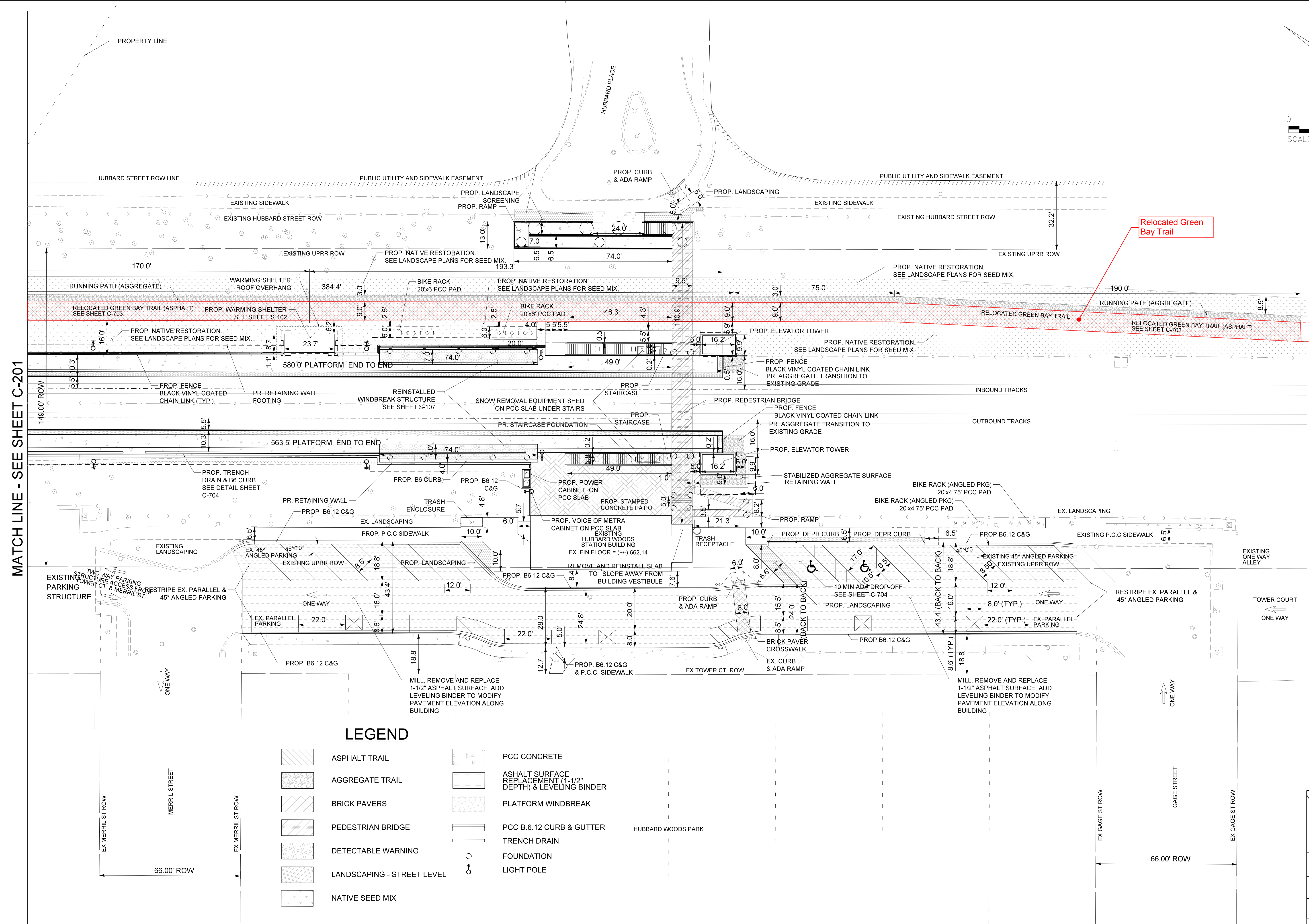


PRINTED ON: 7/15/2024 8:57:03 PM

<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>APP</th> <th>DESCRIPTION</th> </tr> <tr> <td>4</td> <td>7/15/24</td> <td>RSS</td> <td>PRD</td> <td>90% RESUBMITTAL</td> </tr> <tr> <td>3</td> <td>12/14/21</td> <td>MPH</td> <td>PRD</td> <td>90% SUBMITTAL</td> </tr> <tr> <td>2</td> <td>8/6/21</td> <td>MPH</td> <td>PRD</td> <td>60% SUBMITTAL</td> </tr> <tr> <td>1</td> <td>7/17/20</td> <td>PRD</td> <td>JL</td> <td>30% SUBMITTAL</td> </tr> </table>				REV	DATE	BY	APP	DESCRIPTION	4	7/15/24	RSS	PRD	90% RESUBMITTAL	3	12/14/21	MPH	PRD	90% SUBMITTAL	2	8/6/21	MPH	PRD	60% SUBMITTAL	1	7/17/20	PRD	JL	30% SUBMITTAL	SUB CONSULTANT 	PRIMARY CONSULTANT SEAL/ SIGNATURE 	PRIMARY CONSULTANT 200 S. WACKER DR. SUITE 1400 CHICAGO, IL 60606 TEL: 312-777-2900	DESIGNED: R. SCHIFFER DRAWN: R. SCHIFFER CHECKED: P. DAVIDSON METRA P.M. R. BASIRIRAD DATE: 07/15/2024	 ENGINEERING DEPARTMENT 547 W. JACKSON BOULEVARD CHICAGO, ILLINOIS 60661	LOCATION NAME: HUBBARD WOODS STATION TITLE: PROPOSED PLAN - NORTH	CAD FILE NUMBER: UPN17.7C201_90.dgn SCALE: 1" = 20' PROJECT NO. JPS194 MILE POST NO. UPN 17.70	DISTRICT: UPN SHEET NO. C-201
REV	DATE	BY	APP	DESCRIPTION																																
4	7/15/24	RSS	PRD	90% RESUBMITTAL																																
3	12/14/21	MPH	PRD	90% SUBMITTAL																																
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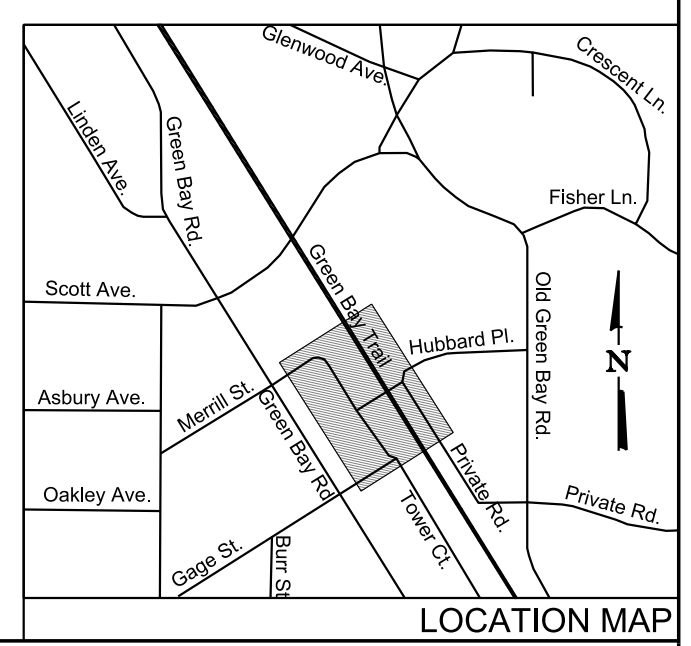
NOTES:
 TOWER COURT PARKING COUNT:
 EXISTING: 32 STD + 1 ADA SPACES
 PROPOSED: 31 STD + 2 ADA SPACES



MATCH LINE - SEE SHEET C-201

LEGEND

- | | | | |
|--|----------------------------|--|---|
| | ASPHALT TRAIL | | PCC CONCRETE |
| | AGGREGATE TRAIL | | ASHALT SURFACE REPLACEMENT (1-1/2" DEPTH) & LEVELING BINDER |
| | BRICK PAVERS | | PLATFORM WINDBREAK |
| | PEDESTRIAN BRIDGE | | PCC B.6.12 CURB & GUTTER |
| | DETECTABLE WARNING | | TRENCH DRAIN |
| | LANDSCAPING - STREET LEVEL | | FOUNDATION |
| | NATIVE SEED MIX | | LIGHT POLE |



REV	DATE	BY	APP	DESCRIPTION
4	7/15/24	RSS	PRD	90% RESUBMITTAL
3	12/14/21	MPH	PRD	90% SUBMITTAL
2	8/6/21	MPH	PRD	60% SUBMITTAL
1A	5/19/21	PRD	JM	UPDATED HISTORIC REPORT
1	7/17/20	PRD	JL	30% SUBMITTAL

SUB CONSULTANT
 PRIMARY CONSULTANT SEAL/ SIGNATURE

PRIMARY CONSULTANT
 SEAL/ SIGNATURE

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 200 S. WACKER DR. SUITE 1400
 CHICAGO, IL 60606
 TEL: 312-777-2900

Metra
 ENGINEERING DEPARTMENT
 547 W. JACKSON BOULEVARD
 CHICAGO, ILLINOIS 60661

DESIGNED: R. SCHIFFER
 DRAWN: R. SCHIFFER
 CHECKED: P. DAVIDSON
 METRA P.M. R. BASIRIRAD
 DATE: 07/15/2024

LOCATION NAME: **HUBBARD WOODS STATION**
 TITLE: **PROPOSED PLAN - SOUTH**

CAD FILE NUMBER: UPN17.7C202_90.dgn
 SCALE: 1" = 20'
 PROJECT NO. JPS194
 MILE POST NO. UPN 17.70

DISTRICT: UPN
 SHEET NO. **C-202**

Village of Winnetka – Special Use Permit Application



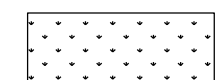
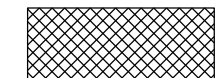



Renovation of Hubbard Woods Station

Selection of Project Plans

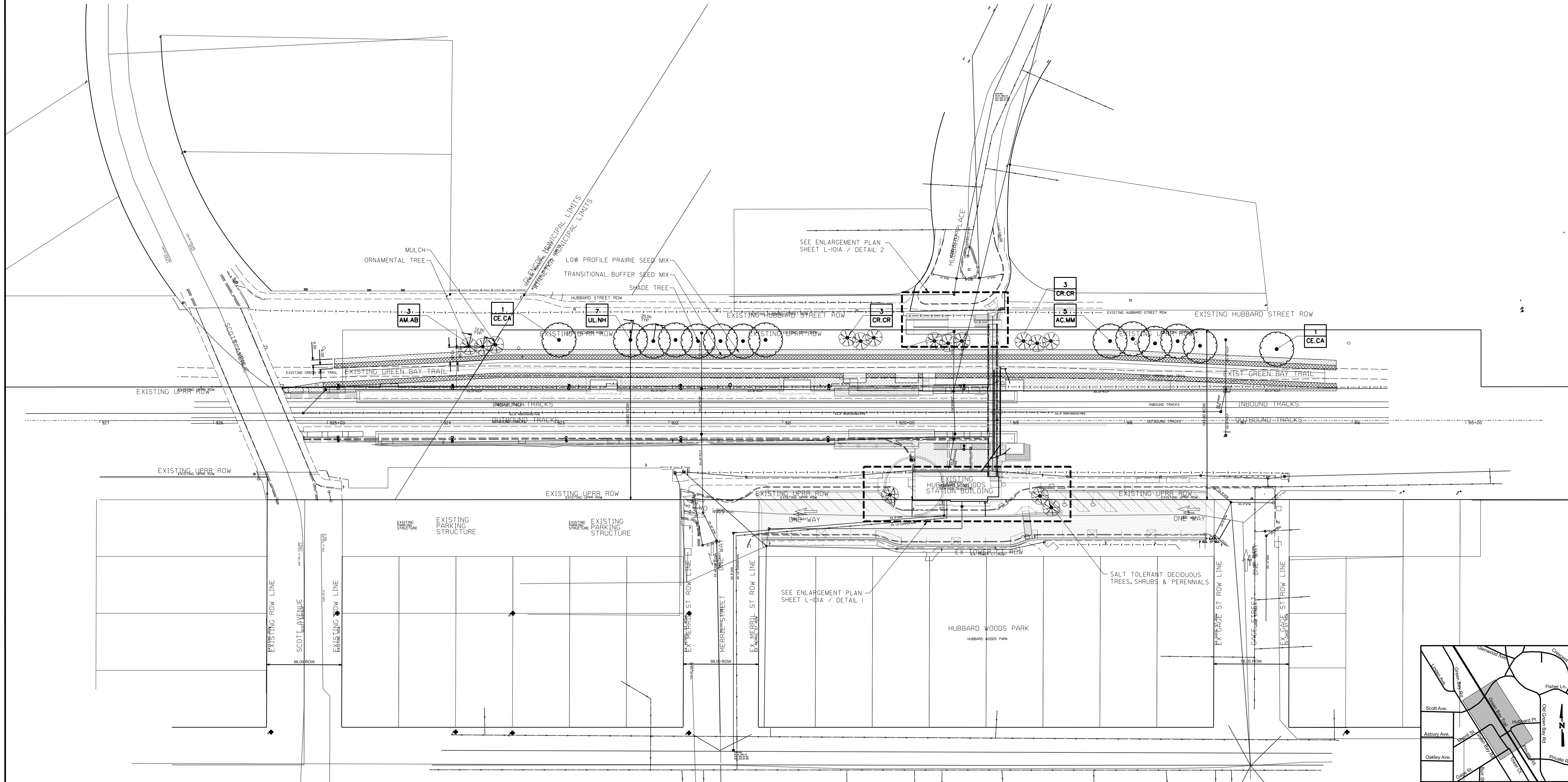
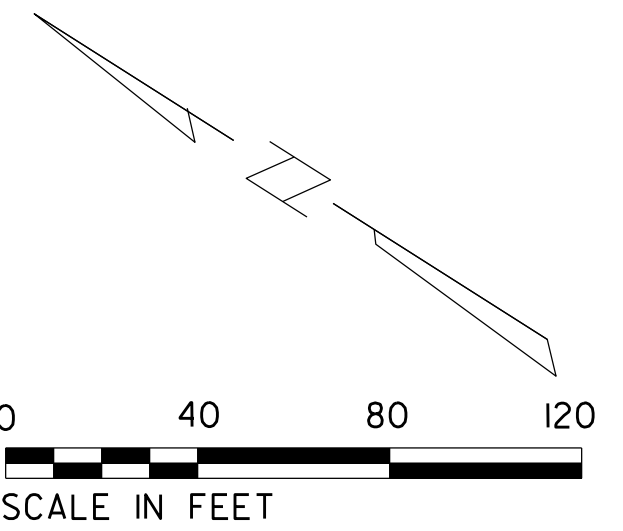
(Full Set Provided under Separate Cover)

- Landscape Plans

LEGEND

-  LOW PROFILE PRAIRIE SEED MIX
-  TRANSITIONAL BUFFER SEED MIX
-  MULCH
-  SHADE TREE
-  ORNAMENTAL TREE

PLANT PALETTE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHADE TREES						
AC.MM	5	<i>Acer miyabei</i> 'Morton'	State Street Myabe's Maple	B&B	2.5" cal	matching heads
CE.CA	2	<i>Cercis canadensis</i>	Eastern Redbud	B&B	8' ht	
CR.CR	6	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	B&B	2.5"	Matching Heads
UL.NH	7	<i>Ulmus</i> 'New Horizon'	New Horizon Elm	B&B	2.5" cal	matching heads
ORNAMENTAL TREES						
AM.AB	3	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	8' H	multi-stem



REV	DATE	BY	APP	DESCRIPTION
3A	03/31/25	DN	MM	REVISED PER WINNETKA REVIEW
3	7/15/24	DN	MM	90% RESUBMITTAL
3	12/14/21	JT	MM	90% SUBMITTAL
2	8/06/21	JT	MM	60% SUBMITTAL
1	7/17/20	JT	MM	30% SUBMITTAL

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SEAL/ SIGNATURE

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TEL: 312-777-2900

DESIGNED: MM
DRAWN: JT
CHECKED: BM
METRA P.M. R. BASIRIRAD
DATE: 07/15/2024



ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME: **HUBBARD WOODS STATION**

TITLE: **OVERALL SITE PLAN**

CAD FILE NUMBER: UPN17.7C

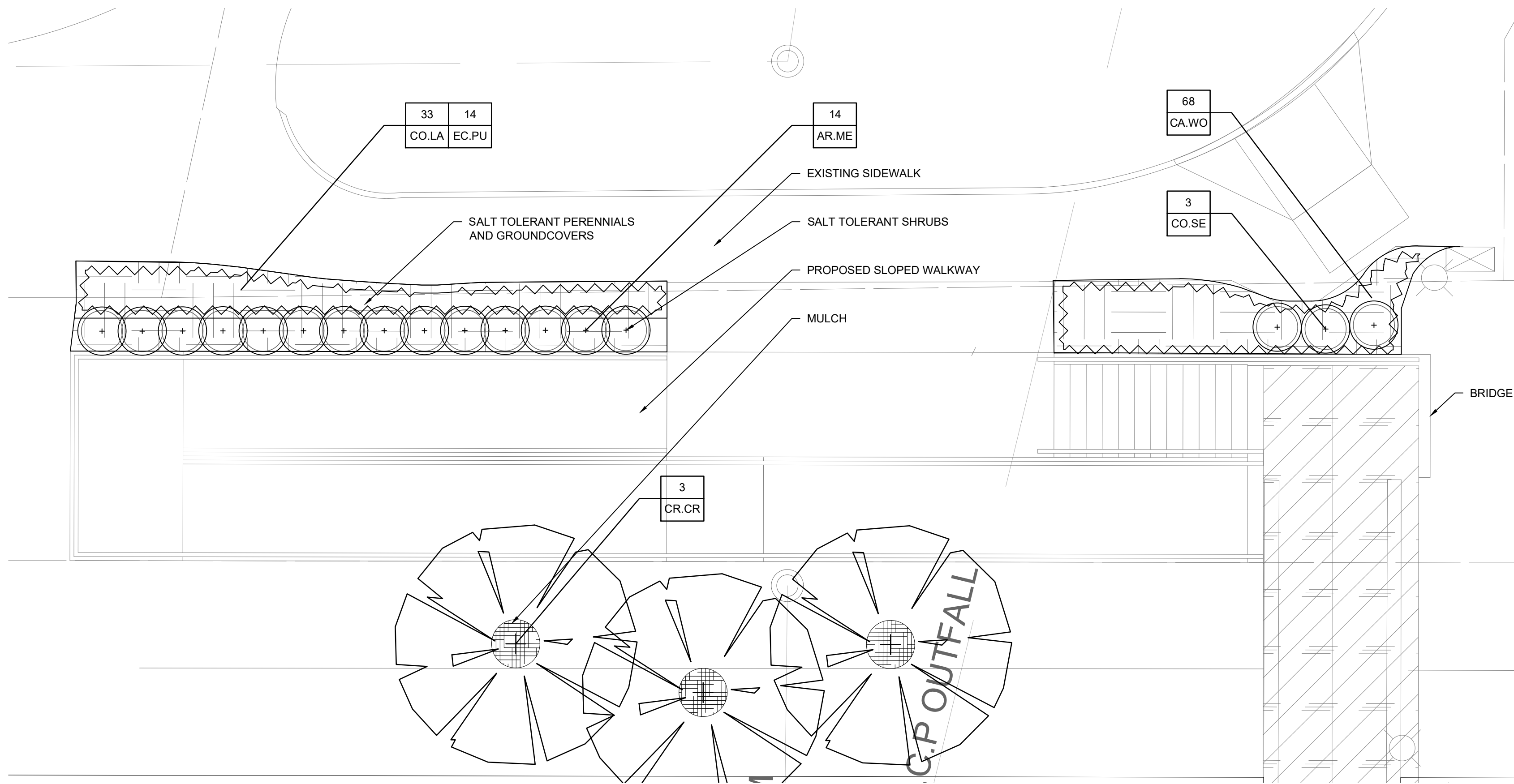
SCALE: 1" = 40'

DISTRICT: UPN

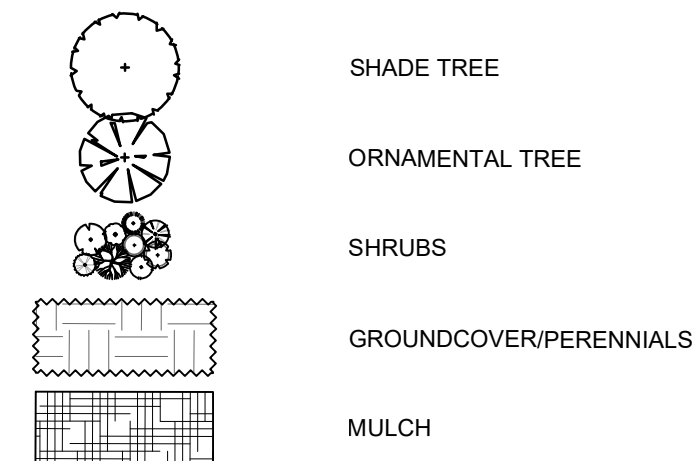
PROJECT NO. JP5194

SHEET NO. **L-101**

MILE POST NO. UPN 17.70



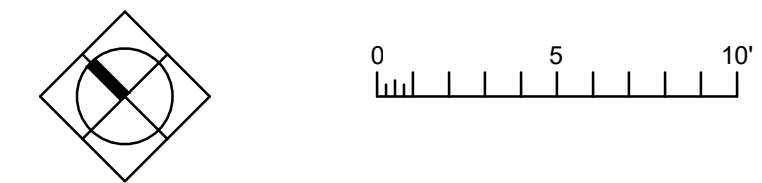
LEGEND



PLANT PALETTE	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
ORNAMENTAL TREES							
AMCA	3		<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	B&B	6' ht	7-13 canes
CR.CR	3		<i>Crataegus crus-galli var. inermis</i>	Thornless Cockspur Hawthorn	B&B	2.5'	Matching Heads
SHRUBS							
AR.ME	19		<i>Aronia melanocarpa</i>	Low Scape Mound	pot	#5	36" o.c.
CO.SE	3		<i>Cornus sericea 'Farrow'</i>	Arctic Fire Red Twig Dogwood	pot	#5	36" o.c.
ORNAMENTAL GRASSES, PERENNIALS, AND GROUNDCOVER							
CO.LA	118		<i>Coreopsis lanceolata</i>	Lance-leaved Coreopsis	pot	#1	12" o.c.
CA.WO	68		<i>Carex woodii</i>	Wood's Sedge	pot	#1	12" o.c.
EC.PU	46		<i>Echinacea 'Kim's Knee High'</i>	Kim's Knee High Conflower	pot	#1	16" o.c.

