



Village of Winnetka

Zoning Board of Appeals Regular Meeting

November 10, 2025 at 7:00 PM
Police Department
410 Green Bay Road

AGENDA

1. **Call to Order & Roll Call**
2. **Approval of Minutes**
 - a. October 13, 2025, Regular Meeting Minutes
3. **Community Development Report**
4. **New Cases**
 - a. **Case No. 25-22-V2: 20 Fox Lane:** An application seeking approval of a zoning variation to allow construction of an addition to the existing detached garage at 20 Fox Lane. The requested variation would permit the proposed improvement to provide less than the minimum required side yard setback from the east property line. The Village Council has final jurisdiction on this request.
5. **New Business**
 - a. December 8, 2025, Regular Meeting - Quorum Check
6. **Public Comments**
7. **Adjournment**

NOTICE

Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to planning@winnetka.org; or by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093. All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

**WINNETKA ZONING BOARD OF APPEALS MEETING MINUTES
OCTOBER 13, 2025**

Zoning Board Members Present: Matt Bradley, Chairman
Mark Haller
Lynn Hanley
Kathryn Leister
Mike Nielsen
Michael Ritter

Zoning Board Members Absent: Todd Vender

Village Staff: Steve Mangum, Director of Community Development
Ann Klaassen, Assistant Director of Community Development

Call to Order & Roll Call:

Chairman Bradley called the meeting to order at 7:02 p.m. Roll call was taken of the Board Members present.

Public Comment:

No comments were made at this time.

Approval of Meeting Minutes.

Chairman Bradley asked for a motion to approve the September 8, 2025, meeting minutes. A motion to approve the September 8, 2025, meeting minutes was made by Mr. Nielsen and seconded by Ms. Hanley. A vote was taken and the motion unanimously passed, 6 to 0:

AYES: Bradley, Haller, Hanley, Leister, Nielsen, Ritter

NAYS: None

Community Development Report.

Mr. Mangum provided an update on the 314 Walnut appeal with the appellant having filed a case in Circuit Court.

Continued Cases:

a. **Case No. 25-14-V2: 175 DeWindt Road:** An application seeking approval of zoning variations to allow construction of a second-floor addition to the existing residence at 175 DeWindt Road. The requested variations would permit the proposed improvements to (i) exceed the maximum permitted gross floor area; and (ii) provide less than the minimum required front yard setback from the west property line. The Village Council has final jurisdiction on this request. At the August 11, 2025, Zoning Board of Appeals meeting, at the request of the Applicant, the Zoning Board of Appeals continued this item to the October 13, 2025, meeting.

Ms. Klaassen noted although the request had been continued, discussion has not been opened until this meeting. She identified the property location, zoning classification and size along with site photos containing the proposed addition. Ms. Klaassen summarized the two variations for front yard setback and GFA requested by the applicant in connection with the proposed addition. She then identified the proposed building elevations and noted public correspondence was received regarding the request and provided to the ZBA. Ms. Klaassen stated following the applicant's presentation, public comment and

1 Board discussion, a Board Member may make a motion to either continue the matter to a date specific to
2 address any questions or concerns or consider a motion recommending approval or denial with a draft
3 motion included on page 13 of the agenda packet. She then asked if there were any questions.
4

5 Ms. Hanley stated the packet of materials indicate for the 1997 addition, the applicant was denied the
6 front yard setback and asked if the proposed addition would be in the same location. Ms. Klaassen
7 responded it must have been and identified the 50-foot front yard setback. No additional questions were
8 raised at this time.
9

10 Chairman Bradley swore in those speaking to this matter. Christopher Canning, 1000 Skokie Blvd.,
11 Wilmette, introduced himself along with the property owners, Emily and John Thomas, Scott Walker, the
12 builder, and Healy Rice, the architect. He stated the GFA and front yard setback variations are being
13 requested for the flag lot which originally contained a ranch home and described the subsequent additions
14 which conformed to GFA requirements in 1997. Mr. Canning stated the applicants purchased the home in
15 2021 and noticed the garage was being used for storage and a gym. He stated the home had inadequate
16 storage and described the alternatives they discussed with Mr. Walker and Ms. Rice to obtain more
17 storage and which would require variations. Mr. Canning stated the proposed plan represented the best
18 alternative and would not increase impervious coverage. He referred to the concerns raised by the
19 neighbors and explained that the proposed addition would not be built into the front yard. Mr. Canning
20 then stated with regard to GFA, there was no GFA request made for the 1997 addition with the home now
21 being out of compliance by no action of the applicants. He stated the flag lot penalized them in terms of
22 the amount of GFA available for use and a GFA variation would not have otherwise been necessary.
23