TREE TAG #	TREE POINT #	2020 DBH	COMMON NAME	LATIN NAME	CONDITION	COMMENTS	REPLACEMENT REQUIRED?	REASON	REMOVAL DBH CALCULATIONS	Required Replacement Inches	PROPOSED REPLACEMENT TREE CALCULATIONS	REPLACEMENT	DBH SUM	TREES
None	3510	6	Colorado Blue	<i>Picea pungens 'glauca'</i>	Good	In wooden planter box	NO	Less than 8" DBH	9	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 45	REQUIRED	45	15
1464	2422	9	Common Buckthorn	<i>Rhamnus cathartica</i>	Fair	multi-stem	ENCOURAGED	Good forestry	9	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1465	2417	18	Black Locust	<i>Robinia pseudoacacia</i>	Poor	large cavity	ENCOURAGED	Tree in decline	18	3	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 45	REQUIRED	45	15
1466	2418	6	Ash	<i>Fraxinus spp.</i>	Dead	multi-stem	NO	Less than 8" DBH	0	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1467	2419	6	Unknown n- Dead		Dead	trunk only, no canopy	NO	Less than 8" DBH	0	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1468	2421	8	Common Buckthorn	<i>Rhamnus cathartica</i>	Fair	multi-stem	ENCOURAGED	Good forestry	8	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1469	2423	9	Black Locust	<i>Robinia pseudoacacia</i>	Dead	multi-stem	ENCOURAGED	Tree is dead	9	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1470	2424	16	Black Locust	<i>Robinia pseudoacacia</i>	Poor	large cavity	ENCOURAGED	Tree in decline	16	4	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1471	2425	11	White Mulberry	<i>Morus alba</i>	Fair		ENCOURAGED	Good forestry	11	6	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1472	2426	12	Black Locust	<i>Robinia pseudoacacia</i>	Fair	small basal cavity	YES	Good forestry	12	8	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1473	2427	8	Unknown n- Dead		Dead	trunk only, no canopy	ENCOURAGED	Tree is dead	8	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1474	2430	10	Norway Maple	<i>Acer platanoides</i>	Good		YES	Good forestry	10	8	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1475	2428	15	Black Locust	<i>Robinia pseudoacacia</i>	Fair		YES	Good forestry	15	10	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1476	2432	7	Ash	<i>Fraxinus spp.</i>	Dead		NO	Less than 8" DBH	0	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1477	2433	13	Black Locust	<i>Robinia pseudoacacia</i>	Poor		ENCOURAGED	Tree in decline	13	6	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1478	2434	8	Norway Maple	<i>Acer platanoides</i>	Good		YES	Good forestry	8	8	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1480	2435	11	Skippery Elm	<i>Ulmus rubra</i>	Fair	Adjacent #1481 causing trunk only, no canopy	ENCOURAGED	Good forestry	11	6	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
1481	2436	10	Black Locust	<i>Robinia pseudoacacia</i>	Dead		ENCOURAGED	Tree is dead	10	0	Sum of LDBH of all protected trees w/ih replacement REQUIRED = 113	ENCOURAGED	113	38
										158	59			

2 PLANTING PLAN ENLARGEMENT
3/16" = 1'-0"



1 PLANTING PLAN ENLARGEMENT
3/16" = 1'-0"



REV	DATE	BY	APP	DESCRIPTION	REV	DATE	BY	APP	DESCRIPTION
3A	03/31/25	DN	MM	REVISED PER WINNETKA REVIEW					
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TEL: 312-777-2900

DESIGNED: MM
DRAWN: JT
CHECKED: BM
METRA P.M. R. BASIRIRAD
DATE: 07/15/2024

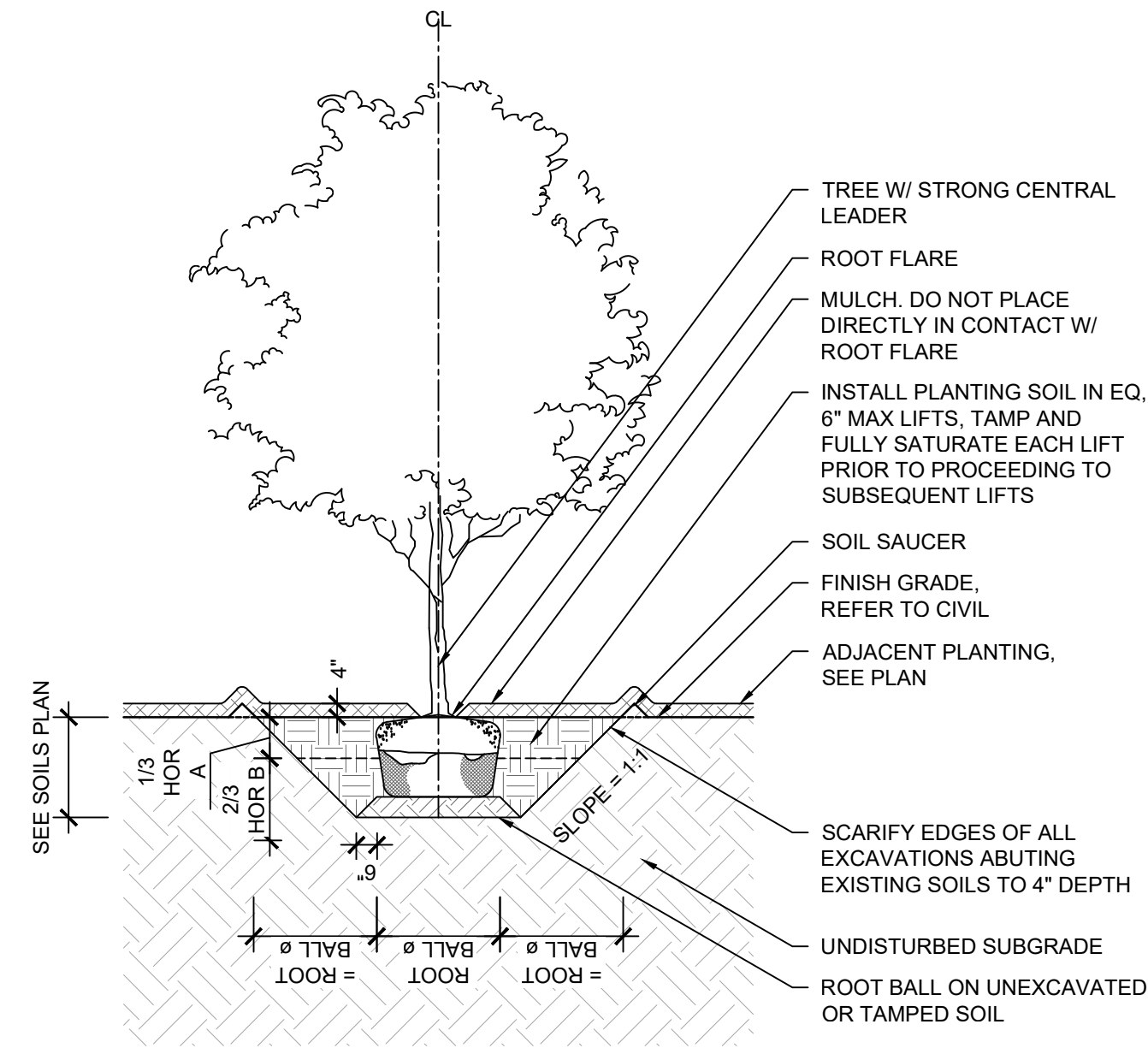
Metra
ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME: HUBBARD WOODS STATION
TITLE: PLANTING PLAN ENLARGEMENTS

CAD FILE NUMBER: UPN17.7C
SCALE: DISTRICT: UPN
PROJECT NO. SHEET NO.
JP5194 L-101A
MILE POST NO. UPN 17.70

NOTES:

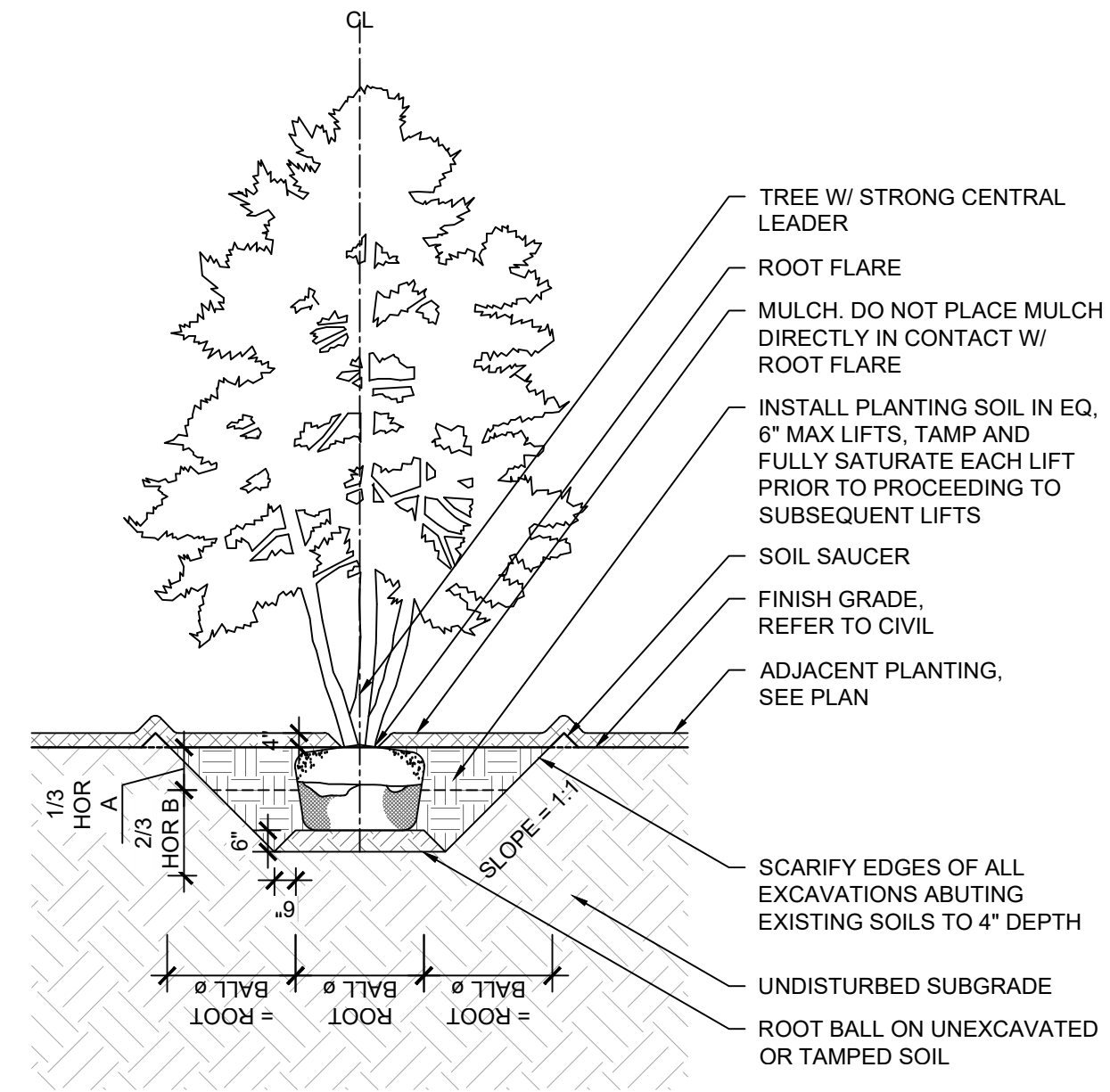
1. ALIGN TRUNKS WHEN PLANTED IN A LINE
2. ORIENT TREE PER LA TREE SEALS, RIBBON, AND/OR OTHER MARKINGS AS COORDINATED W/ NURSERY VISITS PER SPECIFICATIONS
3. DO NOT PRUNE OR THIN CANOPY UNLESS DIRECTED BY LA
4. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL (IF PLANT IS SHIPPED W/ WIRE BASKET AROUND ROOT BALL, CUT WIRE IN FOUR PLACES AND REMOVE TOP HALF)
5. SET ROOTBALL AND BASE OF ROOT FLARE 2" HIGHER THAN FINISH GRADE
6. ENSURE TRUNK AND LEADER ARE PLUMB
7. REMOVE EXCESS FILL ON TOP OF ROOT BALL TO ENSURE ROOT FLARE IS VISIBLE



1 SHADE TREE SECTION
1/4" = 1'-0"

NOTES:

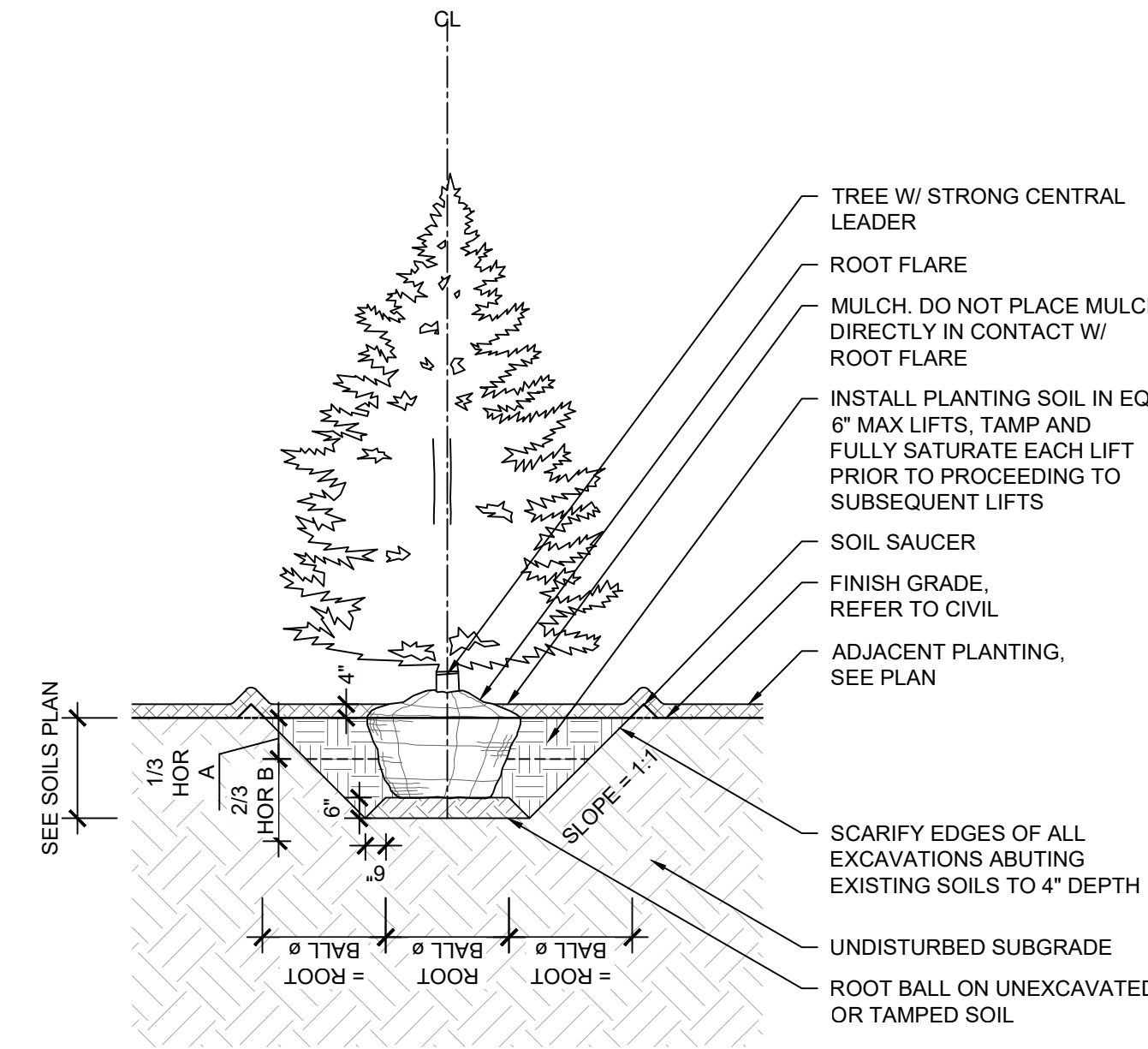
1. ALIGN TRUNKS WHEN PLANTED IN A LINE
2. ORIENT TREE PER LA TREE SEALS, RIBBON, AND/OR OTHER MARKINGS AS COORDINATED W/ NURSERY VISITS PER SPECIFICATIONS
3. DO NOT PRUNE OR THIN CANOPY UNLESS DIRECTED BY LA
4. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL (IF PLANT IS SHIPPED W/ WIRE BASKET AROUND ROOT BALL, CUT WIRE IN FOUR PLACES AND REMOVE TOP HALF)
5. SET ROOTBALL AND BASE OF ROOT FLARE 2" HIGHER THAN FINISH GRADE
6. ENSURE TRUNK AND LEADER ARE PLUMB
7. REMOVE EXCESS FILL ON TOP OF ROOT BALL TO ENSURE ROOT FLARE IS VISIBLE



2 MULTI-STEM TREE SECTION
1/4" = 1'-0"

NOTES:

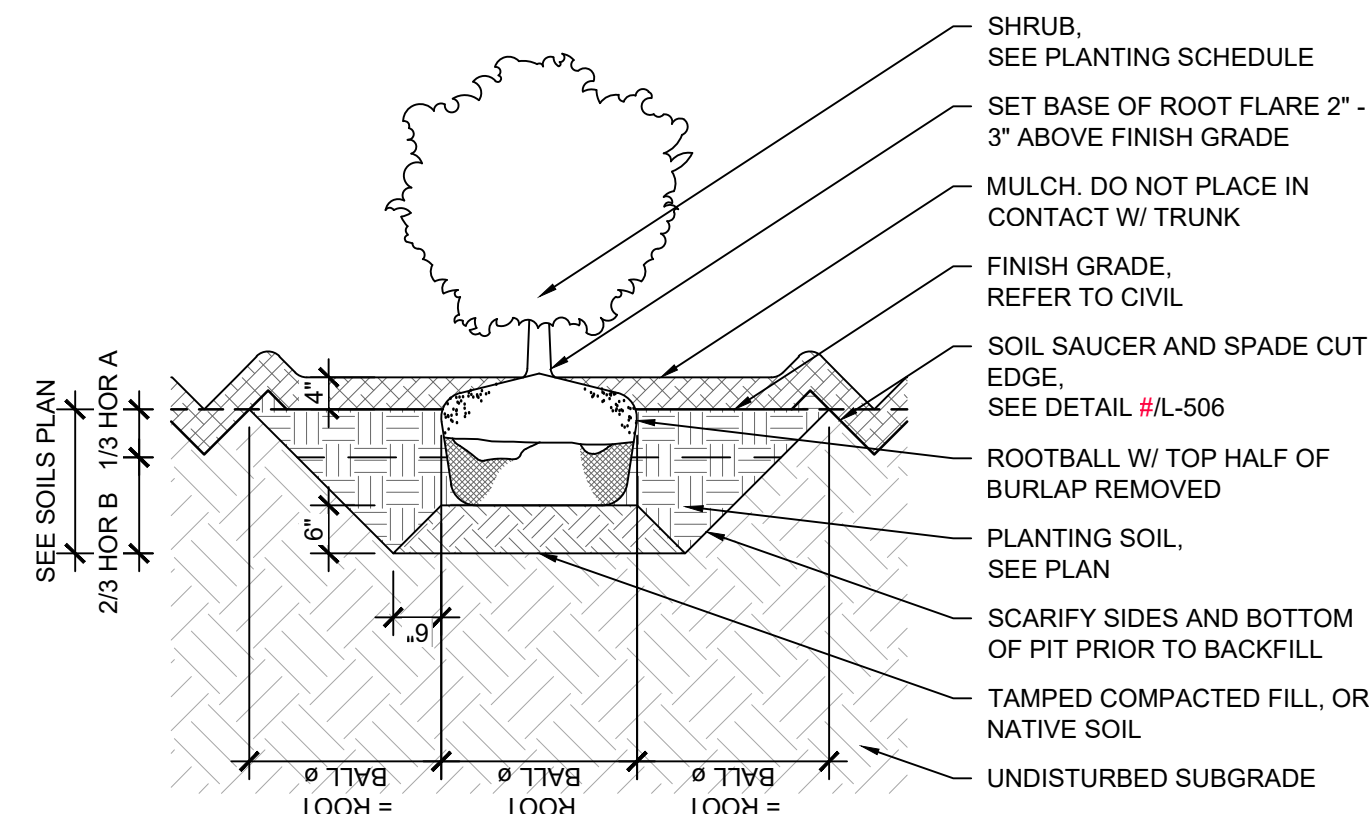
1. ALIGN TRUNKS WHEN PLANTED IN A LINE
2. ORIENT TREE PER LA TREE SEALS, RIBBON, AND/OR OTHER MARKINGS AS COORDINATED W/ NURSERY VISITS PER SPECIFICATIONS
3. DO NOT PRUNE OR THIN CANOPY UNLESS DIRECTED BY LA
4. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL (IF PLANT IS SHIPPED W/ WIRE BASKET AROUND ROOT BALL, CUT WIRE IN FOUR PLACES AND REMOVE TOP HALF)
5. SET ROOTBALL AND BASE OF ROOT FLARE 2" HIGHER THAN FINISH GRADE
6. ENSURE TRUNK AND LEADER ARE PLUMB
7. REMOVE EXCESS FILL ON TOP OF ROOT BALL TO ENSURE ROOT FLARE IS VISIBLE



3 EVERGREEN TREE SECTION
1/4" = 1'-0"

GENERAL PLANTING NOTES

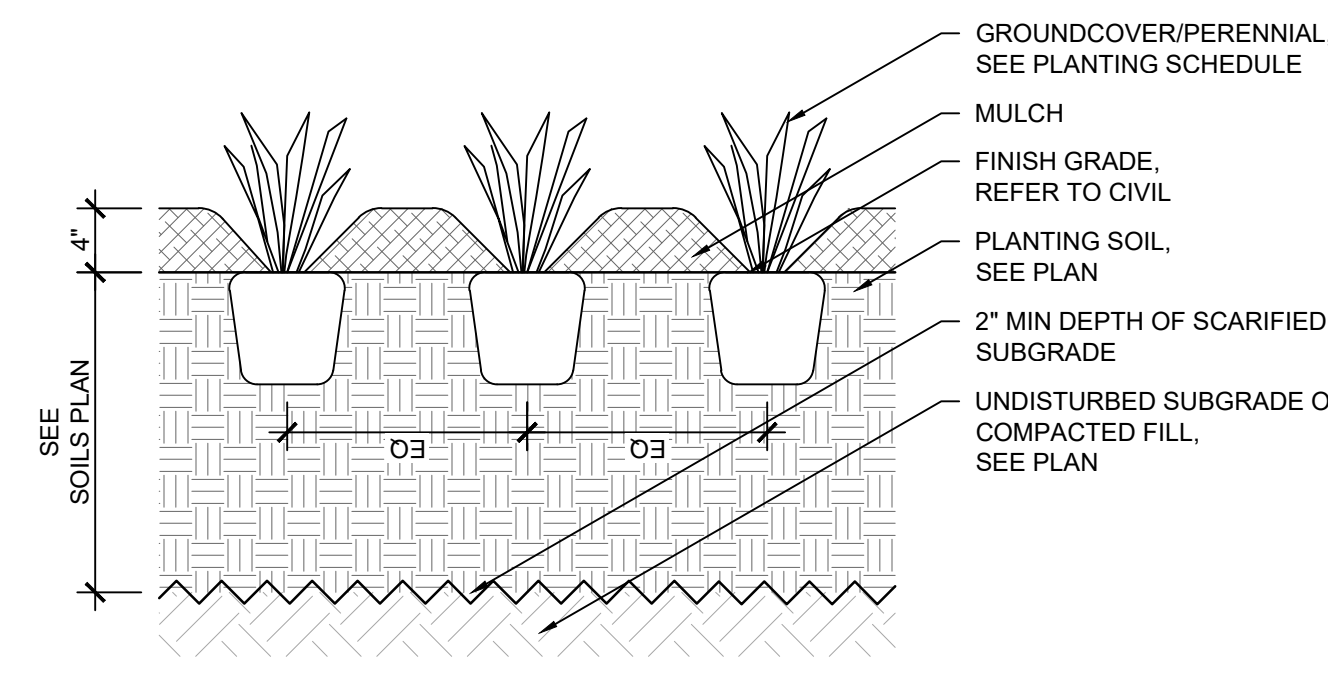
1. DETERMINE EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES AND VERIFY IN FIELD. REPORT ANY CONFLICTS TO METRA PRIOR TO BEGINNING WORK.
2. INFORM METRA AS EACH PHASE OF WORK IS UNDERTAKEN.
3. PROTECT EXISTING VEGETATION INCLUDING ALL EXISTING PARKWAY AND INTERIOR TREES. REPLACE DAMAGED VEGETATION WITH APPROVED SIMILAR MATERIAL.
4. MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION.
5. SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM GRADE UNLESS NOTED OTHERWISE.
6. PRIOR TO LANDSCAPE INSTALLATION, VERIFY PLANTING AREAS ARE GRADED AT +/- 0.1 FOOT TO FINISH GRADE.
7. IN LANDSCAPE AREAS, FINISH GRADE TO 4" MINIMUM BELOW ADJACENT BUILDING FINISH FLOOR ELEVATION UNLESS NOTED OTHERWISE.
8. FINISH GRADE TO BE THE SAME ELEVATION AS FINISH PAVING SURFACE IN LAWN AREAS AND THE SAME ELEVATION IN PLANTING AREAS.
9. CONFIRM ALL PLANT QUANTITIES. PROVIDE PLANT MATERIALS SUFFICIENT TO COVER AREAS SHOWN ON PLANS AT THE SPACINGS INDICATED.
10. PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE.
11. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY.
12. DO NOT DAMAGE PLANT ROOT BALL DURING TRANSPORTATION OR PLANTING.
13. NOTIFY THE METRA AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION.
14. METRA RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING.
15. REMOVE ALL ROCK AND DEBRIS 1" AND LARGER FROM PLANTING AREAS. LEGALLY DISPOSE ALL EXCESS MATERIALS RESULTING FROM THE WORK.
16. IN PLANTING SOIL PIT, REMOVE CRUSHED AGGREGATE TO AN ADEQUATE DEPTH TO ENSURE THAT NO PART OF THE PLANT MATERIAL IS IN CONTACT OR AFFECTED BY THE LIME OR LIMESTONE IN THE AGGREGATE
17. PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH, WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 3/4" IN ANY DIMENSION AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES. SEE SPECIFICATIONS 32 93 11 PLANTINGS.
18. MIX SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL ON A SITE SPECIFIC BASIS AT RATES APPROPRIATE FOR PLANTINGS IN ACCORDANCE WITH SPECIFICATION SECTION 32 93 11 PLANTINGS.
19. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY METRA FOR REVIEW PRIOR TO PLANTING.
20. THE PLANTING PLANS ARE DIAGRAMMATIC. SPOT PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY METRA FOR REVIEW BEFORE REMOVING FROM CONTAINERS.
21. INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS.
22. REMOVE ALL PLANT TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
23. INSTALL A MINIMUM 3" LAYER OF HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING AREAS UNLESS NOTED OTHERWISE. CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS. SEE SPECIFICATION SECTION 32 93 11 PLANTINGS.
24. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD OF PLANTING.
25. GUY AND STAKE TREES, AS DIRECTED BY METRA, IMMEDIATELY AFTER PLANTING. PROVIDE A MINIMUM OF TWO GUY WIRES PER TREE ON THE UPHILL SIDE OF TREES PLANTED ON SLOPES STEEPER THAN 3:1.
26. PRUNE ALL DECIDUOUS SHADE TREES FOR A MINIMUM LOWEST BRANCH HEIGHT OF 7 FEET.
27. PROTECT SEEDED AREAS AND SLOPES AGAINST EROSION AND SEED LOSS DUE TO BIRDS AND OTHER WILDLIFE BY APPLYING SHORT TERM, BIODEGRADABLE EROSION CONTROL BLANKETS, MATS, AND/OR NETTING AFTER COMPLETION OF SEEDING OPERATIONS. ADHERE TO MANUFACTURER'S SPECIFICATIONS FOR REQUIRED PLACEMENT AND STAKING.
28. WARRANTY ALL PLANTS AND LAWN EXPERIENCING DEATH AND DEFECTS INCLUDING UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS OR UNUSUAL PHENOMENON OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
29. REFER TO CIVIL PLANS FOR EXISTING TREE REMOVAL.



4 SHRUB SECTION
1/2" = 1'-0"

NOTES:

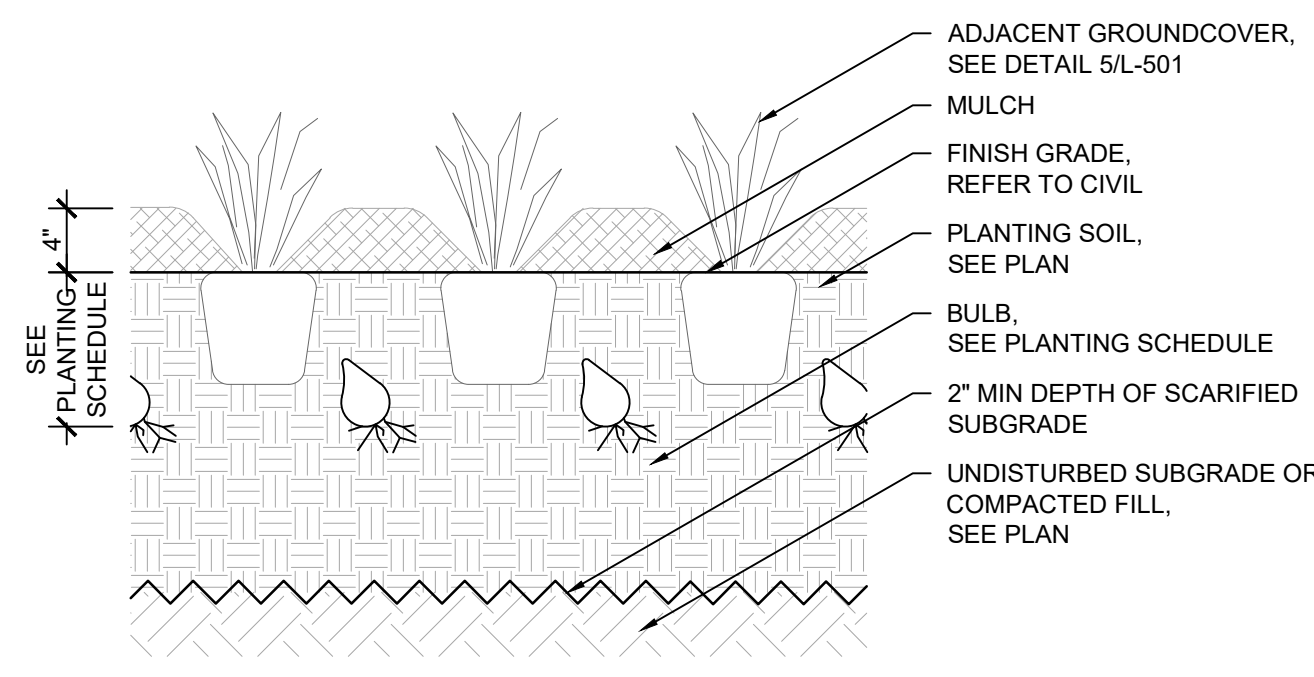
1. RAISE PLANTING BED FOR ADEQUATE DRAINAGE. PROPOSED DRAINAGE, REFER TO CIVIL
2. PLANT SHALL BE HANDLED BY CONTAINER, NOT BY STEMS OR BRANCHES



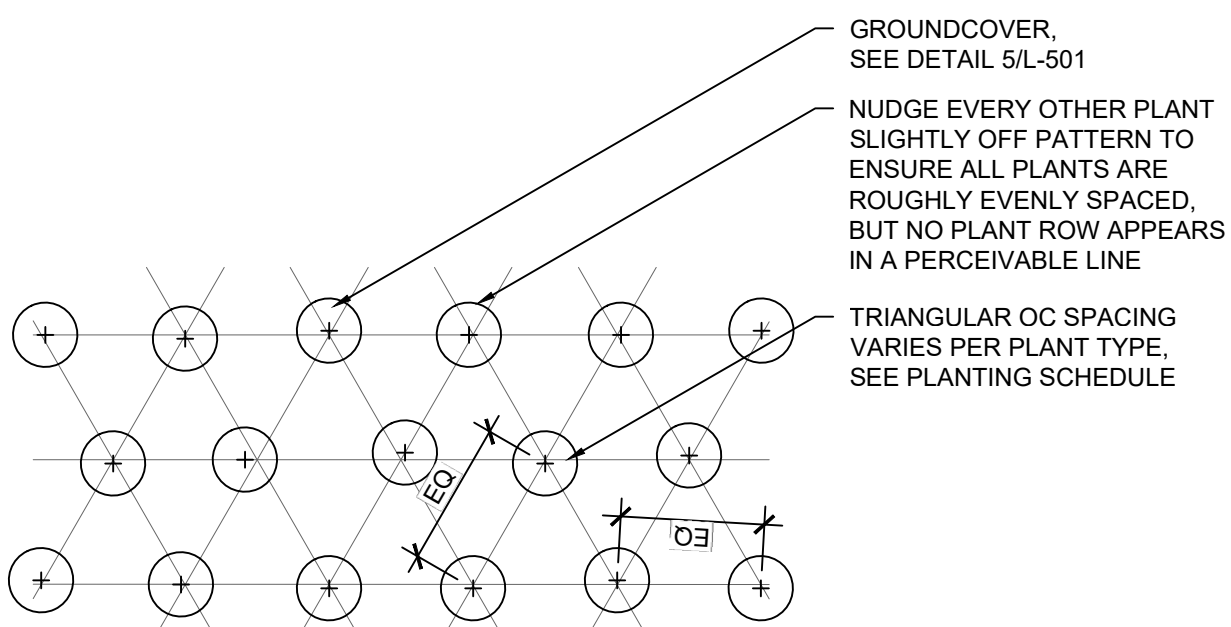
5 GROUNDCOVER/PERENNIAL SECTION
1" = 1'-0"

NOTES:

1. PLANT SINGLE BULB, OR CLUMPS OF BULBS BETWEEN GROUNDCOVERS AS SHOWN IN ENLARGEMENT PLANTING PLANS



6 BULB SECTION
1" = 1'-0"



7 TRIANGULAR SPACING PLANTING PLAN
NTS

REV	DATE	BY	APP	DESCRIPTION	REV	DATE	BY	APP	DESCRIPTION
3A	03/31/25	DN	MM	REVISED PER WINNETKA REVIEW					
3	7/15/24	DN	MM	90% RESUBMITTAL					
3	12/14/21	JT	MM	90% SUBMITTAL					
2	8/06/21	JT	MM	60% SUBMITTAL					
1	7/17/20	JT	MM	30% SUBMITTAL					

SUB CONSULTANT

PRIMARY CONSULTANT
SEAL/ SIGNATURE

888 South Michigan Ave
Suite 1000
Chicago, IL 60605
Phone: (312) 427-7240

PRIMARY CONSULTANT

DESIGNED: MM
DRAWN: JT
CHECKED: BM
METRA P.M. R. BASIRIRAD
DATE: 07/15/2024

TYLin
200 S. WACKER DR. SUITE 1400
CHICAGO, IL 60606
TEL: 312-777-2900

Metra
ENGINEERING DEPARTMENT
547 W. JACKSON BOULEVARD
CHICAGO, ILLINOIS 60661

LOCATION NAME: HUBBARD WOODS STATION

TITLE: LANDSCAPE DETAILS

CAD FILE NUMBER: UPN17.7C

SCALE: DISTRICT: UPN

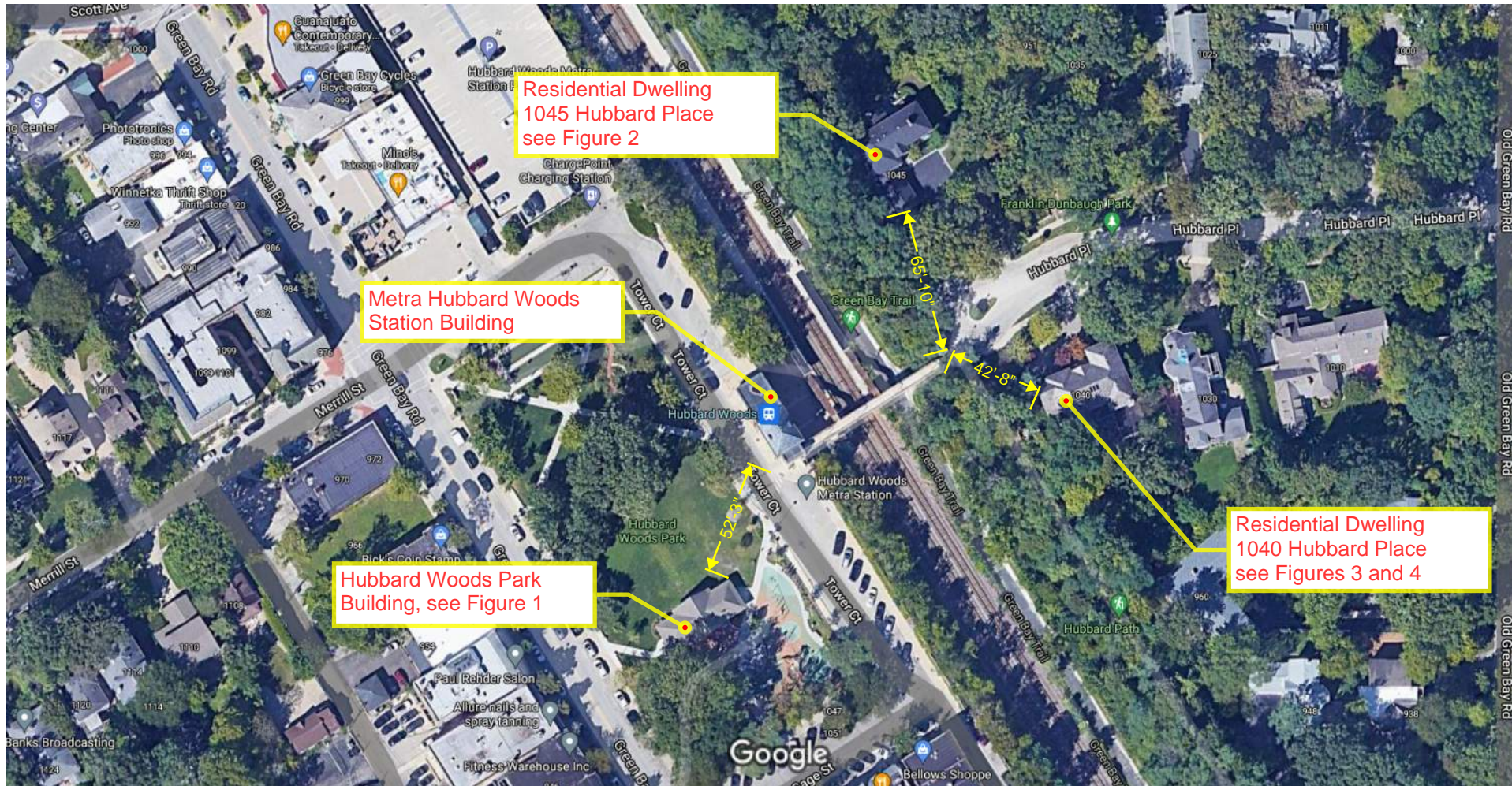
PROJECT NO. SHEET NO.
JP5194 L-501

MILE POST NO. UPN 17.70



Village of Winnetka – Certificate of Appropriateness
Application

Renovation of Hubbard Woods Station Neighborhood / Adjacent Building Context



Imagery ©2021 Maxar Technologies, U.S. Geological Survey, Map data ©2021

50 ft





Figure 1 - Hubbard Woods Park Building, 1047 Gage Street; Structure is approximately 52' from Station drive aisle.



Figure 2 - Residential Dwelling at 1045 Hubbard Place, Structure is approximately 65' from pedestrian bridge and ADA ramp



Figure 3 - Residential Dwelling at 1040 Hubbard Place, Structure is approximately 43' from pedestrian bridge and ADA ramp.



Figure 4 - Residential Dwelling at 1040 Hubbard Place, Illustrates reference height of existing pedestrian bridge stairs to residential dwelling.

ATTACHMENT B

From: [REDACTED]
To: [Planning](#)
Cc: [REDACTED]
Subject: Hubbard Woods Train Station Renovation
Date: Saturday, April 12, 2025 4:38:23 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

>> Dear Design Review Board,

>>

>> I live near the Hubbard Woods Train Station and I support renovating the station. It is old and rusty in places, and definitely needs to be updated. The proposal looks nice.

>>

>> I write to bring up the loud train announcements. We live in a nice residential neighborhood, east of the station. The very loud announcements impact the neighborhood. (The mechanical sound of the train does not bother us). At times, the announcements have been so loud and so repetitive that they have impacted our enjoyment of our yard.

>>

>> I request that you, the Design Review Board, is sensitive to the impact of the announcements, as you study and approve the renovation of this station. Would it be possible to include an electronic sign that updates the train arrivals and departures? Can the speakers be targeted to the warming shelters and the platforms? Perhaps the speakers could be lowered to reach the people waiting for the train, and low height would ensure that the sound does not blast the neighborhood.

>>

>> Thank you very much,

>>

>>

>> Katherine Hazelwood

>> 270 Scott Ave

>> Winnetka, IL 60093

>> [REDACTED]



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, ASSISTANT DIRECTOR
DATE: MAY 8, 2025
SUBJECT: 557 & 561 ORCHARD LANE - FINAL PLAT APPROVAL
557/561 ORCHARD LANE CONSOLIDATION (CASE NO. 25-04-SD)

INTRODUCTION

On May 12, 2025, the Zoning Board of Appeals (ZBA) is scheduled to hold a public hearing on an application submitted by Katherine Kirkpatrick and Nicolas Bos (collectively, the “Applicant”), as the owners of the properties located at 557 Orchard Lane and 561 Orchard Lane, (collectively the “Subject Property”). The Applicant has filed an application seeking the following approval as part of a Final Subdivision Plat approval to consolidate the two existing lots into a single lot of record, together with the following relief:

1. A variation to permit the existing residence at 561 Orchard Lane to observe less than the minimum required side yard setback from the west property line, which is due to an increase in the minimum required side yard setback as a result of the proposed increase in total lot area and increase in average lot width.

Additionally, this application is subject to review by the Plan Commission (PC) regarding the consolidation, including the requested zoning relief described above. The PC is scheduled to consider the request on May 22, 2025. The ZBA is charged with making a recommendation to the Village Council regarding the zoning variation. The Applicant has also submitted a demolition application to demolish the existing residence at 557 Orchard Lane. The Historic Preservation Commission considered the demolition application on January 6, 2025, and by a vote of 5-0 approved the demolition without delay.

A mail notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance, informing them of the public hearing being held by the ZBA. The hearing was also properly noticed in the *Winnetka Talk* on April 24, 2025. As of the date of this memo, staff has received one written comment from the public regarding this application. The comment is provided in **Attachment C** of this report.

The Village Council has final jurisdiction on this request.

PROPERTY DESCRIPTION

The Subject Property is located on the north side of Orchard Lane, between Walnut and Poplar Streets, is zoned R-5 Single Family Residential and currently consists of two equally sized buildable lots. Each lot measures 8,260 square feet in lot area and 50 feet in lot width.

Each of the existing lots contains an existing two-story residence. The 557 Orchard Lane parcel also contains a storage shed and the 561 Orchard Lane parcel contains a detached garage. The existing parcels and improvements are depicted below and on the following page in Figures 1 and 2.

The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The current R-5 zoning is consistent with the Comprehensive Plan.

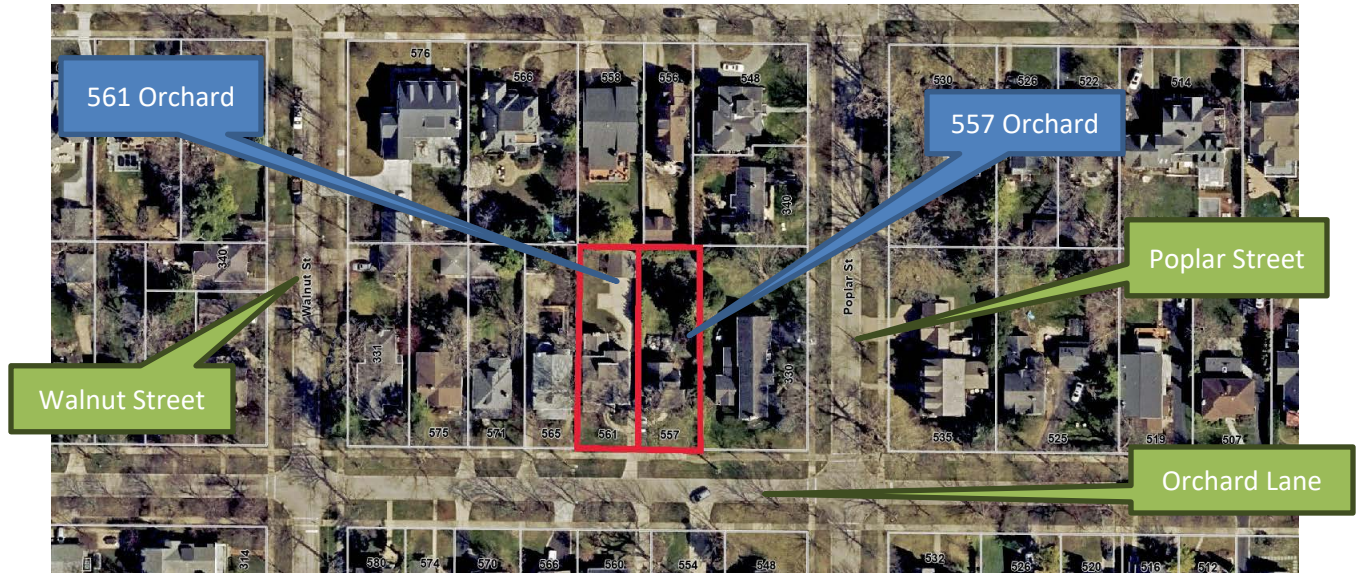


Figure 1 – Two Existing Lots

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The original date of construction of 557 Orchard Lane cannot be determined from Village records. However, the Winnetka Historical Society estimates the residence was in constructed in 1912. Construction of the existing residence at 561 Orchard Lane was completed in 2017. There are no previous zoning cases for the Subject Property. Figure 2 on the following page is a recent photo of the Subject Property.



Figure 2 - Subject Property

GENERAL DESCRIPTION OF PROPOSED PLAT OF CONSOLIDATION / RESUBDIVISION

The Applicant resides at 561 Orchard Lane, which they acquired in 2021. Subsequently, the Applicant acquired the adjacent property at 557 Orchard Lane in 2024. If approved, the Applicant will demolish the existing residence and shed at 557 Orchard Lane and consolidate the two parcels into a single buildable lot measuring 16,520 square feet. The existing residence at 561 Orchard Lane would remain. As represented in the attached application materials (**Attachment A**), the Applicant also intends to remove the existing detached garage at 561 Orchard Lane and construct an addition on the east side of the existing residence on the 561 Orchard Lane parcel. Additionally, the Applicant intends to remove the existing driveways and install a new driveway on east side of the proposed consolidated lot which would lead to an attached three-car garage. The necessary permit applications for these proposed improvements have not been submitted to date, the Applicant is simply demonstrating what their intent for the proposed consolidated lot is at this time. However, a preliminary zoning review of the proposed improvements has been completed to verify that what is being presented to the Board complies with all zoning regulations.

The proposed subdivision is represented in Figure 3 on the following page. An excerpt of the proposed site plan is also provided on the following page in Figure 4 and an excerpt of the *557/561 Orchard Lane Consolidation* plat is provided in Figure 5 later in this report.