24 Mr. Canning stated in response to the standards, he referred to reasonable return and several price
25 reductions in the price of the home due to the lack of a basement. He then summarized their responses
26 to the remaining standards and asked for the Board to make a positive recommendation to the Village
27 Council. Mr. Canning then asked if there were any questions.
28

29 Chairman Bradley asked if the existing nonconformity with regard to lot size and questioned the math
30 calculations. Mr. Canning referred to the worksheets prepared and explained the method for the lot area
31 calculations. Chairman Bradley then questioned the difference between the existing and proposed GFA
32 when the flagpole area is taken out. The Board Members discussed how the figures were calculated. Ms.
33 Klaassen provided further information with regard to the GFA calculation. Chairman Bradley questioned
34 the amount of storage the applicants need to allow reasonable return.
35

36 Scott Walker, general contractor, explained how the size of the proposed addition was balanced by
37 loading the second floor on the perimeter walls with the second-floor addition to blend in with the
38 remaining home's architecture. He stated to make it 100 square feet less would make it less architecturally
39 appealing and would be more difficult to build. Chairman Bradley asked if the applicants are justifying the
40 need for the zoning variation as being due to the fact that the property is located in the flood plain which
41 did not allow them to have a basement which would have been used for storage. Mr. Walker responded
42 yes.
43

44 Mr. Haller referred to the plat of survey which referenced a basement. Mr. Walker confirmed there is no
45 basement and there is an error on the plat of survey. Mr. Haller referred to the area to be built over the
46 garage. Mr. Walker responded it would remain as a garage for use by the applicants. No additional
47 questions were raised at this time.
48

1 Chairman Bradley asked for public comment. He then swore in those speaking to this matter. Amy Burke,
2 181 DeWindt, introduced herself as president of the DeWindt Homeowners Association representing the
3 neighbors. She stated after receiving the public notice, she met with the applicants with regard to their
4 plans. Ms. Burke stated they are still concerned with regard to the wording vagueness and future
5 implications for those requesting similar projects with similar setbacks and GFA.

6
7 David Nelson, 130 Evergreen Lane, provided information with regard to the property's history and stated
8 with regard to the hardship claim, the applicants purchased the home knowing what they were getting.
9 He also referred to the number of price reductions due to the prior owners' contentious situation and the
10 fact that it is a flag lot. Mr. Nelson stated those reasons are not justifiable to claim hardship and the price
11 of the older, deteriorated home reflected its market value. He also stated the area is in the 100-year flood
12 plain and referred to the applicants' plan to build a pool in connection with their claim regarding hardship.
13 Mr. Nelson also informed the Board of the landscaping permit approval process they went through as well
14 as a lack of privacy concern relating to his house and pool. He added the home has a third floor and an
15 area above the garage which is currently used for storage. No additional comments were made at this
16 time.

17
18 Mr. Haller asked if consideration was given to creating a basement area underneath the home. Mr.
19 Canning confirmed they considered it but it would have been cost prohibitive due to engineering
20 concerns. He noted the pool installation is not a part of this application. Mr. Walker also stated there
21 would not have been access to the basement other than through the garage which would have made it a
22 1.5 garage.

23
24 Chairman Bradley asked if there was any other public comment. No additional comments were made at
25 this time. He then called the matter in for discussion and summarized the relief being requested by the
26 applicants and the items the Board is to consider. Ms. Klaassen also provided additional information with
27 regard to a GFA text amendment.

28
29 Ms. Hanley stated she had trouble with the first three standards and is leaning toward voting against the
30 request and explained her reasoning in detail. Ms. Leister agreed with Ms. Hanley's comments noting a
31 lack of a basement in this area as typical. She agreed that a flag lot is not an unusual condition and referred
32 to the denial of the second-floor addition in 1997 as well as the neighbors' comments. Ms. Leister
33 concluded she would vote against the request. Mr. Ritter stated while he appreciated the attempt to not
34 change the nonconforming setback and the potential height addition, he agreed with the comments made
35 that the first three standards were not met. He stated he would vote against the request. Mr. Nielsen
36 agreed with the comments made and referred to the reduced purchase price comments. He also agreed
37 with the statements relating to flag lots and how that is addressed with zoning. Mr. Nielsen concluded he
38 would vote against the request. Mr. Haller agreed with the comments made and stated he would lean
39 toward voting against the request and the garage would become two stories which would potentially
40 impinge on the neighborhood character. Chairman Bradley stated the front yard setback is not an issue
41 for him and referred to the sensitivities of homeowners in the flood plain where he stated homes have
42 been adequately priced. He referred to the discussion of properties having pools and creating a basement
43 in the flood plain. Chairman Bradley also referred to the flag lot and the smaller lot size. He then stated
44 he was leaning toward recommending approval and the fact that the situations can be mitigated.