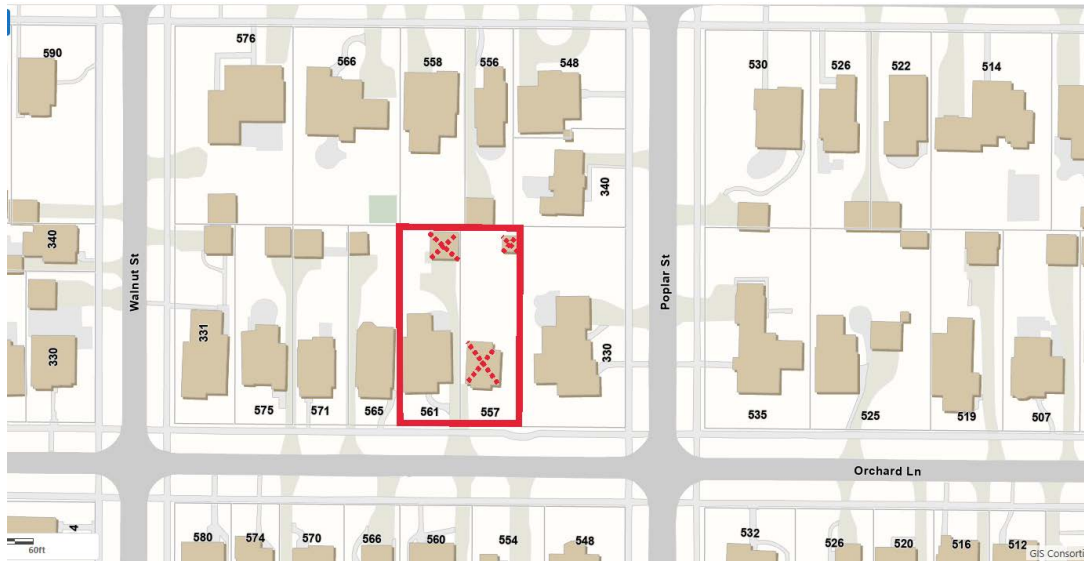


Figure 3 – Proposed subdivision (neighborhood map view)

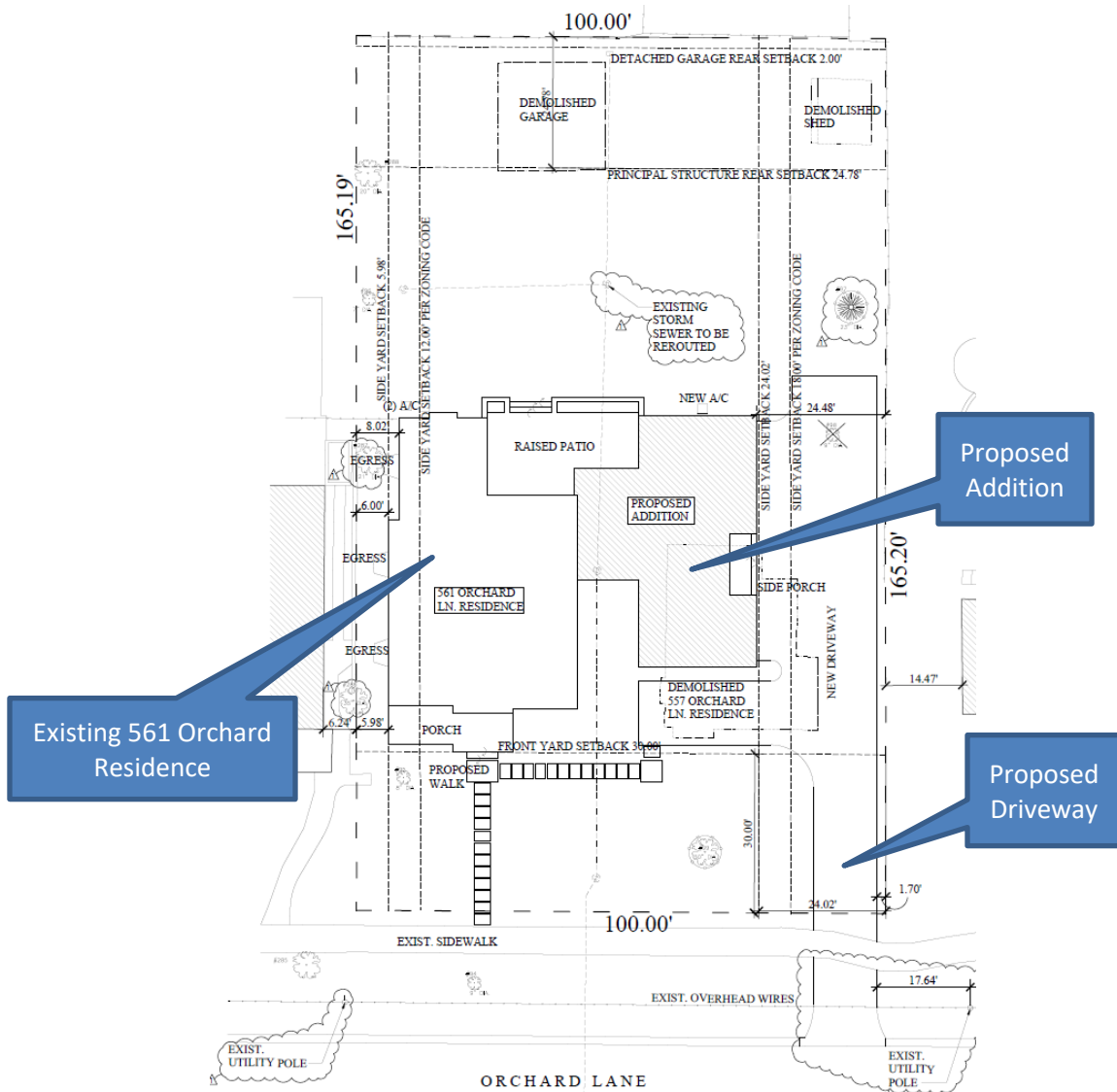


Figure 4 – Excerpt of Proposed Site Plan

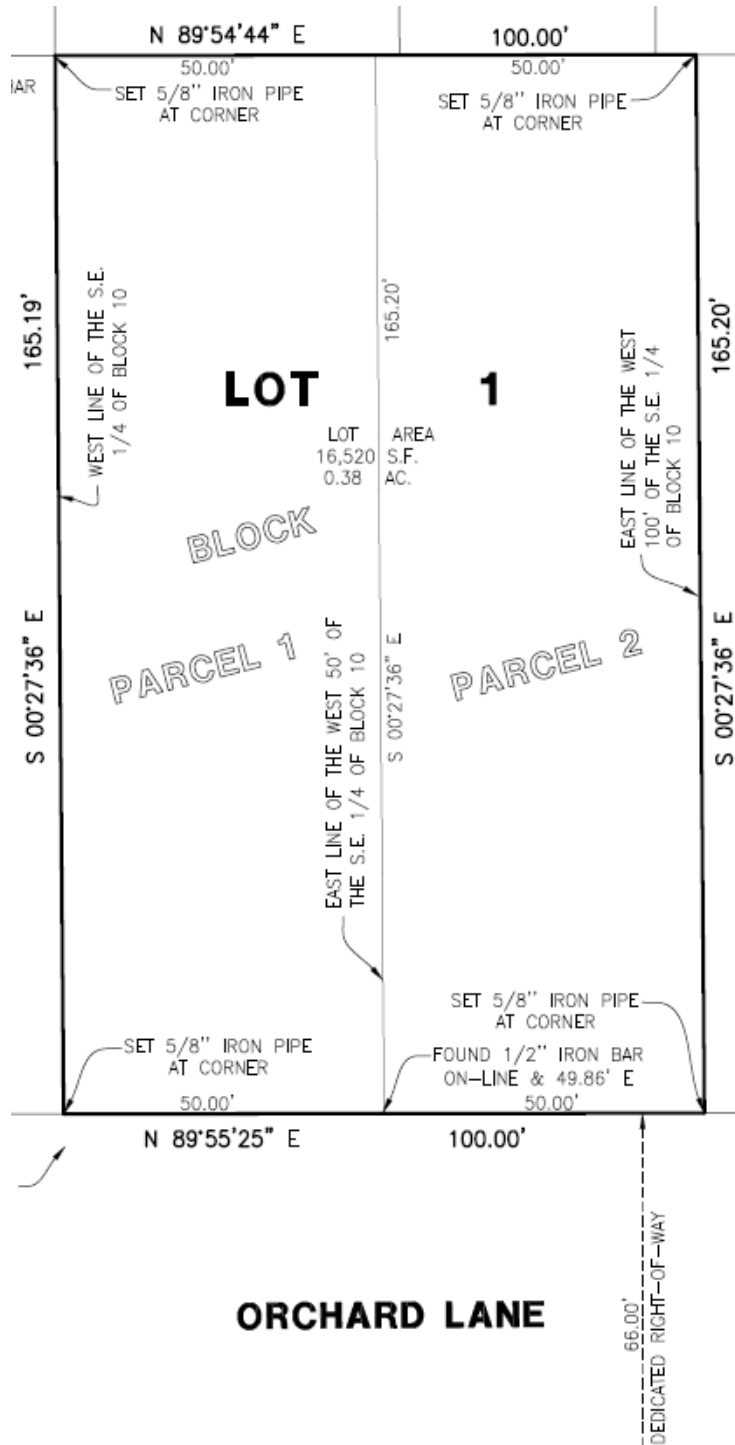


Figure 5 – Excerpt of Proposed 557/561 Orchard Lane Consolidation Plat

DESCRIPTION OF ZONING STANDARDS

The Subject Property is located in the R-5 Single Family Residential zoning district, which is one of five different single family residential zoning classifications in the Village. The R-5 zoning district provides for the densest form of single-family development compared to most other residential zoning districts, with the R-5 zoning district’s purpose statement describing the district as demonstrating a “relatively intense suburban” character.

Residential Zoning Hierarchy

A comparison of the Village’s five different residential zoning classifications (Table 1 below) shows the hierarchy of zoning standards throughout the Village’s residential neighborhoods, ranging from larger “estate” character lots in portions of the Village, to smaller, more intensive developed areas.

Surrounding Zoning

Neighboring lots to the east, south, and west are similarly zoned for smaller lot sizes called for in the R-5 zoning district (minimum lot area of 8,400 square feet for interior lots). Neighboring lots to the north are zoned for slightly larger lot sizes called for in the R-4 zoning district (minimum lot area of 12,600 square feet for interior lots), as depicted in Figure 6 below.

Table 1 Residential Zoning Hierarchy	R-1 ("estate" character)	R-2 ("small estate" character)	R-3 ("moderately intense" suburban character)	R-4 ("relatively intense" suburban character)	R-5 ("relatively intense" suburban character)
Minimum Lot Area - interior lots	48,000 s.f.	24,000 s.f.	16,000 s.f.	12,600 s.f.	8,400 s.f.
Minimum Lot Width – interior lots	150 ft.	100 ft.	75 ft.	60 ft.	60 ft.
Minimum Required Front Setback	50 ft.	50 ft.	40 ft.	30 ft.	30 ft.
Required Rear Setback	50 ft.	15% of lot depth, but not less than 10 ft. nor more than 25 ft.	15% of lot depth, but not less than 10 ft. nor more than 25 ft..	15% of lot depth, but not less than 10 ft. nor more than 25 ft.	15% of lot depth, but not less than 10 ft. nor more than 25 ft.

Table 1 – Residential Zoning Hierarchy

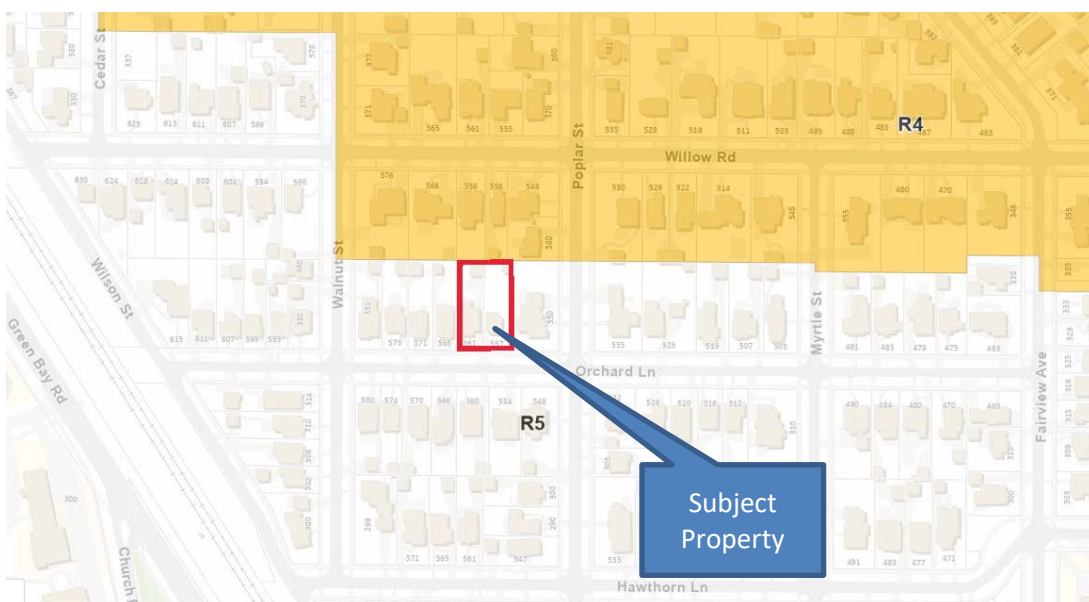


Figure 6 – Area Zoning Map

COMPLIANCE WITH ZONING STANDARDS – LOT SIZE AND DIMENSIONS

All subdivisions are evaluated by staff at the time of application to ensure compliance with basic minimum quantitative measures including, but not limited to (a) minimum lot area, (b) minimum lot width, and (c) minimum lot depth.

The proposed *557/561 Orchard Lane Consolidation* **fully complies** with minimum lot area, lot width and lot depth requirements as summarized in Table 2 below. It should be noted that both of the existing lots are nonconforming in two respects: (1) minimum required lot area, with existing lot areas of 8,260 square feet; and (2) minimum required average lot width, with existing average lot widths of 50 feet. **The proposed subdivision would eliminate two nonconforming lots and create one conforming lot.**

<i>Table 2</i> <i>R-5 Zoning Standards</i>		<i>Proposed Lot</i>	<i>Existing Lot</i> <i>557 Orchard Lane</i>	<i>Existing Lot</i> <i>561 Orchard Lane</i>
Minimum Lot Area (Interior lot)	8,400 sq. ft.	16,520 sq. ft. COMPLIES	8,260 sq. ft. DOES NOT COMPLY	8,260 sq. ft. DOES NOT COMPLY
Minimum Lot Width (average)	60 feet	100 feet COMPLIES	50 feet DOES NOT COMPLY	50 feet DOES NOT COMPLY
Minimum Lot Width (at front street line)	20 feet	100 feet COMPLIES	50 feet COMPLIES	60 feet COMPLIES
Minimum Lot Depth	120 ft.	165 feet COMPLIES	165 feet COMPLIES	165 feet COMPLIES

Table 2 – R-5 Zoning Standards

COMPLIANCE WITH ZONING STANDARDS – REQUIRED SETBACKS AND BUILDING SIZE

The allowable size of buildings on a residential lot and the required amount of open space around the buildings is dictated by the Village Zoning Ordinance. As a general rule, the allowable size of buildings and the setback requirements for those buildings change with any modifications to lot dimensions. As a result, staff conducts analyses of proposed lots and the improvements on those lots to determine (a) whether any new zoning nonconformities would be created by the resubdivision and (b) whether there are any existing zoning nonconformities which will remain. In the event of a zoning nonconformity arising out of a proposed subdivision, relief must be granted by both the Plan Commission and Zoning Board of Appeals.

Staff evaluation of the proposed *557/561 Orchard Lane Consolidation* is summarized in Tables 3 and 4 later in this report, indicating the extent to which the proposed consolidated lot complies with (or falls short of) zoning standards. The item highlighted (in yellow) in Table 3 indicates the **creation of a zoning nonconformity**.

Description of minimum side yard setback requirements – Side yard setback requirements are calculated based on a lot’s width:

- Lots with an average lot width that is 100 feet or more: The minimum required side yard setback is 12 feet.
- Lots with an average lot width that is more than 60 feet, but less than 100 feet: The minimum required side yard setback is 10% of the average lot width.
- Lots with an average lot width of 60 feet or less: The minimum required side yard setback is 6

feet on one side and 8 feet on the other side.

Newly created zoning nonconformity (zoning variation required) – The proposed consolidation has the effect of increasing the average lot width to 100 feet, resulting in an increase in the required minimum side yard setback to 12 feet. **As a result, the proposed larger lot renders the existing 561 Orchard Lane residence (which is setback 5.98 feet from the west property line), nonconforming with the new minimum side yard requirement of 12 feet. The existing improvements providing a minimum side yard of 5.98 feet, are deficient with the new requirement by 6.02 feet or 50.17%.**

Table 3		Proposed Consolidated Lot	<i>Existing Lot 557 Orchard</i>	<i>Existing Lot 561 Orchard</i>
Zoning Setback Requirements				
SETBACK REQUIREMENTS	Minimum Required Front Yard	30 feet	30 feet	30 feet
	Front yard provided existing structures	30.11 feet	32.91 feet	30.11 feet
	Minimum Required Side Yard	12 feet	6 feet	6 feet
	Side yard provided by existing structures	5.98 feet (west) VARIATION of 6.02 FT (50.17%)	8.22 feet (west)	5.98 feet (west)
	Minimum Required Remaining Side Yard	18 feet	8 feet	8 feet
	Side yard provided by existing structures	24.48 feet (east)	12.79 feet (east)	8.07 feet (east)
	Minimum Required Rear Yard	24.78 feet	24.78 feet	24.78 feet
	Rear yard provided by existing structures	71.73 feet (71.42 ft. proposed addition)	91.05 feet	71.73 feet

Table 3 – Zoning Setback Requirements

Table 4 below, highlights (green) two existing zoning nonconformities **that would be eliminated** with the proposed subdivision. The existing improvements on the 561 Orchard Lane parcel currently exceed the maximum permitted roofed lot coverage and impermeable lot coverage, and provide less than the minimum required side yard setback from the west property line by 0.02 feet (0.33%) (highlighted green in Table 3 on previous page). **The proposed 557/561 Orchard Lane Consolidation would eliminate the roofed lot coverage and impermeable lot coverage nonconformities.**

Table 4 – Zoning Building Size Requirements		<i>Proposed Consolidated Lot</i>	<i>Existing Lot 557 Orchard Lane (to be torn down)</i>	<i>Existing Lot 561 Orchard Lane</i>
ALLOWABLE BUILDING SIZE	Maximum Allowed Gross Floor Area (GFA)	5,161.95 sq. ft.	3,304 sq. ft.	3,138.8 sq. ft.
	GFA provided by existing structures or to be provided	5,051.77 sq. ft.	1,808.18 sq. ft.	3,104 sq. ft.
	Maximum Allowed Roofed Lot Coverage (RLC)	4,130 sq. ft.	2,230.2 sq. ft.	2,065 sq. ft.
	RLC provided by existing structures or to be provided	3,004.64 sq. ft.	1,068.59 sq. ft.	2,110.32 sq. ft.
	Maximum Allowed Impermeable Lot Coverage (ILC) (50% of lot area)	8,260 sq. ft.	4,130 sq. ft.	4,130 sq. ft.
	ILC provided by existing structures or to be provided	5,905.31 sq. ft.	2,293.71 sq. ft.	4,265.23 sq. ft.

Table 4 – Zoning Building Size Requirements

STORMWATER

The proposed subdivision consists of consolidating two lots into a single larger lot. As previously mentioned, the Applicant intends to demolish the existing residence and shed at 557 Orchard Lane, as well as the existing detached garage at 561 Orchard Lane, and construct an addition to the existing residence at 561 Orchard Lane. The Village Engineer has reviewed the plans submitted for the proposed consolidation and has noted that additional stormwater detention will be required for the proposed addition. Upon submittal of the building permit for the proposed improvements, Village Engineering staff will work with the Applicant on the rerouting of the existing storm sewer and the necessary stormwater detention as required by the Village stormwater regulations to verify the stormwater is being managed on-site.

Figure 7 on the following page represents the Subject Property’s proximity to the floodplain; the cyan

represents the 100-year floodplain, the orange represents the 500-year floodplain.



Figure 7 – GIS Floodplain Map

REQUESTED ZONING CONSIDERATION

The Applicant is requesting approval of one variation from the Zoning Ordinance in order to allow the subdivision of the Subject Property, which would consolidate the two existing lots at 557 and 561 Orchard Lane into a single lot of record.

Side Yard Setback (West Property Line). The existing residence at 561 Orchard Lane currently provides a west side yard setback of 5.98 feet. As explained earlier in this report, the proposed subdivision increases the width of the lot to 100 feet and in turn increases the minimum required side yard setback to 12 feet, which the existing residence does not comply with. It is important to note that the proposed improvements comply with the side yard setback, as well as all other zoning regulations for the newly created lot. The zoning relief is being requested to permit the existing residence to provide a side yard setback of 5.98 feet from the west property line, a variation of 6.02 feet (50.17%).

FINDINGS

Section 17.60.040 of the Zoning Ordinance lists eight variation standards that the Board must find a variation application meets. The Applicant has supplied as part of their application materials a narrative addressing how this proposal meets these standards.

Does the ZBA find that the requested variation meets the standards for granting such variation; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variation granting:

1. **Side Yard Setback** of 5.98 feet from the west property line, whereas a minimum of 12 feet is required, a variation of 6.02 feet (50.17%) [Section 17.30.060 – Side Yard Setback].

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variation requested is **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **have been met [have not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
- b. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
- c. The variation, if granted, will not alter the essential character of the locality.
- d. An adequate supply of light and air to the adjacent property will not be impaired.
- e. The hazard from fire and other damages to the property will not be increased.
- f. The taxable value of the land and buildings throughout the Village will not diminish.
- g. The congestion in the public street will not increase.
- h. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Proposed Plat of Subdivision (557/561 Orchard Lane Consolidation)

Attachment C: Public Correspondence

ATTACHMENT A

Village of Winnetka
SUBDIVISION/CONSOLIDATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

SUBDIVISION/CONSOLIDATION APPLICATION

Case No. 25-04-SD
R22025-173

Property Information

Site Address: 557 Orchard Lane, Winnetka, IL and 561 Orchard Lane, Winnetka, IL
Parcel Identification Number(s) (PIN): 05-21-303-010-0000 and 05-21-303-009-0000

Property Owner Information

Name: Katherine Kirkpatrick and
Nicolas Bos

Primary Contact: Katherine Kirkpatrick

Address: 561 Orchard Lane

City, State, Zip: Winnetka, IL 60093

Phone No. [REDACTED]

Email: [REDACTED]

Date owner acquired property: 557 Orchard: 2024
561 Orchard: 2021

Architect Information

Name: Edward Deegan Architects

Primary Contact: Edward Deegan

Address: 560 Green Bay Rd, Ste 301

City, State, ZIP: Winnetka, IL 60093

Phone No. 847-906-4110

Email: ejd@edwarddeeganarchitects.com

Surveyor Information

Company Name: Greengard Inc.

Primary Contact: Antonio Catella

Address: 111 Barclay Blvd., Suite 310

City, State, Zip: Lincolnshire, IL 60069-3615

Phone No. 847-634-3883

Email: acatella@greengardinc.com

Attorney Information

Name: _____

Primary Contact: _____

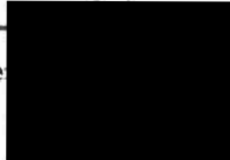
Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Property Owner Signature



Date: 3/19/25



Village of Winnetka
Planning Commission
510 Green Bay Road
Winnetka, Illinois 60093

February 20, 2025

Re: Subdivision/Consolidation Application for Variation at 561 Orchard Lane in Winnetka, Illinois

Members of the Planning Commission:

The purpose of the Consolidation Application for 557 Orchard Lane and 561 Orchard Lane is to create a single residential lot from 2 existing residential lots. The current home at 561 Orchard Lane was purchased in 2021 and is the residence of the owners, Nicolas Bos and Katherine Kirkpatrick. In 2024, these same homeowners purchased the vacant home next door and to the east, 557 Orchard Lane. The homeowners wish to create an easterly addition to the existing home at 561 Orchard Lane and plan to demolish the dilapidated structure at 557 Orchard Lane. The addition will include a 3 Car Attached Garage, a Mud Room and a Guest Suite with a Kitchenette on the second floor.

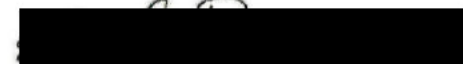
A Demolition Application for 557 Orchard Lane was submitted by the homeowners in late 2024. This structure was not found to be historically significant by the Winnetka Historical Society. At the January 6th, 2025 meeting of the Historic Preservation Commission, the Demolition Application was reviewed. It was determined that an HAIS was not needed, and a motion was passed unanimously to approve the Demolition Application without delay.

Both 557 Orchard Lane and 561 Orchard Lane have south-facing single family homes situated on adjoining rectangular lots that are 50' wide (east to west) and 165.19' deep (north to south). The proposed consolidated single lot would be 100' wide (east to west) and 165.19' deep (north to south) and the existing home at 561 Orchard Lane would remain.

Outcomes for the Consolidation of the properties at 557 Orchard Lane and 561 Orchard Lane would include:

- The proposed easterly addition to 561 Orchard Lane could only be completed through the consolidation of the property and the property next door at 557 Orchard Lane. The proposed addition is preferable over building a new construction home at 557 Orchard Lane by nature of the increase in the eastern side yard setback from the eastern neighbor. This increased green space, air and light between the proposed addition to 561 Orchard Lane and the neighbor at 330 Poplar Street positively impacts and enhances the quiet and peaceful enjoyment of both properties. The eastern setback would increase from just under 20' to 30.48'.
- A Variance would need to be sought after consolidation. The proposed addition meets the 8 Zoning Board of Appeals Variation standards. The Variance for the proposed addition would formalize the newly created non-conformity at the western edge of the property, however this addition would not increase the degree of nonconformity.

Regards,



Edward J Deegan AIA NCARB



VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 25-04-50

Property Information

Site Address: 561 Orchard Lane, Winnetka, IL

VA2025-119

Owner Information

Name: Katherine Kirkpatrick and

Primary Contact: Katherine Kirkpatrick

Nicolas Bos
Address: 561 Orchard Lane

Phone No. [REDACTED]

City, State, ZIP: Winnetka, IL 60093

Email: [REDACTED]

Date property acquired by owner: 2021

Architect Information

Attorney Information

Name: Edward Deegan Architects

Name: _____

Primary Contact: Ed Deegan

Primary Contact: _____

Address: 560 Green Bay Rd, Ste 301

Address: _____

City, State, ZIP: Winnetka, IL 60093

City, State, Zip: _____

Phone No. 847-906-4110

Phone No. _____

Email: ejd@edwarddeeganarchitects.com

Email: _____

Nature of any restrictions on property: None.

Brief explanation of variation(s) requested (attach separate sheet providing additional details): _____

A variation is sought for the western side yard set back. The requirement is 12'. The existing conditions are 5.98'. New side yard setbacks were required after the consolidation of 561 Orchard Lane and 557 Orchard Lane.

Property Owner Signature: [REDACTED]

Date: 3/19/25



Village of Winnetka
Zoning Board of Appeals
510 Green Bay Road
Winnetka, Illinois 60093

February 20, 2025

Re: Zoning Application for Variation at 561 Orchard Lane in Winnetka, Illinois

Members of the Zoning Board of Appeals:

Before addressing the Zoning Application for a Variation at 561 Orchard Lane, a brief history is provided for the properties at 557 Orchard Lane and 561 Orchard Lane.

The purpose of the Consolidation Application for 557 Orchard Lane and 561 Orchard Lane is to create a single residential lot from 2 existing residential lots. The current home at 561 Orchard Lane was purchased in 2021 and is the residence of the owners, Nicolas Bos and Katherine Kirkpatrick. In 2024, these same homeowners purchased the vacant home next door and to the east, 557 Orchard Lane. The homeowners wish to create an addition to the existing home at 561 Orchard Lane and to demolish the dilapidated structure at 557 Orchard Lane. The addition will include a 3 Car Attached Garage, a Mud Room and a Guest Suite with a Kitchenette on the second floor.

A Demolition Application for 557 Orchard Lane was submitted by the homeowners in late 2024. This structure was not found to be historically significant by the Winnetka Historical Society. At the January 6th, 2025 meeting of the Historic Preservation Commission, the Demolition Application was reviewed. It was determined that an HAIS was not needed, and a motion was passed unanimously to approve the Demolition Application without delay.

Both 557 Orchard Lane and 561 Orchard Lane have south-facing single family homes situated on adjoining rectangular lots that are 50' wide (east to west) and 165.19' deep (north to south). The proposed consolidated single lot would be 100' wide (east to west) and 165.19' deep (north to south) and the existing home at 561 Orchard Lane would remain.

If the Consolidation Application were approved, the need would arise for a Variation as the newly consolidated property will create new side yard setbacks. The existing home at 561 Orchard Lane will then be in nonconformity on the west end by exceeding the new side yard setback of 12' by 6.02'. A Variation will be required and requested for the western side yard setback. The consolidation will also create a new requirement for the combined side yard setback to be 30'. The proposed addition will be in conformity with a combined actual side yard setback of 30.48'.

In order to obtain the required side yard setback Variation, the Zoning Board of Appeals set of Variation standards have been addressed below:

1. that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district;
 - The current home at 557 Orchard Lane is in a dilapidated condition and will be demolished. The proposed addition to the existing home at 561 Orchard Lane is preferable for the neighborhood over building a new construction home at 557 Orchard Lane by nature of the increase in the



- eastern side yard set back from the eastern neighbor. This increased green space between the proposed addition to 561 Orchard Lane and the neighbor at 330 Poplar Street positively impacts and enhances the quiet and peaceful enjoyment of both properties.
2. that the plight of the owner is due to unique circumstances;
 - The Variation being sought is for the western side yard setback of the existing home at 561 Orchard Lane. The Variation will not increase proximity or change in any way the relationship of the home at 561 Orchard Lane to the western neighbor at 565 Orchard Lane. The proposed addition to the existing home at 561 Orchard Lane will increase the distance of structures on the eastern end of the property to the neighbor at 330 Poplar Street. The proposed improvement requires the formalization of the newly created non-conformity without increasing the degree of nonconformity.
 3. that the variation, if granted, will not alter the essential character of the locality;
 - The essential character of the locality will be unchanged as it is currently a quiet residential neighborhood of single-family homes and this will remain.
 4. that an adequate supply of light and air to adjacent property will not be impaired;
 - The addition to the east of the existing home at 561 Orchard Lane will not create a diminished supply of light and air to the adjacent properties on both the west and east sides. The consolidation of 557 Orchard Lane and 561 Orchard Lane will create new side yard setback requirements for the addition proposed for 561 Orchard Lane. The actual side yard to the west will remain unchanged. After the proposed addition, the new side yard to the east will be at 30.48', and this is an improvement from the existing condition to the east of 19.76'.
 5. that the hazard from fire and other damages to the property will not be increased;
 - The addition to the east of the existing home at 561 Orchard Lane will not increase the hazard from fire and other damages to the property. The existing home at 557 Orchard Lane that will be demolished is in a dilapidated condition with foundation issues that are not salvageable.
 6. that the taxable value of land and buildings throughout the Village will not diminish;
 - The homeowner's addition plans have received preliminary bids from 2 General Contractors for the cost of construction. The taxable value of the sum of both properties will not be diminished from the existing taxable values.
 7. that the congestion in the public street will not increase;
 - The addition plans will not increase traffic as one single family home will be replaced by a modest addition the neighboring single-family home.
 8. that the public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired.
 - The addition plans will not impair the public health, safety, comfort, morals and welfare of the inhabitants of the Village.

Regards,



Edward J Deegan AIA NCARB



PLAT OF SURVEY

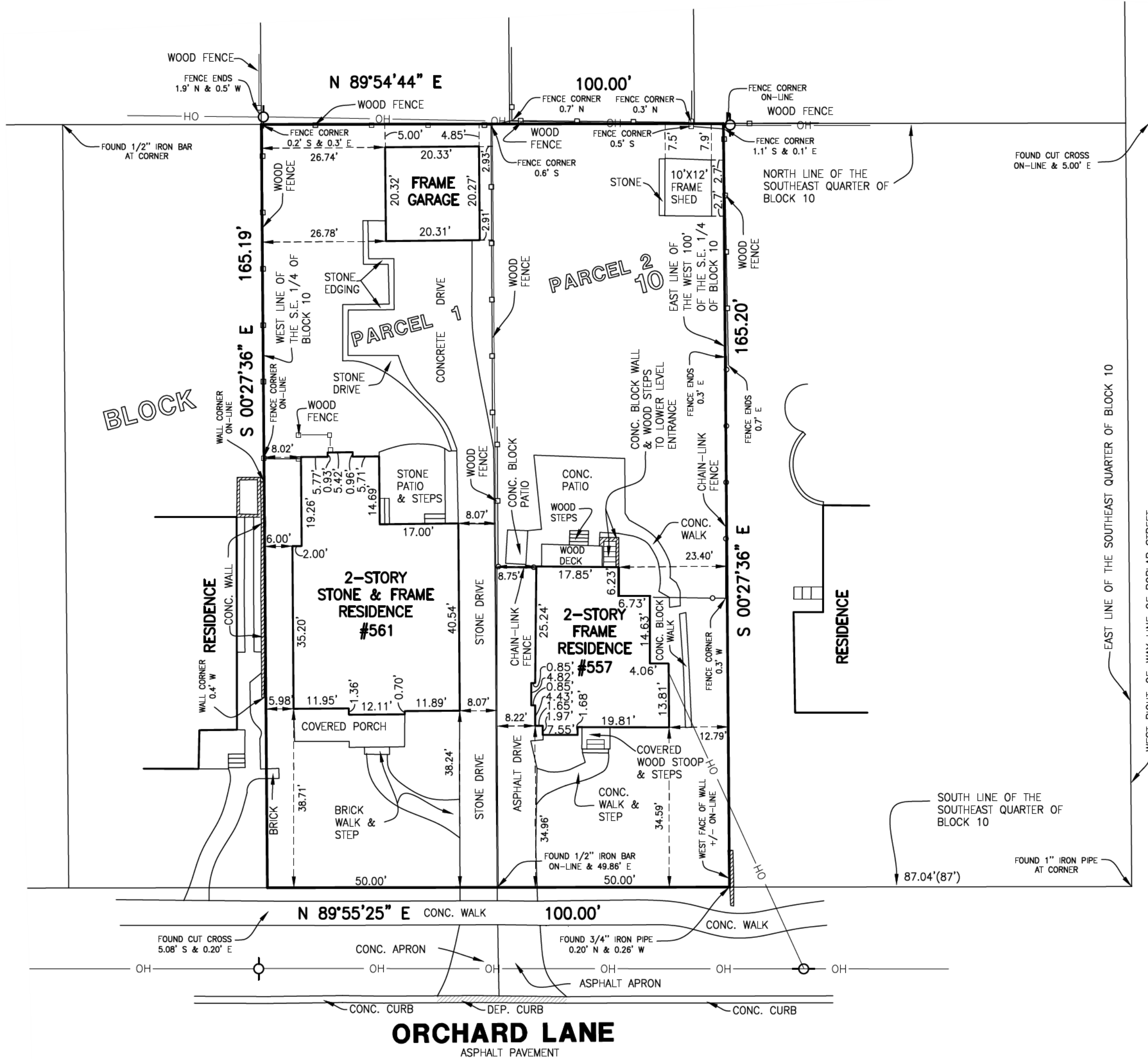


PARCEL 1:

THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THE EAST 50 FEET OF THE WEST 100 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



LEGEND

- POWER POLE
- OH — OVERHEAD LINES

SURVEYORS NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. () DENOTES RECORD DIMENSION.
3. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
4. ORIGINAL CLIENT— EDWARD DEEGAN ARCHITECTS
5. ORIGINAL FIELD WORK COMPLETED— 12-11-24

GENERAL NOTES:

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
3. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
4. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

AREA

16,520 Sq. Ft. OR 0.38 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 22ND DAY OF APRIL, A.D., 2025



Joseph R. Sadosi
JOSEPH R. SADOSKI
ILLINOIS

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-26.

DATE	REVISIONS	BY
04-22-25	REVISE S.W. BLDG TIE (PARCEL 1)	SM

DESIGNED BY:	DATE:
AN	12-16-24
CHECKED BY:	DATE:
JRS	12-16-24



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
PHONE: 847-634-3883
FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000995

SCALE:	1"=20'
DRAWING No.	70266
SHEET	1 OF 1

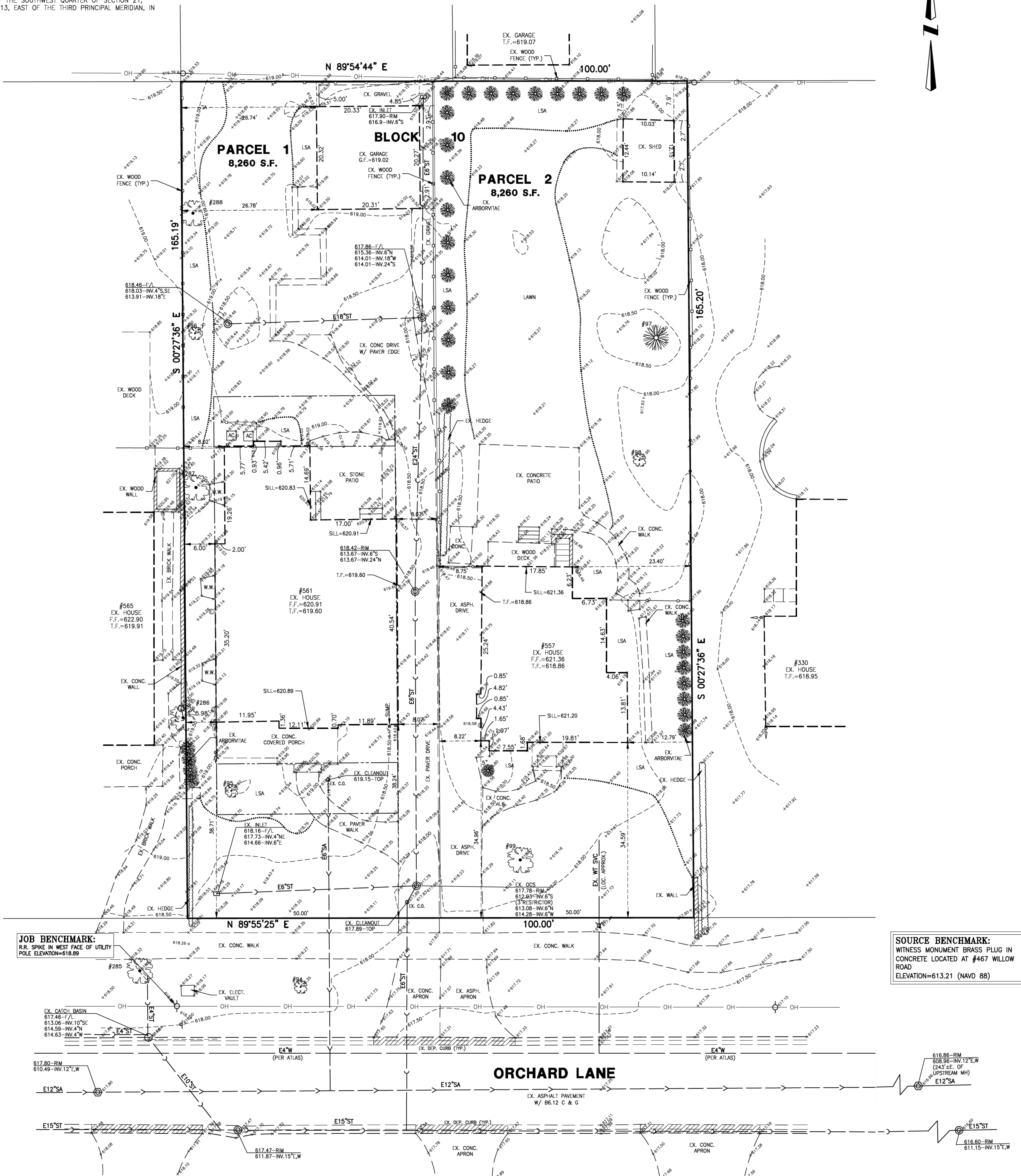
557 & 561 ORCHARD LANE - WINNETKA, ILLINOIS

PLAT OF SURVEY

LEGAL DESCRIPTION

PARCEL 1:
THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THE EAST 50 FEET OF THE WEST 100 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



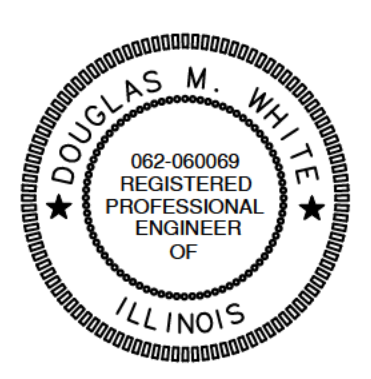
JOB BENCHMARK:
R.R. SPIKE IN WEST FACE OF UTILITY POLE ELEVATION=618.89

SOURCE BENCHMARK:
WITNESS MONUMENT BRASS PLUG IN CONCRETE LOCATED AT #467 WILLOW ROAD ELEVATION=613.21 (NAVD 88)

Tree Preservation Survey					561 Orchard Ln Winnetka, IL	
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)	NOTES / LOCATION		
94	9	Amur Maple	3	Parkway		
95	8	River Birch	3			
286	35	Swamp White Oak	3			
287	21	Sugar Maple	3			
96	7	Bur Oak	3			
288	20	Honey Locust	3			
289	13	White Pine	3			
290	16	White Pine	3			
					557 Orchard Ln	
97	23	Spruce	3			
98	9	Crabapple	3			
99	50	American Elm	3			

Lou Leggett
Certified Arborist #177A

GREENGARD, INC.
Engineers • Surveyors • Planners
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PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM ILL. REGISTRATION NO. 184-000995



Douglas M. White P.E.
SIGNATURE
04-22-25
DATE
EXPIRES 11-30-25

- LEGEND**
- 104- CONTOUR
 - x 105.08 SPOT ELEVATION
 - 10' DECIDUOUS TREE W/DIA.
 - 12" CONIFEROUS TREE W/DIA.
 - CRITICAL ROOT ZONE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - INLET
 - WATER SERVICE BOX
 - VALVE & VAULT
 - FIRE HYDRANT
 - UTILITY POLE
 - LIGHT STANDARD
 - STORM CULVERT
 - E8"SA- SANITARY SEWER
 - E12"ST- STORM SEWER
 - E6"W- WATER MAIN
 - DITCH
 - SWALE
 - DIRECTION SURFACE DRAINAGE
 - FENCE
 - o or o DOWNSPOUT

DWG: 04-21-25 PER VILLAGE REVIEW
 DRAWN BY: DATE: REVISIONS

557 & 561 ORCHARD LANE - WINNETKA, IL
EXISTING TOPOGRAPHY

A RENOVATION & ADDITION IN WINNETKA
THE BOS KIRKPATRICK RESIDENCE
561 ORCHARD LANE.
WINNETKA, IL 60093

ARCHITECTURAL DOCUMENTATION:

A001	COVER SHEET
A002	SITE PLAN
A003	ZONING DIAGRAMS
A100	BASEMENT/FOUNDATION PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ATTIC/ROOF PLAN
A200	SOUTH & WEST ELEVATIONS
A201	NORTH & EAST ELEVATIONS
A202	GARAGE ELEVATIONS

Professional Design Firm
License NO 184 007114

DATE	DRAWING SET
01 29 2025	PRELIMINARY PRICING
04 24 2025	WINNETKA - ZONING COMMENTS #1

The Bos Kirkpatrick Residence

561 Orchard Lane
Winnetka IL, 60093

-NOT FOR CONSTRUCTION-

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 906 - 4110

Sheet No
A001
Project No 24 71

EXISTING FIRST FLOOR AREA

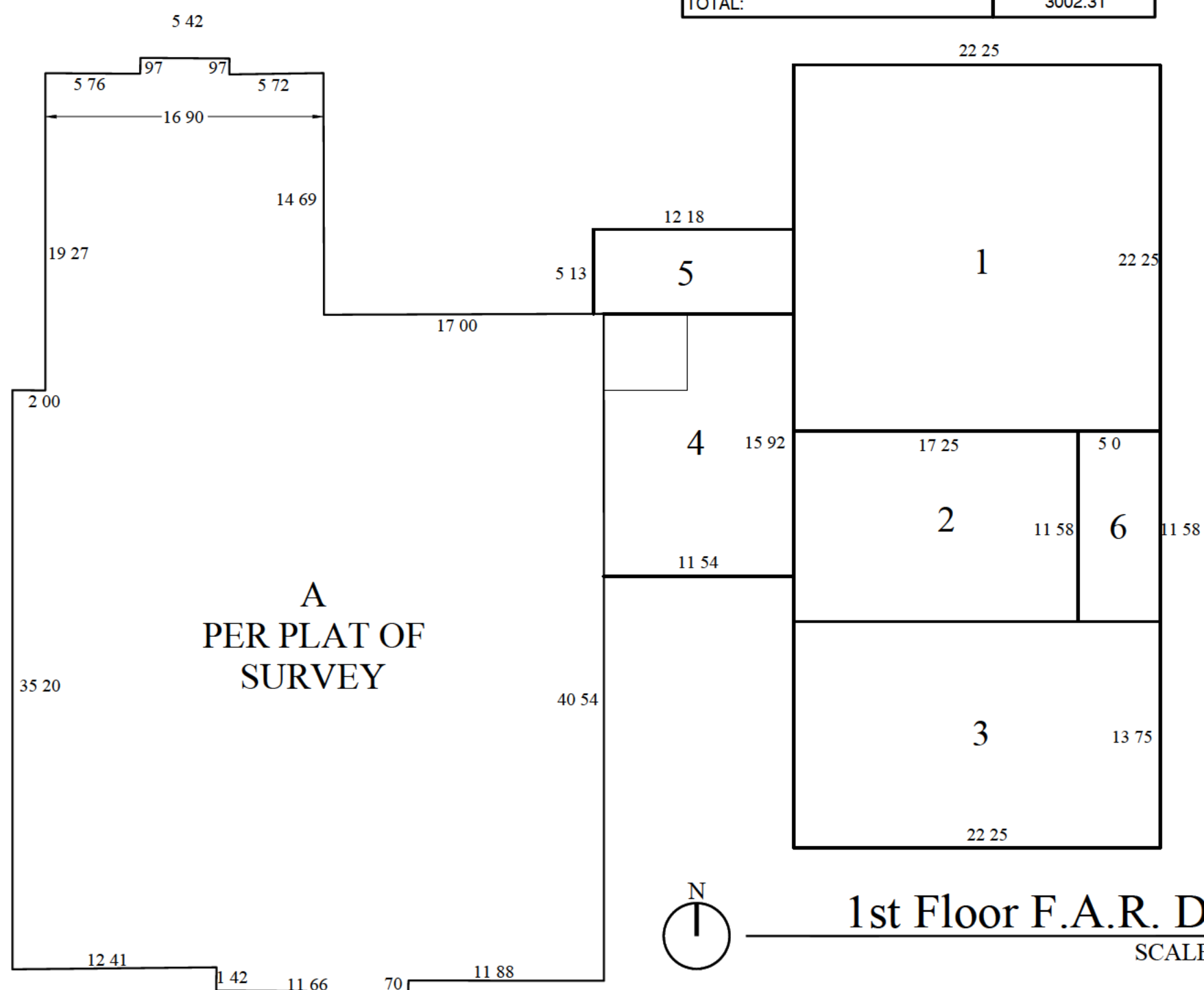
PIECE	DIMENSIONS (FT)	GFA AREA
A	1ST FLR. PER PLAT	1697.12
B	GARAGE PER PLAT	442.76
TOTAL		1697.12

DEMOLISHED

PROPOSED FIRST FLOOR AREA

PIECE	DIMENSIONS (FT)	GFA AREA
1	22.25 x 22.25	495.06
2	17.25 x 11.58	199.76
3	22.25 x 13.75	305.94
4	11.54 x 15.92	183.71
5	12.27 x 5.12	62.82
6	5.0 x 11.58	57.9
TOTAL		1305.19