45
46 Chairman Bradley offered the applicant the opportunity to either move forward with the Village Council
47 or modify their plans to evaluate the Board's comments. The applicants' team discussed their options and
48 decided to request that the item be continued to the January 12, 2026, meeting.

1 Chairman Bradley asked for a motion to continue the application to the January 12, 2026, meeting. A
2 motion as stated by Chairman Bradley was made by Mr. Haller and seconded by Ms. Hanley. A vote was
3 taken and the motion unanimously passed, 6 to 0:

4 AYES: Bradley, Haller, Hanley, Leister, Nielsen, Ritter

5 NAYS: None

6
7 **New Cases:**

8 a. **Case No. 25-12-SD: 881 Private Road and 883 Private Road: Applications seeking approval of a**
9 **Final Plat of Subdivision to relocate the lot line dividing the two properties, which requires variations**
10 **to allow: (i) Proposed Lot 1 (883 Private Road) to provide less than the minimum required front street**
11 **line for an interior lot; (ii) Proposed Lot 2 (881 Private Road) to provide less than the minimum required**
12 **lot depth; and (iii) the existing residence at 881 Private Road to observe less than the minimum required**
13 **total side yard setback, which is due to an increase in the minimum required total side yard setback as**
14 **a result of the proposed increase in total lot area and increase in average lot width. The Village Council**
15 **has final jurisdiction on this request.**

16 Ms. Klaassen summarized the proposed lot line relocation dividing the two properties and noted the
17 request is limited to the proposed subdivision and zoning variations required with no proposed
18 improvements being presented at this time. She then identified the property's location, zoning
19 classification, size and improvements and noted both lots are flag lots. Ms. Klaassen stated both lots are
20 legally nonconforming which she identified for the Board. She stated there is a contingent sales contract
21 entered into between the property owners and identified the triangular area to be subdivided which
22 represented approximately 5% of existing lot area for 883 Private Road. Ms. Klaassen also summarized
23 the two variations required by the proposed subdivision. She then informed the Board of the Plan
24 Commission's findings after their consideration of the application at its September 24, 2025, meeting as
25 well as the ZBA's standards they are to consider. Ms. Klaassen stated no public comment was received
26 and following the applicant's presentation, Board discussion and public comment, a Board Member may
27 follow the two options identified in the packet of materials and asked if there were any questions.

28
29 Chairman Bradley also asked if there were any questions. Ms. Hanley asked if moving the lot line would
30 do nothing for the variations created when the lot was originally subdivided. Ms. Klaassen confirmed that
31 is correct and provided additional information with regard to the increase in average lot width creating
32 the nonconforming total side yard setback. Mr. Haller asked if the length of the flagpole nonconformity is
33 being extended in connection with the triangular area. Ms. Klaassen confirmed that is correct and
34 provided further clarification. No additional questions were raised at this time.

35
36 Chairman Bradley swore in those speaking to this matter. Christopher Canning, 1000 Skokie Blvd.,
37 introduced himself as representing the owner, Jesse Van Dyke, along with Dan Creaney, the project
38 engineer. He explained the detachment of a triangular portion from 883 Private Road and confirmed
39 nothing would change with regard to two existing variations with the third variation representing an
40 unintended consequence. Mr. Canning identified the existing noncompliant aspects of the lot and noted
41 those would not change. He noted the two lots were conforming at the time they were created and
42 became nonconforming when the code changed. Mr. Canning also identified five other homes on Private
43 Road which have similar conditions in terms of the front lot line, and he submitted FOIA requests for
44 information relating to the surveys of those homes and related easements.

45
46 Mr. Canning described the unintended consequences by the addition of the triangular portion to 881
47 Private Road noting the purchase and sale is contingent upon zoning approval. He also summarized their
48 responses to the standards including reasonable return. Mr. Canning informed the Board that the

1 applicants realized after the property purchase that the north garage bay was being used for storage due
2 to the inability to access it. He referred to a photo which was shown to the Plan Commission on page nos.
3 73 and 74 which showed the property conveyance. Mr. Canning concluded by asking for a positive
4 recommendation to the Village Council and if there were any questions.

5
6 Chairman Bradley asked if there were any public comments. No comments were made at this time.
7

8 Chairman Bradley called the matter in for discussion. Mr. Haller stated he had no problem with the request
9 and described the request as a modest ask which would improve the property's utility. He also stated he
10 had no problems with regard to the standards and would recommend approval of the request. Mr. Nielsen
11 stated he would also recommend approval with all of the standards being met. He stated a new
12 nonconformity would not be created over the existing nonconformities. Ms. Hanley stated she would also
13 be in favor of the request and that it would not be so much a resubdivision but would return the lot line
14 to a better design which would reduce the lot's irregular shape. She also stated it would be a small
15 adjustment and that the variations would not be altered or increased. Ms. Hanley concluded she would
16 be in favor of the request.
17