TOTAL FIRST FLOOR AREA COMBINED	
PROPOSED	1305.19
EXISTING	1697.12
TOTAL:	3002.31



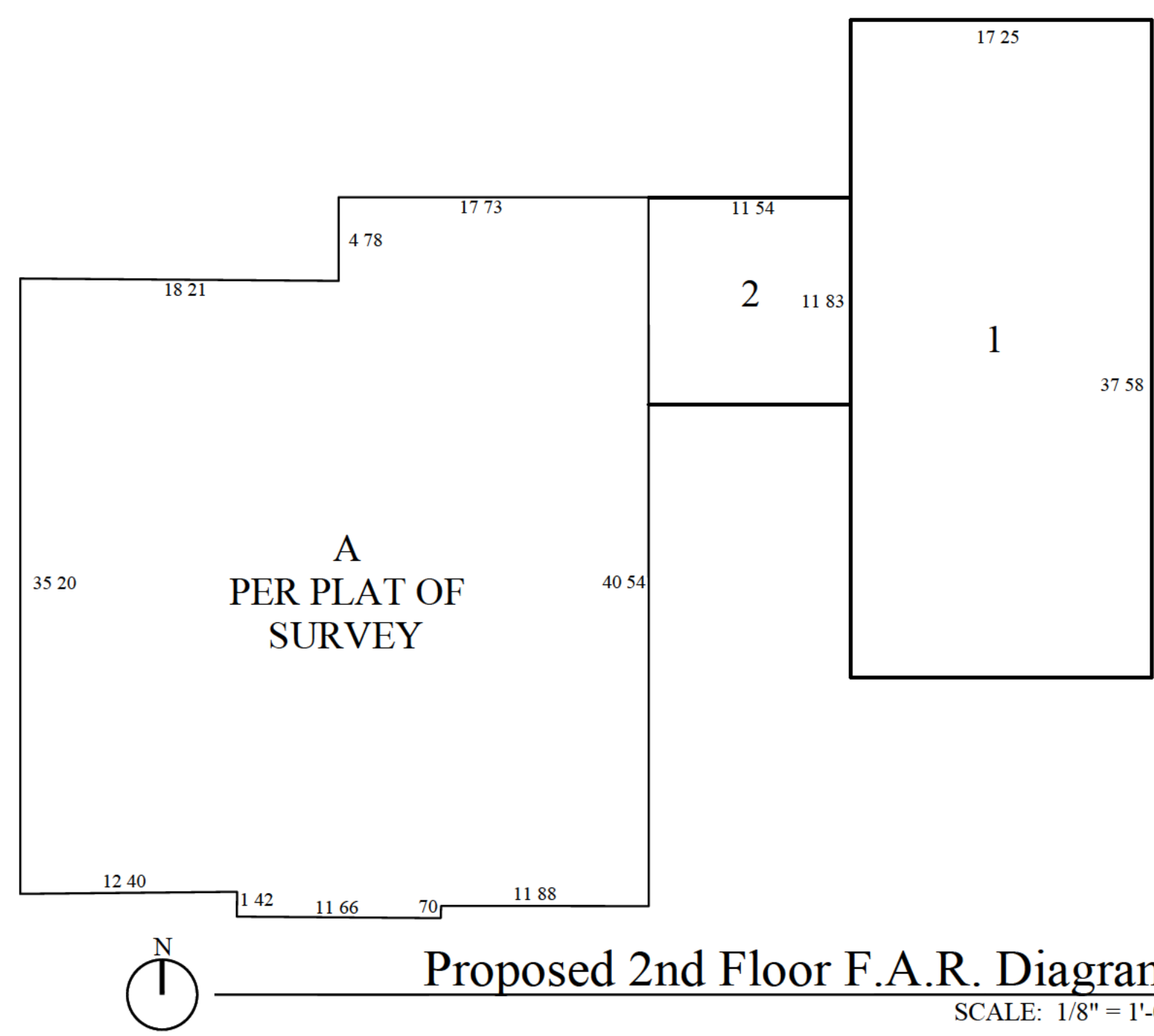
EXISTING SECOND FLOOR AREA

PIECE	DIMENSIONS (FT)	GFA AREA
A	EXISTING 2ND FLR.	1369.22
TOTAL		1369.22

PROPOSED SECOND FLOOR AREA

PIECE	DIMENSIONS (FT)	GFA AREA
1	17.25 x 37.58	648.26
2	11.58 x 12.04	136.52
TOTAL		783.78

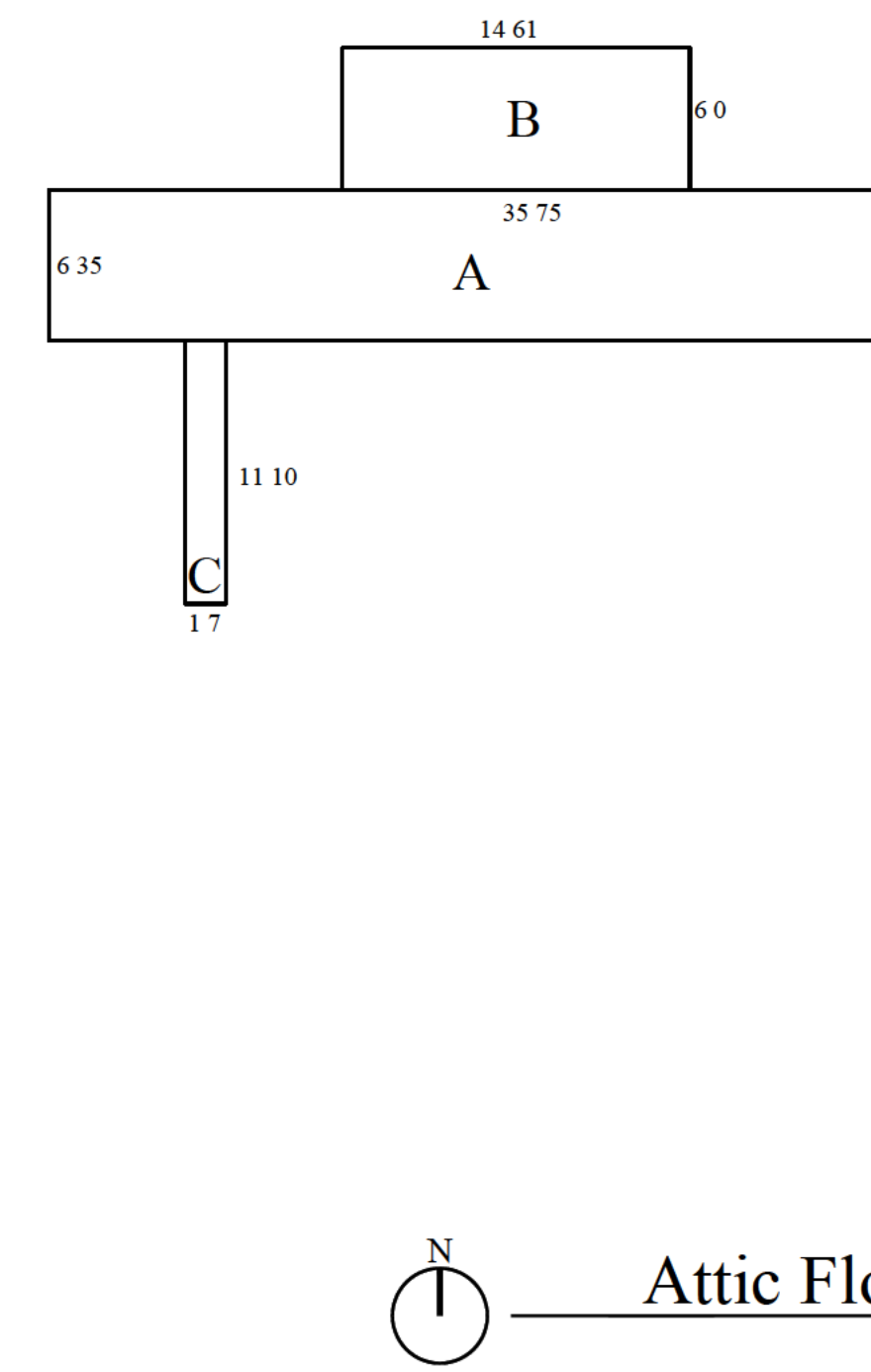
TOTAL SECOND FLOOR AREA COMBINED	
PROPOSED	783.78
EXISTING	1369.22
TOTAL:	2153



EXISTING ATTIC AREA

PIECE	DIMENSIONS (FT)	RLC AREA
A	35.75 x 6.35	227.01
B	14.61 x 6.0	87.66
C	1.70 x 11.10	18.87
TOTAL		333.54

333.54 ATTIC EXCLUSION



EXISTING ENCLOSED ROOFED BUILDING AREAS

PIECE	DIMENSIONS (FT)	RLC AREA
A	1ST FLR. PER PLAT	1697.12
B	GARAGE PER PLAT	442.76
TOTAL		1697.12

DEMOLISHED

EXISTING OTHER ROOFED AREAS

PIECE	DIMENSIONS (FT)	RLC AREA
B	PER PLAT OF SURVEY	88.57
C	PER PLATE OF SURVEY	82.92
TOTAL		171.49

PROPOSED ENCLOSED ROOFED BUILDING AREAS

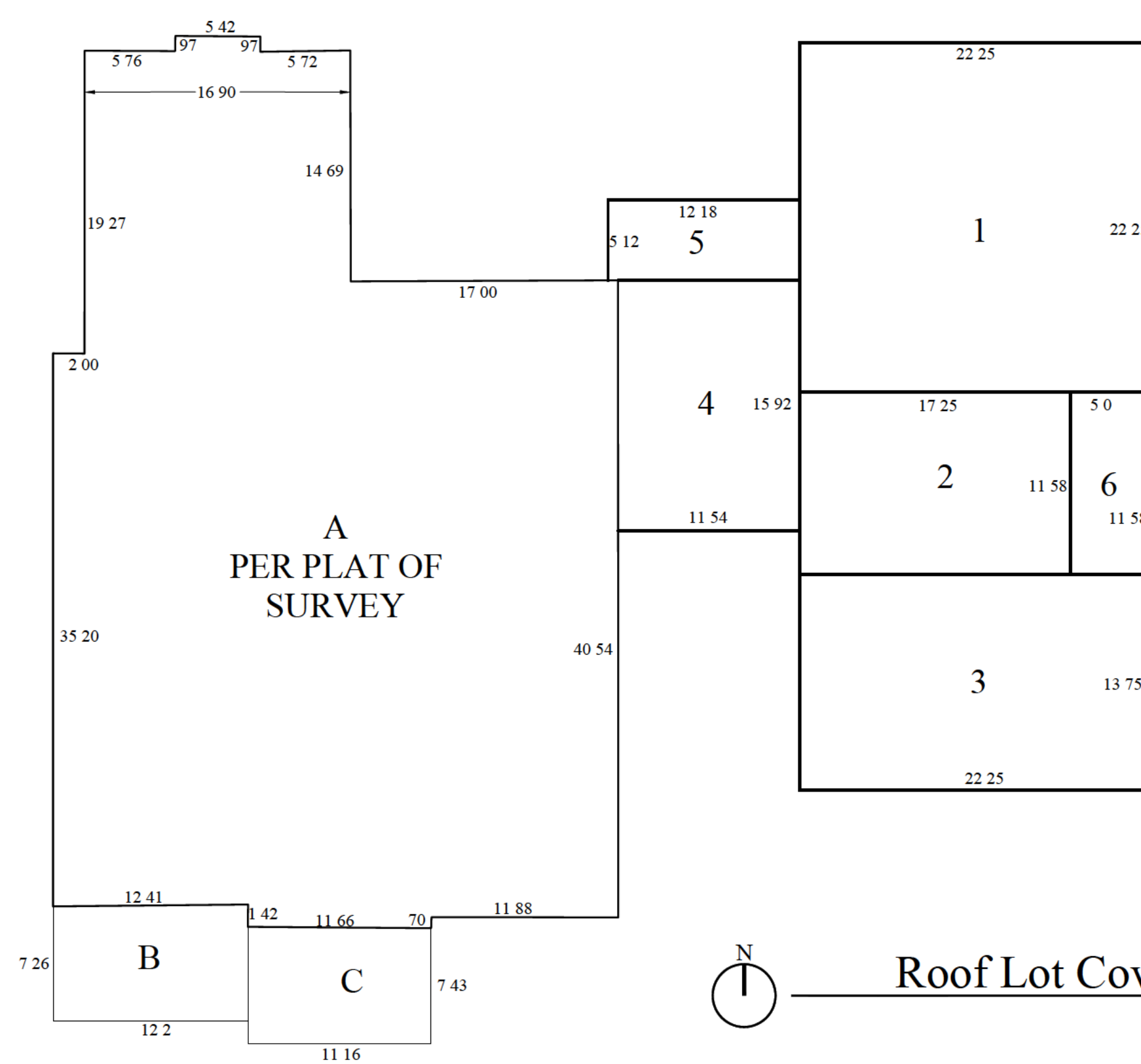
PIECE	DIMENSIONS (FT)	RLC AREA
1	22.25 x 22.25	495.06
2	17.25 x 11.58	199.76
3	22.25 x 13.75	305.94
4	11.54 x 15.92	183.71
5	12.18 x 5.12	62.36
TOTAL		1247.29

PROPOSED OTHER ROOFED AREAS

PIECE	DIMENSIONS (FT)	RLC AREA
6	5.0 x 11.58	57.9
TOTAL		57.9

TOTAL RLC COMBINED

PROPOSED	1305.19
EXISTING	1868.61
TOTAL:	3173.8



EXISTING IMPERMEABLE SURFACE LOT COVERAGE

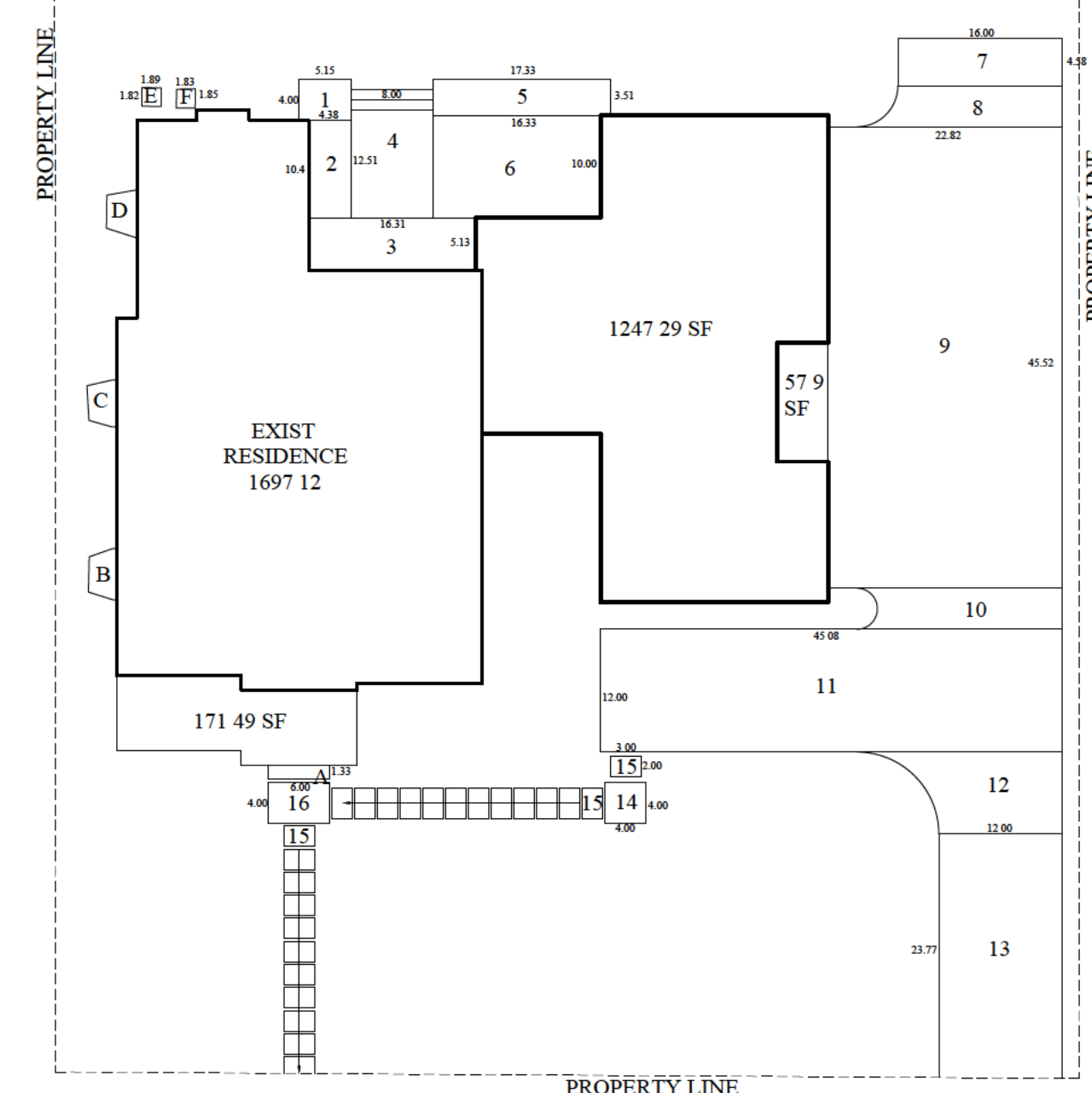
PIECE	DIMENSIONS (FT)	IMPERVIOUS
A	6.00 x 1.33	7.98
B	-	11.68
C	-	11.35
D	-	11.78
E	1.89 x 1.82	3.44
F	1.83 x 1.85	3.39
G	EXIST. RESIDENCE	1697.12
TOTAL		1746.74

TOTAL IMPERMEABLE SURFACE LOT COVERAGE

PROPOSED	4166.06
EXISTING	1746.74
TOTAL:	5912.80

PROPOSED IMPERMEABLE SURFACE LOT COVERAGE

PIECE	DIMENSIONS (FT)	IMPERVIOUS
1	5.15 x 4.00	20.60
2	4.38 x 10.45	45.77
3	16.31 x 5.13	83.67
4	8.00 x 12.51	100.08
5	17.33 x 3.51	60.83
6	16.33 x 10.00	163.30
7	16.00 x 4.58	73.28
8	-	67.43
9	22.82 x 45.52	1038.77
10	-	73.72
11	45.08 x 12.00	540.96
12	-	109.73
13	12.00 x 23.77	285.24
14	4.00 x 4.00	16.00
15	COMBINED WALKWAY	157.8
16	6.00 x 4.00	24.00
17	PROPOSED ADDITION	1247.29
18	PROPOSED PORCH	57.59
TOTAL:		4166.06



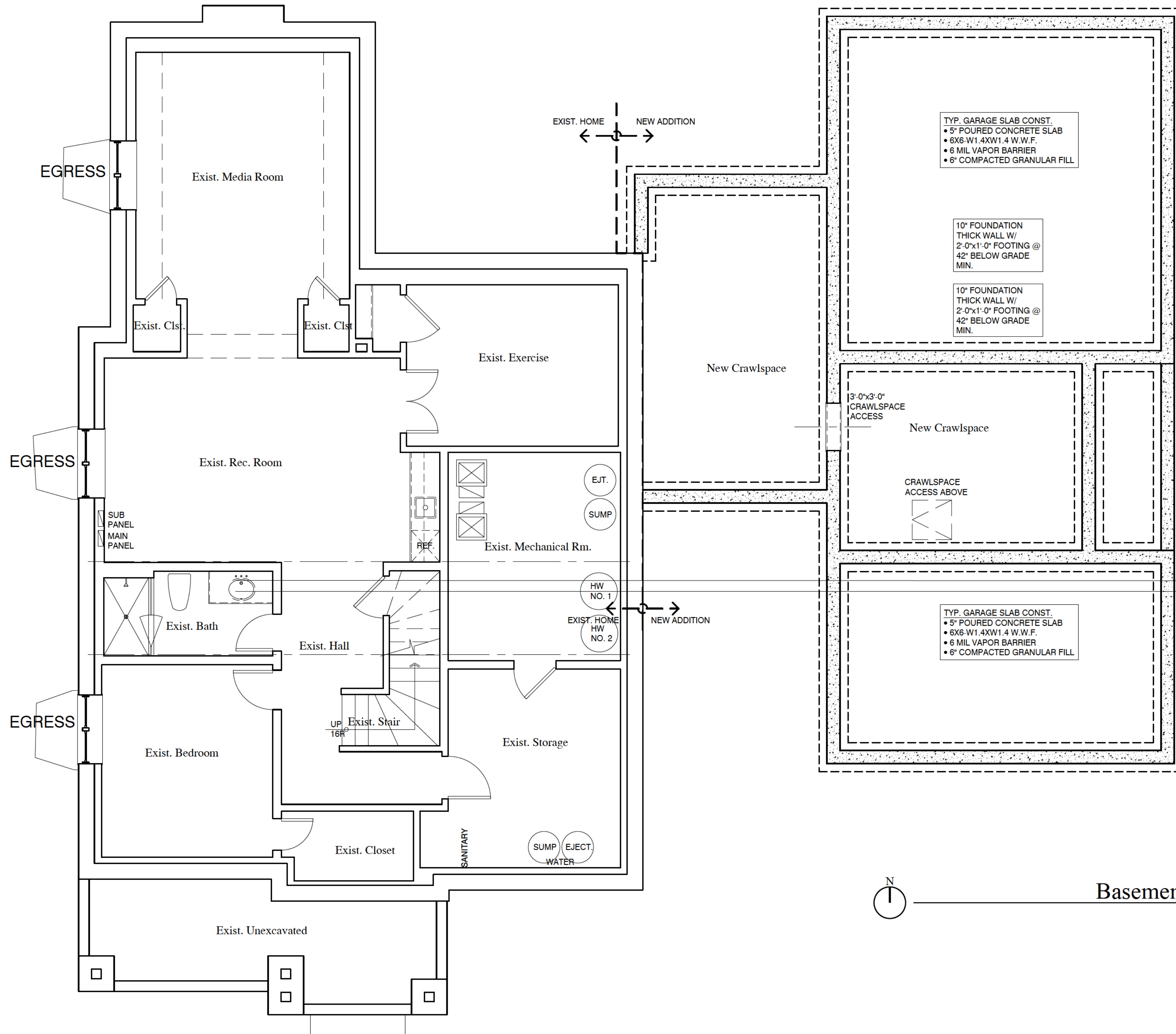
The Bos Kirkpatrick Residence

561 Orchard Lane
Winnetka IL, 60093

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 306-4110

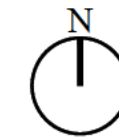
Sheet No
A003
Project No 2471

-NOT FOR CONSTRUCTION-



WALL TYPES

- FOUNDATION WALL
- POURED CONCRETE FOUNDATION WALL
- WARM-N-DRI R-15 INSULATION
- TUFF-N-DRI WATERPROOFING MEMBRANE
- CONCRETE SPREAD FOOTING
- 4" DIA. FABRIC WRAPPED PERFORATED PLASTIC DRAIN SET IN WASHED GRAVEL SURROUND (TYP. EACH SIDE OF BASEMENT FOOTING.)