18 Ms. Leister stated she is also in favor of the request and granting the 10-inch exception would be de
19 minimus with regard to the value being added. She concluded she would be in favor of the request. Mr.
20 Ritter agreed the standards have been met and he would also be in favor of the request with there being
21 no change to the front street line, lot depth, and side yard setback. He concluded he would also be in
22 favor of the request. Chairman Bradley agreed with the comments made and stated the standards have
23 been met, particularly with regard to reasonable return which is being applied to the zoning relief of an
24 existing nonconforming street line, lot depth and a total side yard setback resulting in less than 1 foot. He
25 concluded the standards have been met and would perfect the lot's design and allow for the 881 parcel
26 to have a wider turn to gain access to the garage's second parking bay. He also noted there have been no
27 comments from the public.
28

29 Chairman Bradley then asked for a motion to recommend approval as indicated on page 10 of the memo.
30 A motion as stated by Chairman Bradley was made by Ms. Hanley and seconded by Mr. Haller. A vote was
31 taken and the motion unanimously passed, 6 to 0:

32 AYES: Bradley, Haller, Hanley, Leister, Nielsen, Ritter

33 NAYS: None
34

35 **b. Case No. 25-16-SD: 936 Sunset Road: Applications seeking approval of a Final Plat of Subdivision**
36 **to allow a two-lot subdivision of 936 Sunset Road, which requires variations to allow Proposed Lot 2 to**
37 **(i) provide less than the minimum required lot area for an interior lot; and (ii) provide less than the**
38 **minimum required rectangular buildable area. The Village Council has final jurisdiction on this request.**

39 Ms. Klaassen noted the request being presented is limited to the proposed subdivision and existing site
40 improvements with no proposed improvements being presented by the applicant. She then identified the
41 property's location, existing improvements, zoning classification and size. Ms. Klaassen described the two
42 buildable lots created by the proposed subdivision and how the original lot was platted as well as provided
43 an explanation of the areas of compliance and noncompliance with the lot area and rectangular area
44 requirements in detail. She also summarized the MWRD and Village requirements with regard to flood
45 plain regulations, storm water detention, compensatory storage and requirements in detail. Ms. Klaassen
46 then described the future improvements to the Skokie Ditch and reiterated any future development
47 would be required to comply with flood plain and storm water regulations upon submittal of permits in
48 connection with any site improvements.

1 Ms. Klaassen informed the Board the Plan Commission considered the final plat, zoning variations and
2 subdivision code variation to allow a rear lot line to abut a side lot as well as a finding of no material
3 increased adverse impact for the existing nonconforming front yard and corner yard setbacks as well as
4 the front-facing attached garage door width. She advised the Board of the Plan Commission's
5 consideration of the request and vote to recommend approval with the condition that the existing
6 nonconforming playhouse be relocated to comply with zoning regulations or be removed. Ms. Klaassen
7 stated the Board is to consider whether the two variations are in harmony with the general purpose and
8 intent of the Zoning Ordinance and whether the eight standards for granting the variations have been
9 met. She noted all public correspondence was provided to the Board and asked if there were any
10 questions.

11
12 Chairman Bradley also asked if there were any questions. No questions were raised at this time. He then
13 swore in those speaking to this matter.

14
15 Christopher Canning, 1000 Skokie Blvd., Wilmette, introduced himself, the property owners, Bob and
16 Susan Marren, and Dan Creaney, the project engineer and author of the Exhibit presented to the Board
17 and who is available to answer questions. He provided a summary of the Plan Commission's discussion
18 including the history of the property and subdivision noting the existing conditions were not created by
19 the applicants and they are attempting to undo the lot consolidation. Mr. Canning stated the request is
20 similar to 860 Lamson that was approved by the Village Council.

21
22 Mr. Canning stated the Plan Commission made a positive recommendation with conditions to be
23 addressed including variations for minimum lot area and referred to the discussion regarding moving the
24 lot lines which would result in two conforming lots but would still require variations. Ms. Klaassen
25 provided additional clarification for the Board following questions from the Board regarding a lot depth
26 variation that would be required for proposed Lot 1 if the lot line between the two lots were to be shifted
27 north. Mr. Canning agreed Lot 2 could be made conforming but they decided it was better to return the
28 lot to its original condition. He referred to eight other lots of similar sizes in the area. Mr. Canning then
29 referred to the Exhibit, which addressed the spirit of meeting the minimum rectangular area requirement
30 and reiterated no new home is being proposed with the Exhibit being done in response to the Village
31 Engineer's concerns.

32
33 Mr. Canning then stated with regard to the flood plain and storm water concerns raised by the neighbors,
34 he summarized the Plan Commission's discussion relating to their prior application submitted in 2014
35 which addressed the compensatory storm water detention issues. He confirmed any future
36 potential construction would have to meet the Village's engineering and storm water requirements. Mr.
37 Canning then summarized their response to the eight standards and first referred to John Satter's
38 appraisal and response in that the parcels were more valuable separately as opposed to the combined
39 parcel in connection with the reasonable return standard. He stated they are available to answer any
40 questions relating to storm water or zoning.

41
42 Chairman Bradley asked if there were any questions. Mr. Ritter asked if subdivision approval was granted,
43 would the tennis court be removed. Mr. Canning confirmed that is correct and referred to the condition
44 of removing the playhouse. Ms. Leister asked what the cost of engineering the potential home would be
45 and its impact to the value of selling this parcel of land. Mr. Canning responded they did not consider that
46 and stated their focus was on the land subdivision. Mr. Haller asked if there would be overall height
47 restrictions for any new potential building due to it being raised to be out of the flood plain. Mr. Canning
48 responded this engineering technique has been used on other homes in the neighborhood.

1 Dan Creaney, the civil engineer, stated with regard to the flood plain, he explained the standard flow
2 through crawl space construction which is used and how roof angles could be modified to comply with
3 potential height. Mr. Canning confirmed the height limit is 33 feet. No additional questions were raised at
4 this time.

5
6 Chairman Bradley asked for public comment and swore in those speaking to this matter. James Langer,
7 956 Sunset, stated his concerns relate to the view of proposed Lot 2. He stated the request did not meet
8 the standards and failed to specifically comply with Section 16.12.010 since a side lot abutting a rear lot
9 line would be created. He noted they never received notification with regard to the neighborhood meeting
10 held by the Marrrens and described the water issues they experience on their property. Mr. Langer stated
11 the proposal would definitely lower their property value with regard to reasonable return with flooding
12 concerns representing their main issue. He then stated with regard to the 2014 findings; the exact same
13 case was presented and rejected as not meeting the standards.

14
15 Githesh Ramamurphy, 916 Higginson, identified his home for the Board and stated he has lived in his home
16 since 2006 and described the substantial flooding issues they experienced. He stated in his line of
17 business; he is very familiar with flooding issues and any potential new home would exacerbate the
18 flooding issues even more and referred to the amount of water they currently experience. Mr.
19 Ramamurphy stated the second issue is that the compliance standards are not being met as well as the
20 amount of water in the Skokie Ditch which is located next to his home. He stated two neighboring homes
21 would also be affected by them having severe property damage. Mr. Ramamurphy stated the only way
22 the applicants would be able to realize reasonable return would be if a home is built on the subdivided
23 lot. No additional comments were made at this time.

24
25 Chairman Bradley asked the applicants if they would like to respond. Mr. Canning identified the square
26 footage of several surrounding lots which he outlined in his letter that are smaller or similarly sized to
27 proposed Lot 2. He confirmed no decision was made on the 2014 application and the matter was
28 continued and ultimately withdrawn. Mr. Canning then stated with regard to the neighbors' comments,
29 the home's views are raised since they are located in the flood plain. He stated the Langers' home
30 immediately to the west submitted photos which included compensatory storage which is being proposed
31 for Lot 2. Mr. Creaney then described the Skokie Ditch improvements in detail and referred to the MWRD
32 and Village engineering requirements. He also stated they have built several homes in the Village which
33 he identified for the Board and which comply with MWRD and Village engineering standards. Chairman
34 Bradley confirmed the Board is not voting on any potential new build for the proposed lot.

35
36 Chairman Bradley closed public comment and called the matter in for discussion. He reminded the Board
37 of the items the Board is to consider. Ms. Klaassen confirmed the zoning variations the Board is to
38 consider.

39
40 Mr. Ritter stated the standards for granting the variance have arguably been met and described the lot
41 area variance as de minimus as well as the fact that the rectangular area variance did not seem significant
42 either. He stated while he understood the neighbors' concerns with regard to flooding, if there is a
43 residence built on the lot, there are lot of stringent requirements which would need to be met. Mr. Ritter
44 then stated the tennis court removal would result in a significant impervious surface area being removed
45 which would help both lots and concluded by stating he would be in favor of the request. Ms. Leister
46 stated with regard to 1(a), she is fine with regard to where the lot line would be drawn with there being
47 precedent for it. She also stated it would trigger the least amount of variances but she struggled with (b)

1 and that there would be constraints in terms of building a home. Ms. Leister stated she would prefer for
2 it to meet the rectangular requirements.