Basement/Foundation Plan
SCALE: 1/4" = 1'-0"

Professional Design Firm
License NO 184 007114

DATE DRAWING SET
01 29 2025 PRELIMINARY PRICING
04 24 2025 WINNETKA - ZONING COMMENTS #1

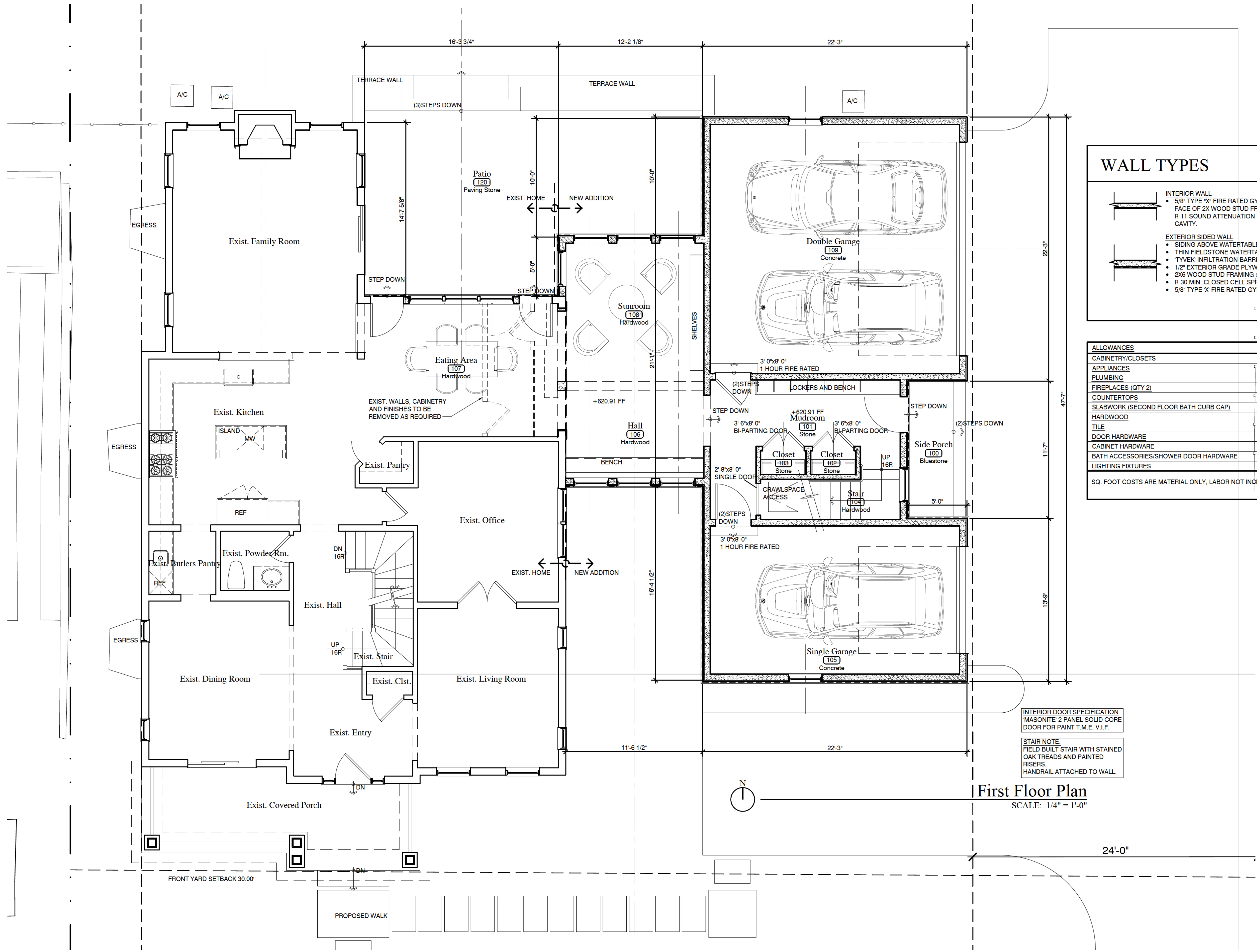
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ARCHITECTS & INTERIORS
560 Green Bay Road #301
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(847) 706 - 4110

Sheet No
A101
Project No 2471

-NOT FOR CONSTRUCTION-



WALL TYPES

	INTERIOR WALL
	<ul style="list-style-type: none"> 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON EACH FACE OF 2X WOOD STUD FRAMING, 16" O.C. WITH R-11 SOUND ATTENUATION INSULATION IN STUD CAVITY.
	EXTERIOR SIDED WALL
	<ul style="list-style-type: none"> SIDING ABOVE WATERTABLE PER ELEVATIONS T.M.E. THIN FIELDSTONE WATERTABLE WITH LIMESTONE COPING T.M.E. TYVEK INFILTRATION BARRIER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2X6 WOOD STUD FRAMING @ 16" O.C. R-30 MIN. CLOSED CELL SPRAY FOAM INSULATION 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD INTERIOR WALL FINISH

ALLOWANCES

CABINETS/CLOSETS	\$18,000.00
APPLIANCES	\$10,000.00
PLUMBING	\$5,000.00
FIREPLACES (QTY 2)	\$6,000.00 EACH
COUNTERTOPS	\$13,000.00
SLABWORK (SECOND FLOOR BATH CURB CAP)	\$500.00
HARDWOOD	\$15,000.00
TILE	\$12.00 PER SQ FT
DOOR HARDWARE	\$2,500.00
CABINET HARDWARE	\$1,000.00
BATH ACCESSORIES/SHOWER DOOR HARDWARE	\$500.00
LIGHTING FIXTURES	\$4,000.00

SQ. FOOT COSTS ARE MATERIAL ONLY, LABOR NOT INCLUDED

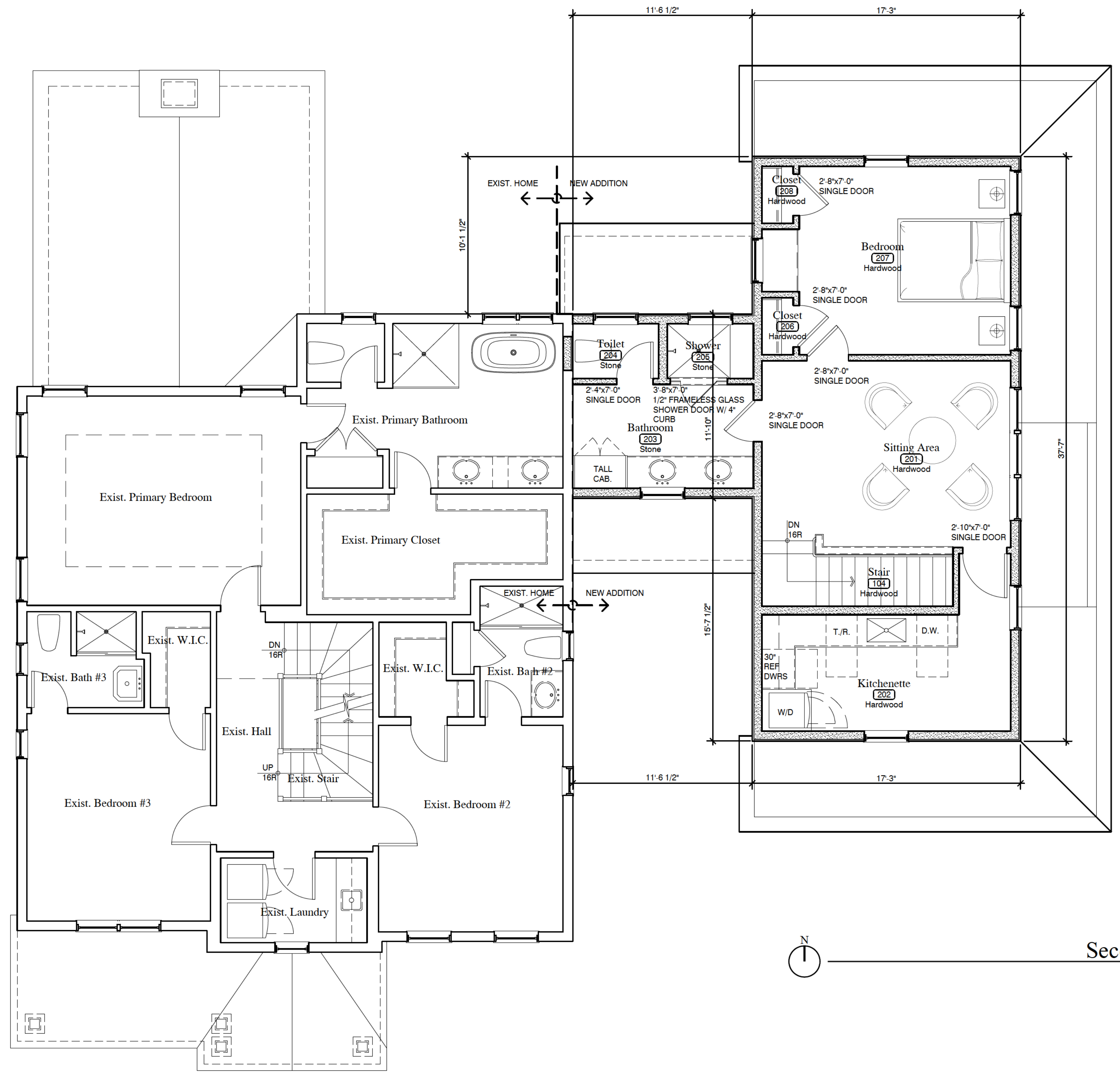
The Bos Kirkpatrick Residence

561 Orchard Lane
Winnetka IL, 60093

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 796-4110

Sheet No
A101
Project No 24 71

-NOT FOR CONSTRUCTION-



WALL TYPES	
	INTERIOR WALL • 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON EACH FACE OF 2X WOOD STUD FRAMING, 16" O.C. WITH R-11 SOUND ATTENUATION INSULATION IN STUD CAVITY.
	EXTERIOR SIDED WALL • SIDING PER ELEVATIONS T.M.E. • TYVEK INFILTRATION BARRIER • 1/2" EXTERIOR GRADE PLYWOOD SHEATHING • 2X8 WOOD STUD FRAMING @ 16" O.C. • R-30 MIN. CLOSED CELL SPRAY FOAM INSULATION • 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD INTERIOR WALL FINISH

Second Floor Plan
SCALE: 1/4" = 1'-0"

Professional Design Firm
License NO 184 007114

DATE DRAWING SET
01 29 2025 PRELIMINARY PRICING
04 24 2025 WINNETKA - ZONING COMMENTS #1

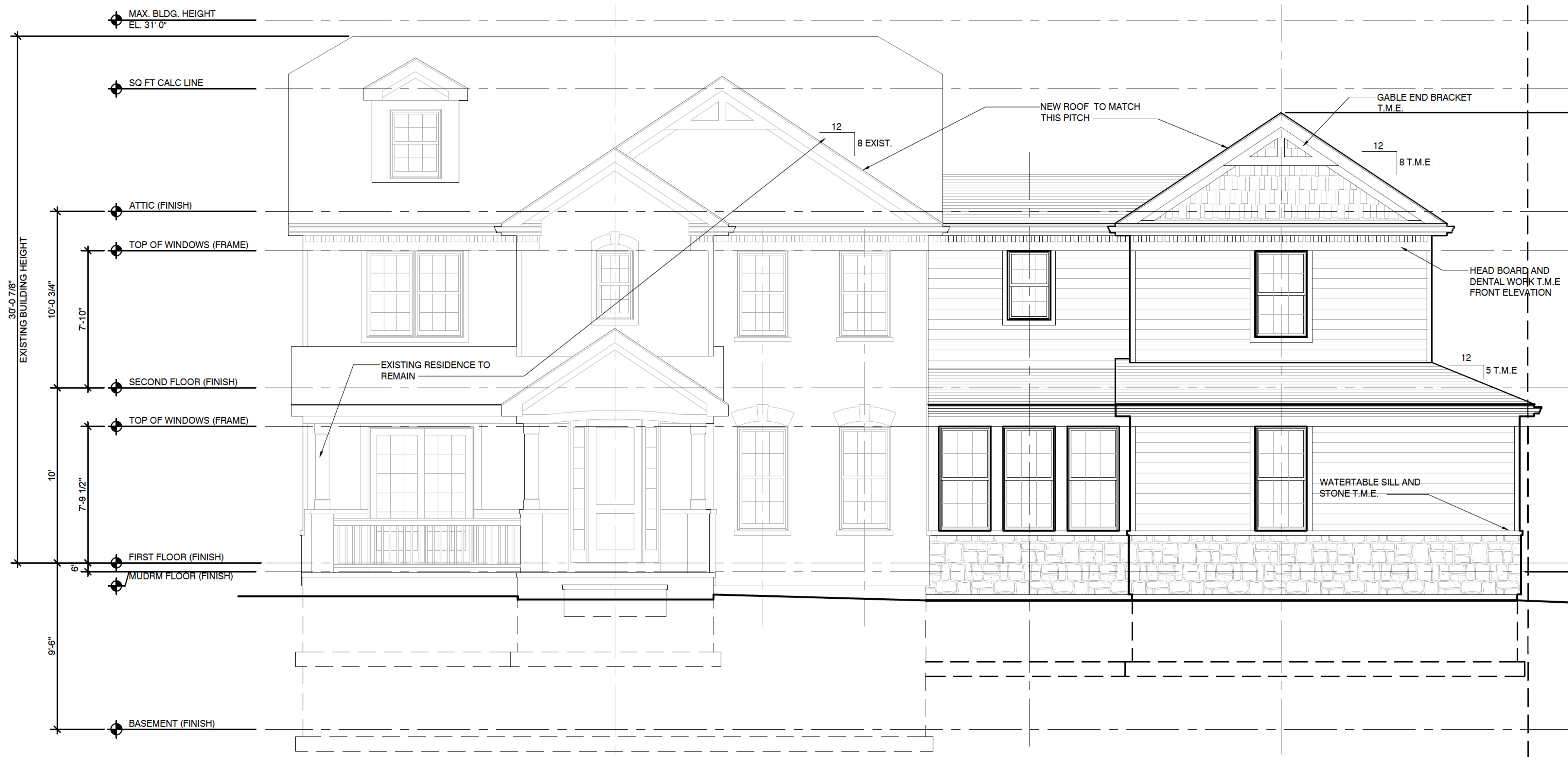
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EDWARD DEEGAN
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560 Green Bay Road #301
Winnetka IL 60093
(847) 706-4110

Sheet No
A102
Project No 2471

-NOT FOR CONSTRUCTION-

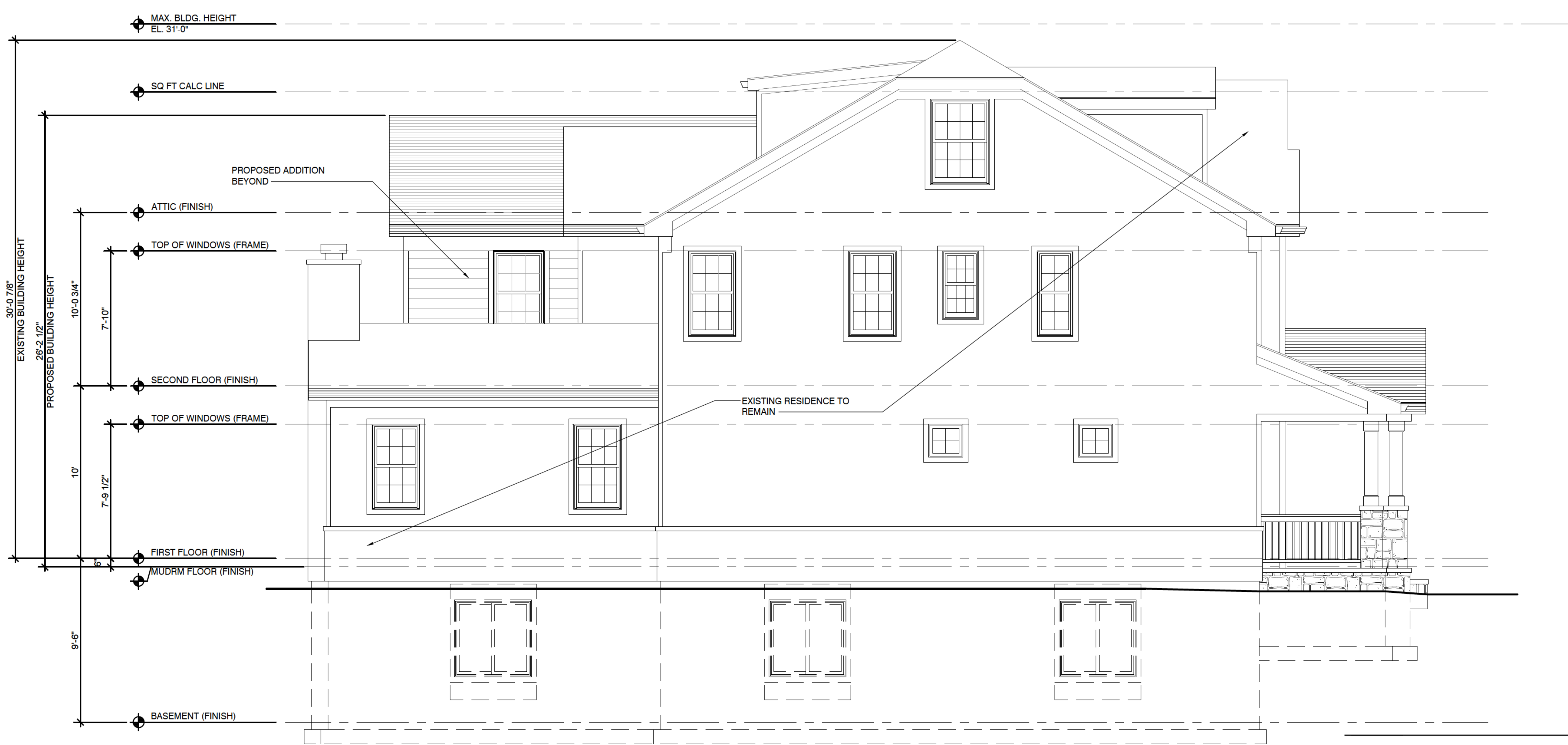


EXTERIOR FINISHES

ITEM	DESCRIPTION
SHINGLES	ASPHALT ARCHITECTURAL SHINGLE T.M.E.
SADDLE LOW SLOPE ROOF	3 PLY MODIFIED BITUMINOUS ROOFING
SIDING, TYP. (HORZ.) (MAIN HOUSE)	COMPOSITE LAP SIDING T.M.E. FOR PAINT T.B.D.
SHINGLE SIDING IN FRONT GABLE END	SHINGLE SIDING T.M.E. PRODUCT
WINDOW TRIM BOARDS	5/4X4 COMPOSITE TRIM T.M.E.
GUTTERS & DOWNSPOUTS	K STYLE GUTTERS T.M.E.
TRIM CORNER BOARDS	5/4X4 COMPOSITE TRIM BOARDS T.M.E.
SOFFIT FINISH	COMPOSITE SHEET PRODUCT WITH ALUM. VENT GRILLES T.M.E.
WINDOWS & DOORS	'MARVIN ESSENTIAL' 'ULTREX' WINDOWS WITH 7/8" GBS'S T.M.E.
FIRST FLOOR PATIOS	PAVING STONE ON A LOOSE SAND SET BED
STONE	THIN CUT STONE VENEER T.M.E.
GARAGE DOORS	'CLOPAY' 'CANYON RIDGE CARRIAGE HOUSE 5-LAYER' TOP SECTION-REC14 -CAN2 DESIGN11 -STANDARD WHITE COLOR -DOUBLE PANE CLEAR GLASS -R.20.4 INSULATION
WOOD SIDE DOOR	'TRUSTILE' ENTRY SYSTEM -PL106 SLAB -OR STICKING -PANEL A -SMOOTH CEDAR FOR PAINT

T.M.E. = TO MATCH EXISTING

South Elevation
SCALE: 1/4" = 1'-0"



West Elevation
SCALE: 1/4" = 1'-0"

Professional Design Firm
License NO 184 007114

DATE 01 29 2025
DRAWING SET PRELIMINARY PRICING
04 24 2025 WINNETKA - ZONING COMMENTS #1

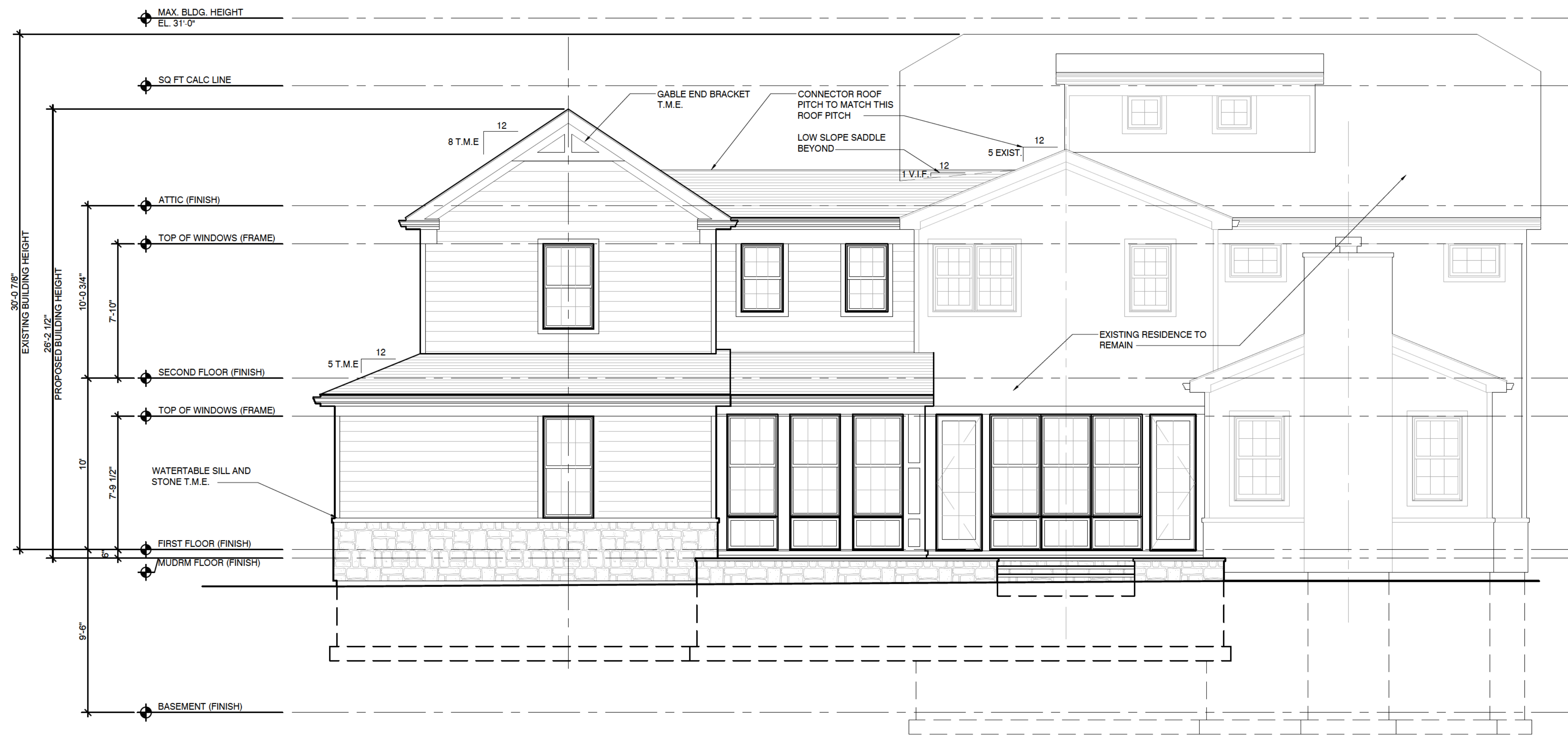
The Bos Kirkpatrick Residence

561 Orchard Lane
Winnetka IL, 60093

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 906 - 4110

Sheet No
A200
Project No 24 71

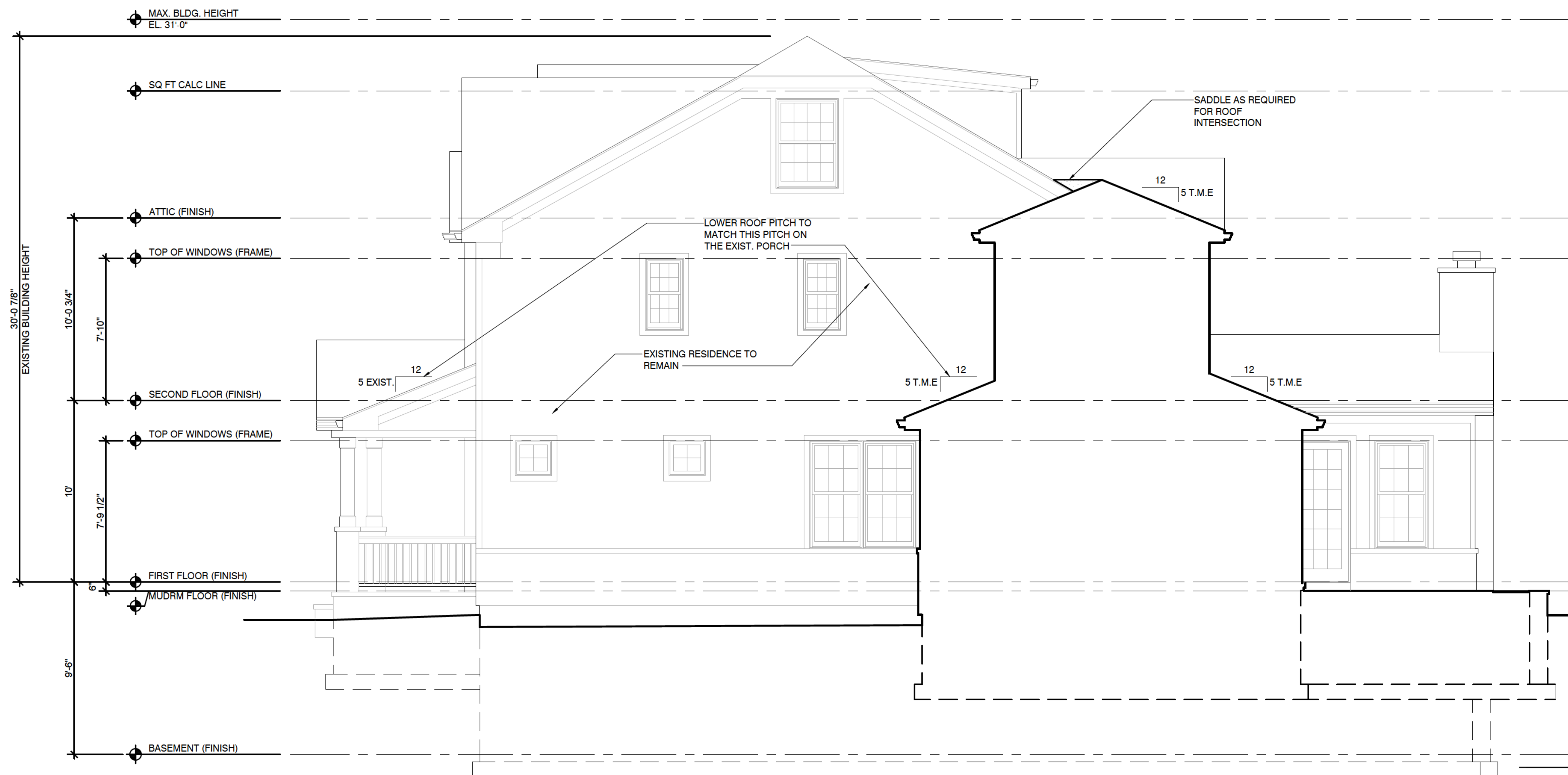
-NOT FOR CONSTRUCTION-



EXTERIOR FINISHES	
ITEM	DESCRIPTION
SHINGLES	ASPHALT ARCHITECTURAL SHINGLE T.M.E.
SADDLE LOW SLOPE ROOF	3 PLY MODIFIED BITUMINOUS ROOFING
SIDING, TYP. (HORZ.) (MAIN HOUSE)	COMPOSITE LAP SIDING T.M.E. FOR PAINT T.B.D.
SHINGLE SIDING IN FRONT GABLE END	SHINGLE SIDING T.M.E. PRODUCT
WINDOW TRIM BOARDS	5/4X4 COMPOSITE TRIM T.M.E.
GUTTERS & DOWNSPOUTS	K STYLE GUTTERS T.M.E.
TRIM CORNER BOARDS	5/4X4 COMPOSITE TRIM BOARDS T.M.E.
SOFFIT FINISH	COMPOSITE SHEET PRODUCT WITH ALUM. VENT GRILLES T.M.E.
WINDOWS & DOORS	'MARVIN ESSENTIAL' 'ULTREX' WINDOWS WITH 7/8" GBS'S T.M.E.
FIRST FLOOR PATIOS	PAVING STONE ON A LOOSE SAND SET BED
STONE	THIN CUT STONE VENEER T.M.E.
GARAGE DOORS	'CLOPAY' 'CANYON RIDGE CARRIAGE HOUSE 5-LAYER' -TOP SECTION-REC14 -CAN2 DESIGN11 -STANDARD WHITE COLOR -DOUBLE PANE CLEAR GLASS -R.20.4 INSULATION
WOOD SIDE DOOR	'TRUSTILE' ENTRY SYSTEM -PL106 SLAB -OR STICKING -PANEL A -SMOOTH CEDAR FOR PAINT