3
4 Ms. Hanley agreed with Ms. Leister's comments in that she is not sure it would be an ideal buildable lot
5 as well as standard nos. 2 and 3 which would make Lot 2 more unique. She stated with regard to the
6 essential character of the locality; there would be a ditch that ran through a significant portion of the lot
7 and into the buildable area. Ms. Hanley stated it would ultimately require a variation for a home to be
8 built on Lot 2. Chairman Bradley stated he would be in favor of the request and although he sympathized
9 with the neighbors' concerns and if this request was not located in the flood plain, it would not have been
10 an issue. He stated there are storm water regulations in place for new development to adhere to and the
11 lots would be returned to their original condition. Chairman Bradley then stated if the applicants' home
12 is sold, the home could be torn down with a new home conforming to the requirements of the
13 consolidated lot. He stated the Board should not consider what is possible for the lot and also commented
14 in detail the consideration of any new potential construction on the proposed irregularly shaped and
15 undersized lot with new construction being considered a clean slate which would be extremely difficult in
16 terms of obtaining zoning relief.

17
18 Ms. Hanley clarified her comment in that the issue before the Board is that the code stated if a lot is
19 subdivided, it had to result in two, clean lots without variances. She stated they have to apply the current
20 zoning code in that the ditch created a unique circumstance which would alter the essential character of
21 the locality and would create a unique circumstance which should prohibit the subdivision. Mr. Nielsen
22 summarized Chairman Bradley's and Ms. Hanley's comments and referred to the 2014 previous review of
23 the Board. He stated with the tennis court removal, the applicants could consider installing compensatory
24 storage where the courts are currently to help mitigate everyone's concerns. He then stated he would
25 recommend approval.

26
27 Mr. Haller shared Ms. Hanley's and Ms. Leister's concerns and stated he is less persuaded by what the lot
28 would have been had it stayed the way it was. He stated they are being asked to create an irregular lot
29 and he had difficulty with the idea of giving the applicants a pass on some elements of the lot. Mr. Nielsen
30 stated he could be persuaded and reiterated he had difficulty with standard nos. 2 and 3 being
31 troublesome to him. The Board Members discussed their positions at length.

32
33 Ms. Hanley suggested the matter be continued to allow the applicants time to resubmit the application
34 with a conforming, buildable Lot 2 being perfected to be a buildable lot with the variation to be requested
35 on Lot 1. Ms. Klaassen informed the Board that Lot 1 measured 165 feet in width and referred to an
36 illustration. The Board Members discussed alternatives with regard to various lot line measurements.

37
38 Chairman Bradley stated in ordered to sway the undecided Board Members, he offered the applicants the
39 opportunity to continue the matter to a date certain to come back before the Board with a nonconforming
40 Lot 1 or proceed with a vote at this time. Ms. Leister and Mr. Haller stated they would like to see the
41 alternative presented to the Board or the applicants can proceed at this time.

42
43 Chairman Bradley then presented the options to the applicants to either continue the request to a future
44 meeting to consider the variances or proceed with a vote on the request with a negative recommendation
45 to the Village Council. Mr. Canning stated it would be up to the Village staff and stated it may be a
46 worthwhile exercise with the December 8, 2025, meeting date being a possibility. While the Board was
47 discussing their availability for December 8, Mr. Mangum noted there is one Board Member absent from
48 this meeting.

1 Mr. Canning asked for the request to be continued to the December 8, 2025, meeting. A motion was made
2 by Ms. Hanley to continue the request to December 8, 2025, and seconded by Mr. Ritter. A vote was taken
3 and the motion unanimously passed, 6 to 0:

4 AYES: Bradley, Haller, Hanley, Leister, Nielsen, Ritter

5 NAYS: None

6
7 **New Business:**

8 a. November 10, 2025, Meeting - Quorum Check.

9 The Board Members discussed their availability.

10
11 **Public Comment:**

12 No comments were made at this time.

13
14 **Adjournment:**

15 Chairman Bradley asked for a motion to adjourn. A motion to adjourn was made by Ms. Hanley and
16 seconded by Ms. Leister. A vote was taken and the motion unanimously passed, 6 to 0:

17 AYES: Bradley, Haller, Hanley, Leister, Nielsen, Ritter

18 NAYS: None

19 The meeting adjourned at 9:51 p.m.

20
21 Respectfully submitted,

22
23 Antionette Johnson

24 Recording Secretary

DRAFT



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: CHRISTOPHER MARX, AICP - ASSOCIATE PLANNER
DATE: NOVEMBER 5, 2025
SUBJECT: 20 FOX LANE - VARIATION (CASE NO. 25-22-V2)

INTRODUCTION

On November 10, 2025, the Zoning Board of Appeals is scheduled to hold a public hearing on an application submitted by Brendan and Colleen Carroll (collectively, the “Applicant”), as the owners of the property located at 20 Fox Lane (the “Subject Property”). The Applicant requests approval of the following zoning variation to allow construction of an addition to the existing detached garage on the Subject Property:

1. **Side Yard Setback** of 5.96 feet, whereas a minimum of 12 feet is required, a variation of 6.04 feet (50.33%) [Section 17.30.060 – Side Yard Setback]

A mail notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Winnetka Talk* on October 23, 2025. As of the date of this memo, staff have not received any written comments from the public regarding this application.

The Village Council has final jurisdiction on this request as only the Council has the authority to grant a variation that reduces the required side yard setback for a detached residential garage by more than 50%.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 1.65 acres in size, is located on the south end of Fox Lane between Locust and Indian Hill Roads and contains an existing two-story residence and detached garage (see **Figure 1**). The Subject Property is zoned R-1 Single Family Residential, and it is surrounded by the same (see **Figure 2**). The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The zoning of the property is consistent with the Comprehensive Plan.

The existing lot is a legally nonconforming interior lot that has a lot depth of 282.84 feet, while the minimum required lot depth in the R-1 District is 300 feet.

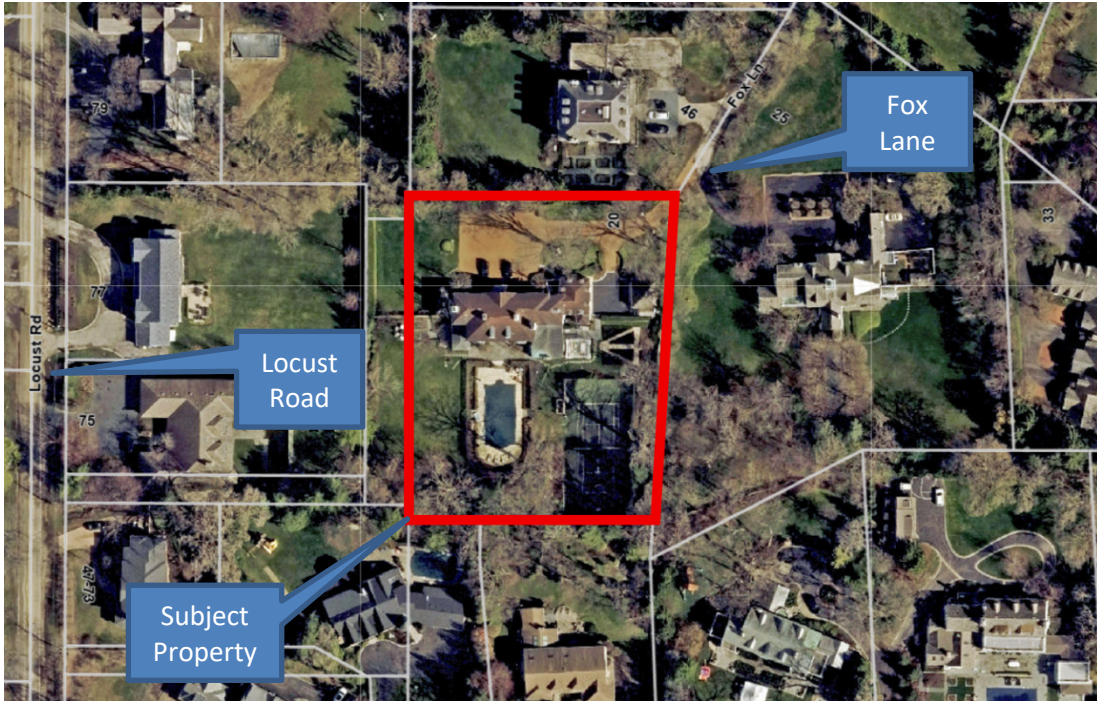


Figure 1 – Aerial Map

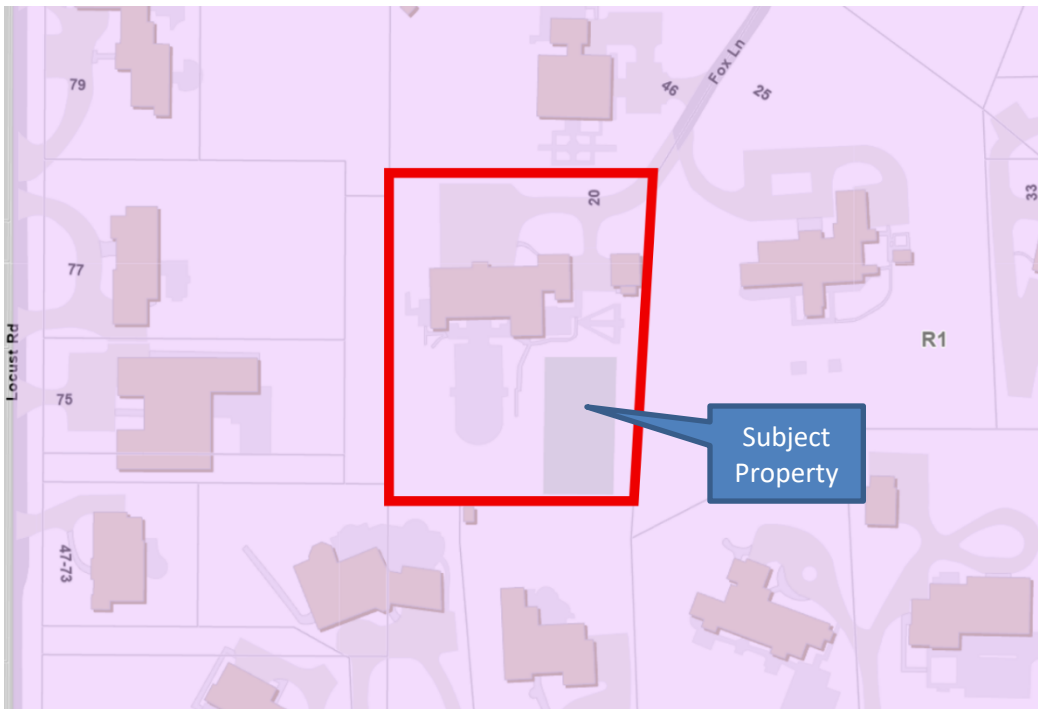


Figure 2 – Zoning Map

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The existing residence was constructed in 1937. Subsequent building permits were issued in:

1. 2001 - Building addition and interior remodeling;
2. 2016 – Interior basement renovation; and
3. 2018 – Construction of pergola, patio, and outdoor kitchen;

Other minor permits have been issued over the last several years. The Applicant acquired the property in 2014. There are no previous zoning cases on file for the Subject Property. On August 21, 2001, the Village Council adopted Ordinance M-17-2001 establishing the Subject Property as a locally designated landmark.