T.M.E. = TO MATCH EXISTING

North Elevation
SCALE: 1/4" = 1'-0"



East Elevation
SCALE: 1/4" = 1'-0"

Professional Design Firm
License NO 184 007114

DATE 01 29 2025
DRAWING SET PRELIMINARY PRICING
04 24 2025 WINNETKA - ZONING COMMENTS #1

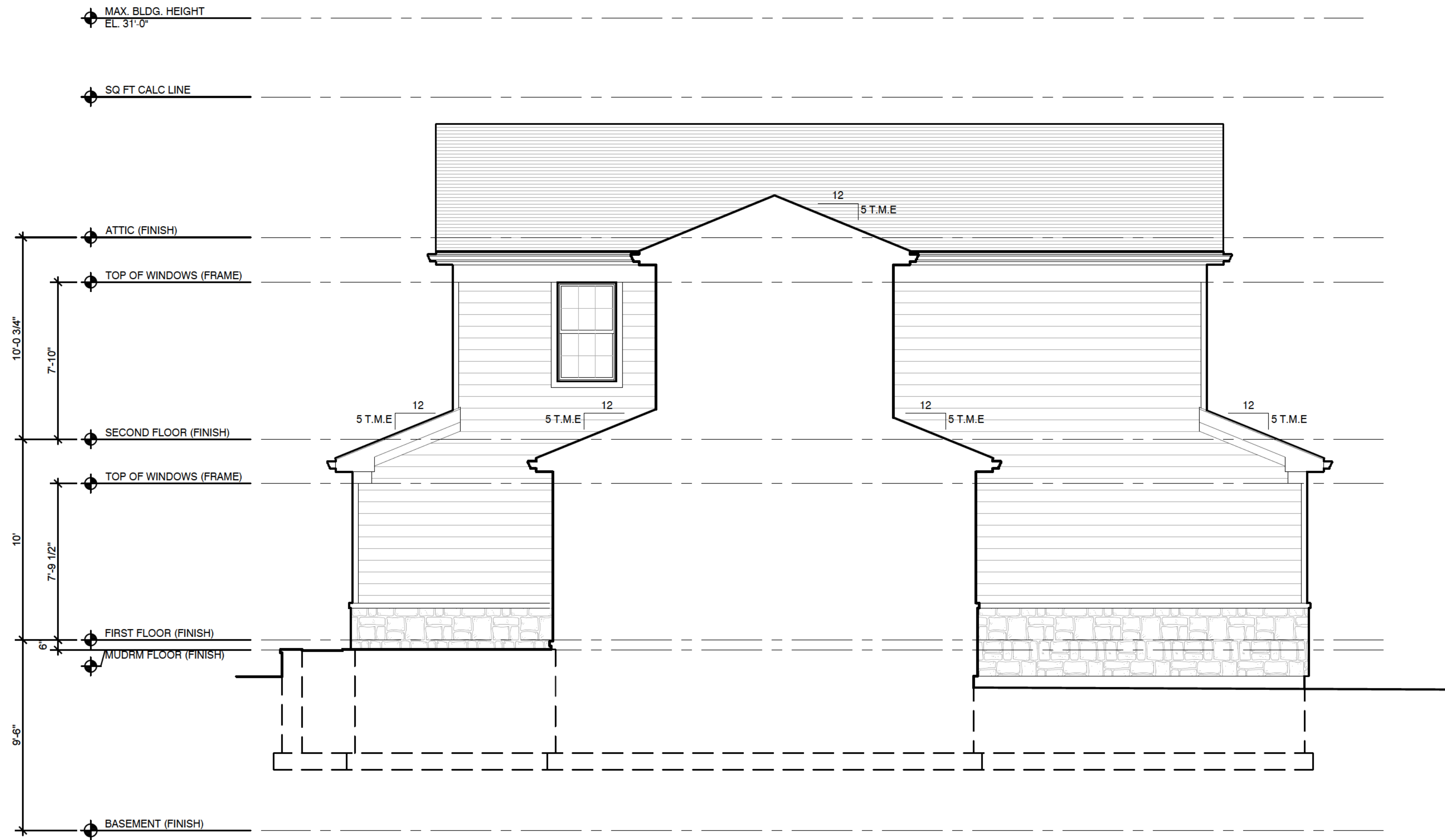
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A201
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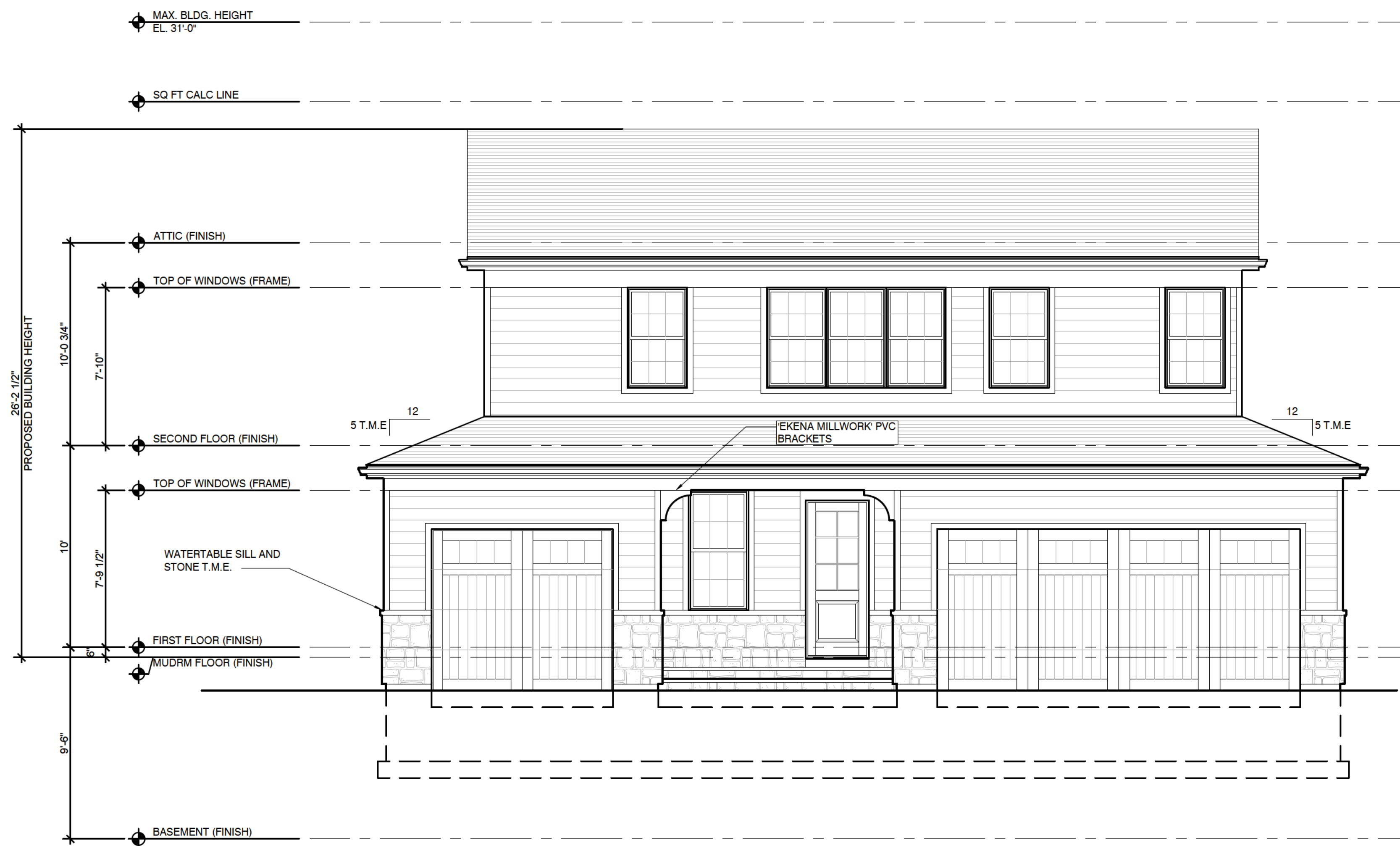
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WOOD SIDE DOOR	'TRUSTILE' ENTRY SYSTEM -FL106 SLAB -OR STICKING -PANEL A -SMOOTH CEDAR FOR PAINT

T.M.E. = TO MATCH EXISTING

Garage West Elevation
SCALE: 1/4" = 1'-0"



Garage East Elevation
SCALE: 1/4" = 1'-0"

Professional Design Firm
License NO 184 007114

DATE DRAWING SET
01 29 2025 PRELIMINARY PRICING
04 24 2025 WINNETKA - ZONING COMMENTS #1

The Bos Kirkpatrick Residence

561 Orchard Lane
Winnetka IL, 60093

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 706 - 4110

Sheet No
A202
Project No 24 71

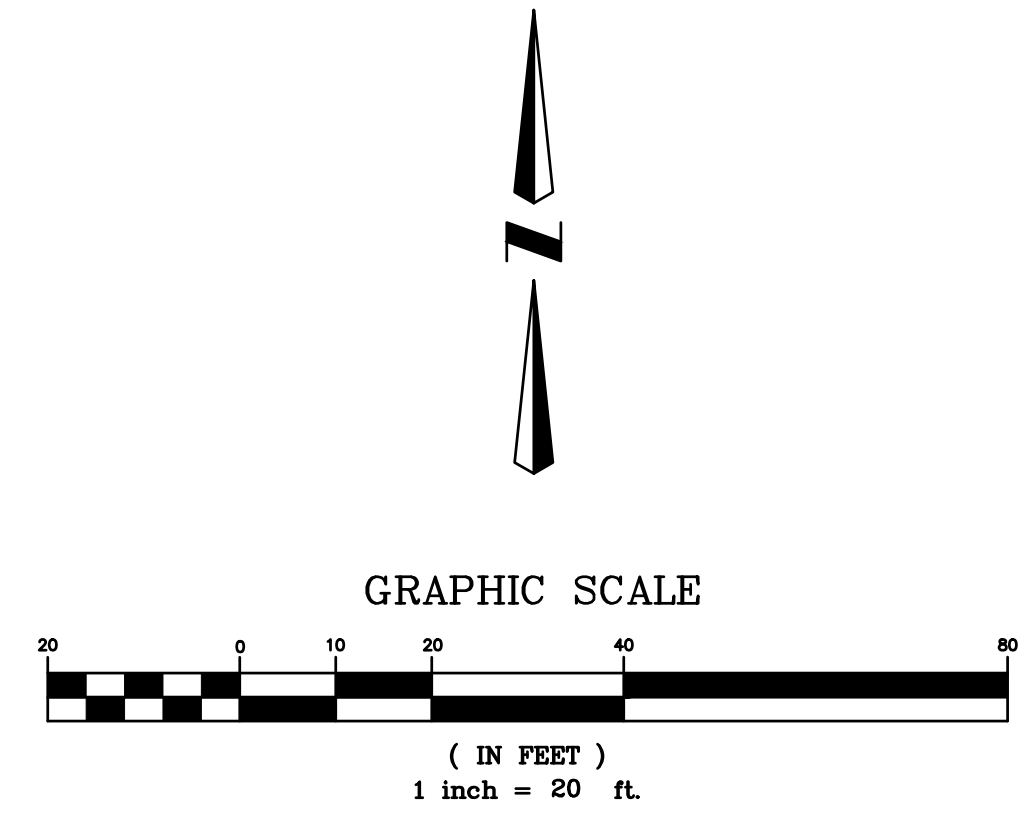
-NOT FOR CONSTRUCTION-

FINAL PLAT 557/561 ORCHARD LANE CONSOLIDATION

BEING A CONSOLIDATION OF THE WEST 100 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



LOCATION MAP
NOT TO SCALE



OWNER'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF _____ } SS

THIS IS TO CERTIFY THAT _____, AS OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT, HAS CAUSED THE SAME TO BE SURVEYED AND CONSOLIDATED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED AND HAVE DETERMINED TO THE BEST OF ITS KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH THE LOT LIES, AS FOLLOWS:

SCHOOL DISTRICTS	LOT NUMBERS
ELEMENTARY SCHOOL DISTRICT #36	} ALL LOTS
NEW TRIER TOWNSHIP HIGH SCHOOL DISTRICT #203	
OAKTON COMMUNITY COLLEGE DISTRICT #535	

DATED THIS _____ DAY OF _____, A.D. 20____.

PRINTED NAME AND TITLE _____

NOTARY CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF _____ } SS

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT _____ OF THE _____ DID PERSONALLY APPEAR BEFORE ME THIS DAY AND ACKNOWLEDGE THAT THEY DID SIGN THE HEREON DRAWN PLAT AS THEIR FREE AND VOLUNTARY ACT. GIVEN MY SIGNATURE AND SEAL DATED THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC _____

MORTGAGEE CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF _____ } SS

THIS IS TO CERTIFY _____ AS MORTGAGE HOLDER OF THE PROPERTY DESCRIBED HEREON DOES HEREBY CONSENT TO THE CONSOLIDATION OF SAID PROPERTY AS SHOWN ON THE PLAT HEREON DRAWN.

BY: _____

PRINTED NAME AND TITLE: _____

ATTEST: _____

PRINTED NAME AND TITLE: _____

NOTARY CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF _____ } SS

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT _____ OF THE _____ DID PERSONALLY APPEAR BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY DID SIGN THE HEREON DRAWN PLAT AS THEIR FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC _____

CURRENT P.I.N. NUMBERS
PARCEL 1—P.I.N. 05-21-303-009-0000
PARCEL 2—P.I.N. 05-21-303-010-0000

- SURVEYORS NOTES:**
1. THE BEARINGS SHOWN ON THIS PLAT ARE ON AN ASSUMED BASIS.
 2. THIS PLAT OF RESUBDIVISION IS BASED UPON A BOUNDARY SURVEY PREPARED BY GREENGARD INC. ON SEPTEMBER 20, 2018.
 3. EXISTING IMPROVEMENTS NOT SHOWN.

SEND FUTURE TAX BILL TO:
KATHERINE KIRKPATRICK
561 ORCHARD LANE
WINNETKA, ILLINOIS 60093

SUBMITTED BY AND RETURN PLAT TO:
VILLAGE OF WINNETKA
COMMUNITY DEVELOPMENT DEPARTMENT
510 GREEN BAY ROAD, WINNETKA, ILLINOIS 60093

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____
VILLAGE ENGINEER

VILLAGE COLLECTOR CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS THEREON THAT HAVE BEEN APPORTIONED AGAINST THE TRACT INCLUDED IN THIS PLAT OF CONSOLIDATION.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____
VILLAGE COLLECTOR

WATER AND ELECTRIC DEPARTMENT CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE DIRECTOR OF WATER AND ELECTRIC DEPARTMENT OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____
WATER AND ELECTRIC DIRECTOR

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS PLAN COMMISSION

DATED THIS _____ DAY OF _____, 20____.

BY: _____
PLAN COMMISSION CHAIRMAN

ATTEST: _____
SECRETARY

VILLAGE BOARD CERTIFICATE

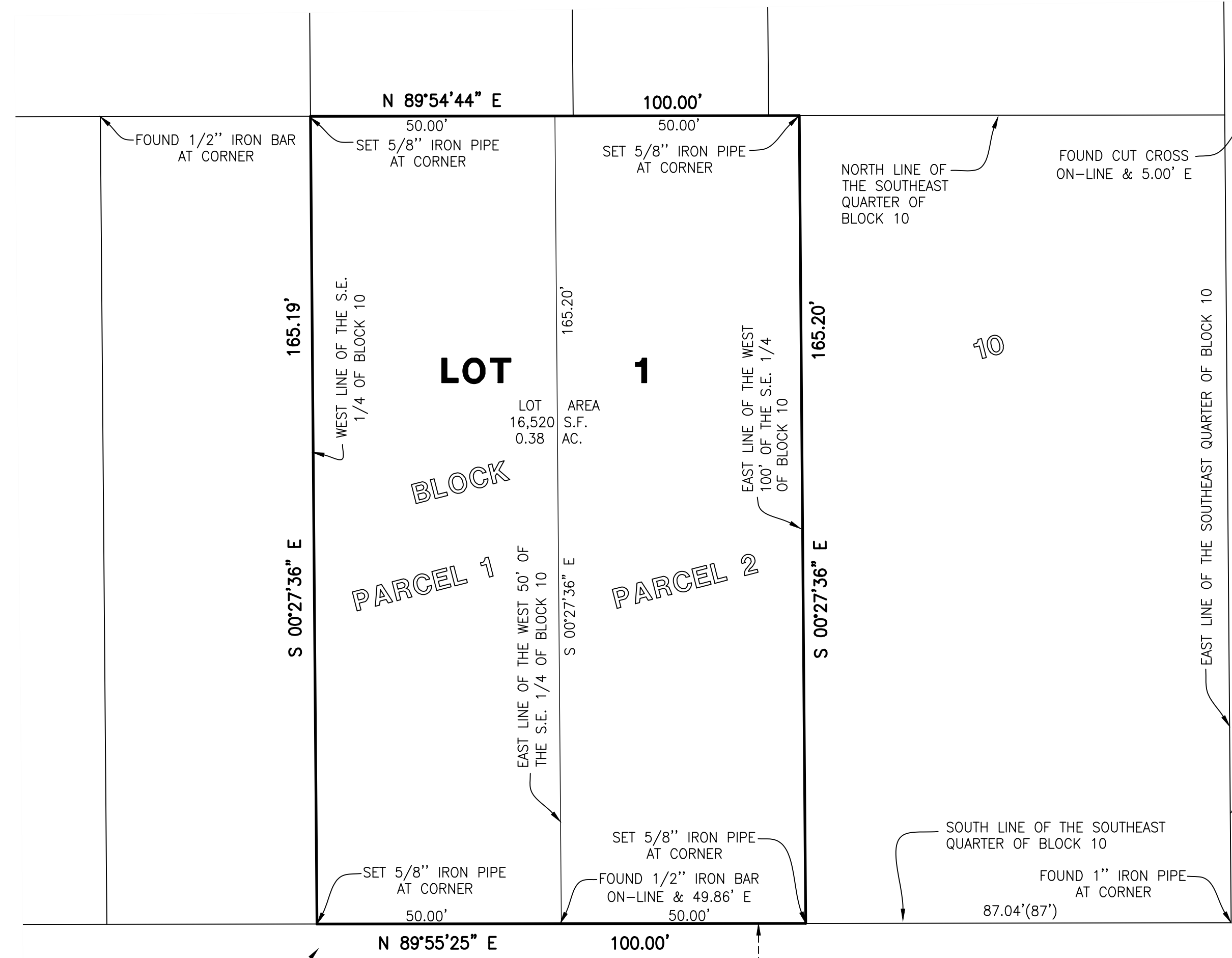
STATE OF ILLINOIS }
COUNTY OF COOK } SS

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF WINNETKA, COOK COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____
VILLAGE PRESIDENT

ATTEST: _____
CLERK



SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

THIS IS TO STATE THAT WE GREENGARD, INC., UNDER THE SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR HAVE SURVEYED AND CONSOLIDATED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1:
THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:
561 ORCHARD LANE, WINNETKA, ILLINOIS 60093
PARCEL AREA = 8,260 SQ.FT.
P.I.N. 05-21-303-009-0000

PARCEL 2:
THE EAST 50 FEET OF THE WEST 100 FEET OF THE SOUTHEAST QUARTER OF BLOCK 10 IN JOHN C. GARLAND'S ADDITION TO WINNETKA, BEING A SUBDIVISION OF THE NORTH 120 ACRES OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:
557 ORCHARD LANE, WINNETKA, ILLINOIS 60093
PARCEL AREA = 8,260 SQ.FT.
P.I.N. 05-21-303-010-0000

ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

THE ABOVE DESCRIBED TRACT IS LOCATED WITHIN ZONE X, (NO SCREEN) AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 17031C0251K, WITH A MAP EFFECTIVE DATE OF SEPTEMBER 10, 2021 AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

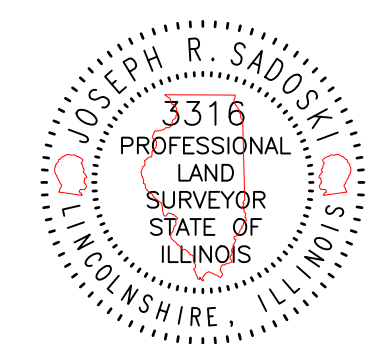
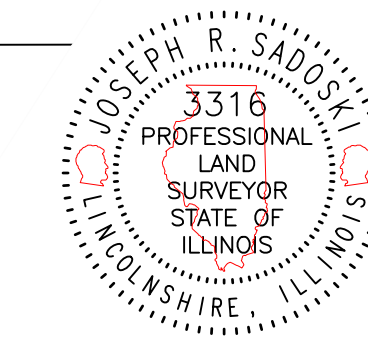
THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS WITHIN THE VILLAGE OF WINNETKA, ILLINOIS, WHICH HAS ADOPTED A VILLAGE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE MUNICIPAL CODE, AS HERETOFORE AND HEREAFTER AMENDED.

DATED THIS _____ DAY OF _____, A.D. 20____.

GREENGARD, INC., 111 BARCLAY BLVD., SUITE 310 LINCOLNSHIRE, ILLINOIS 60069-2906
JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11/30/26.

PERMISSION TO RECORD
THE UNDERSIGNED HEREBY AUTHORIZES THE VILLAGE OF WINNETKA AND/OR ITS DESIGNATED AGENTS TO RECORD SAID RESUBDIVISION PLAT WITH THE OFFICE OF THE COOK COUNTY RECORDER OF DEEDS ON BEHALF OF THE UNDERSIGNED.

THIS _____ DAY OF _____, A.D. _____
GREENGARD, INC., 111 BARCLAY BLVD., SUITE 310 LINCOLNSHIRE, ILLINOIS 60069-2906
JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11/30/26.



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM ILL. REGISTRATION NO. 184-000995


SCALE:	1"=20'
DRAWING No.	70226
SHEET	1 of 1

557 & 561 ORCHARD LANE - WINNETKA, ILLINOIS
PLAT OF CONSOLIDATION

DESIGNED BY:	DATE:	ADD LOT AREA	REVISIONS	DRAWN BY:	DATE:	REVISIONS
AN	12-17-24	04-22-25				
CHECKED BY:	DATE:					
JRS	12-17-24					
APPROVED BY:	DATE:					

GENERAL NOTES:
1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.

ATTACHMENT C

From: 
To: [Planning](#)
Subject: Case No. 25-04-SD
Date: Wednesday, April 30, 2025 5:16:34 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Highly recommend approval of this lot consolidation.

570 Orchard Lane