On November 3, 2025, the Historic Preservation Commission (HPC) conducted an advisory review of the proposed addition, as required for any exterior alteration to a local landmark. The HPC determined that the proposed alterations are appropriate to the preservation of the Subject Property and it would continue to meet the criteria for designation as a locally designated landmark.

Figures 3 through 5, below and on the following page, are current photos of the Subject Property.



Figure 3 – Subject Property – Front (North) and Side (East) Elevations



Figure 4 – Subject Property – Side (West) Elevation



Figure 5 – Subject Property – Detached Garage Front (West) Elevation

PROPOSED PLAN

The Applicant is requesting a variation to construct an addition to the existing detached garage located in the northeast portion of the property. The existing storage shed on the south side of the garage would be removed and an addition of approximately 286 square feet would be constructed in its place. The proposed addition would have a matching roof pitch with an additional door and window along the front face of the garage with added aesthetics intended to give the structure a uniform look. The addition is intended to provide extra storage space, in addition to the existing vehicle capacity of the garage. While the proposed addition would maintain the same plane as the east side of the existing garage, which is legally nonconforming with its encroachment into the required side yard setback of 12 feet, the addition would encroach further because the width of the lot narrows from the front to rear property lines.

Excerpts of the proposed site plan, floor plan, and building elevations are provided below and on the following pages as Figures 6 through 9. The complete set of plans is provided in the application materials (**Attachment C**).

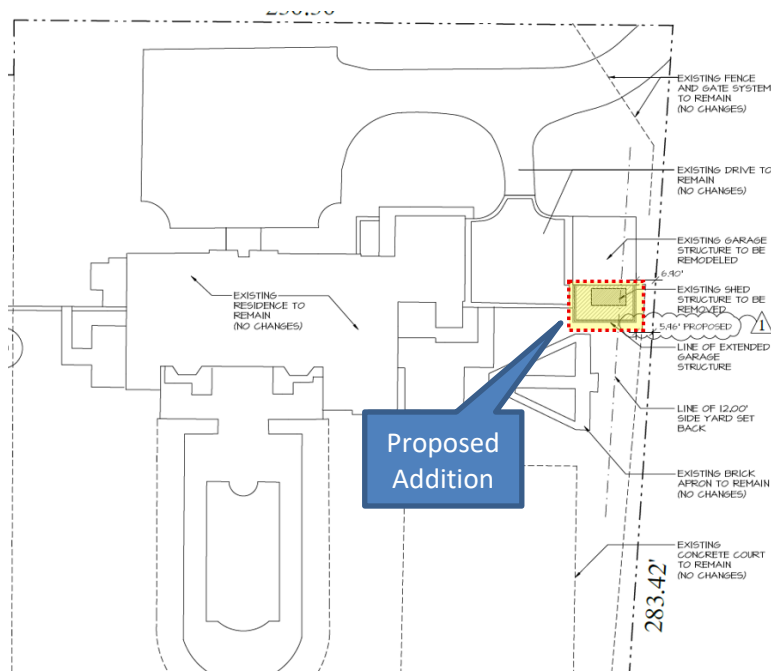


Figure 6 – Site Plan

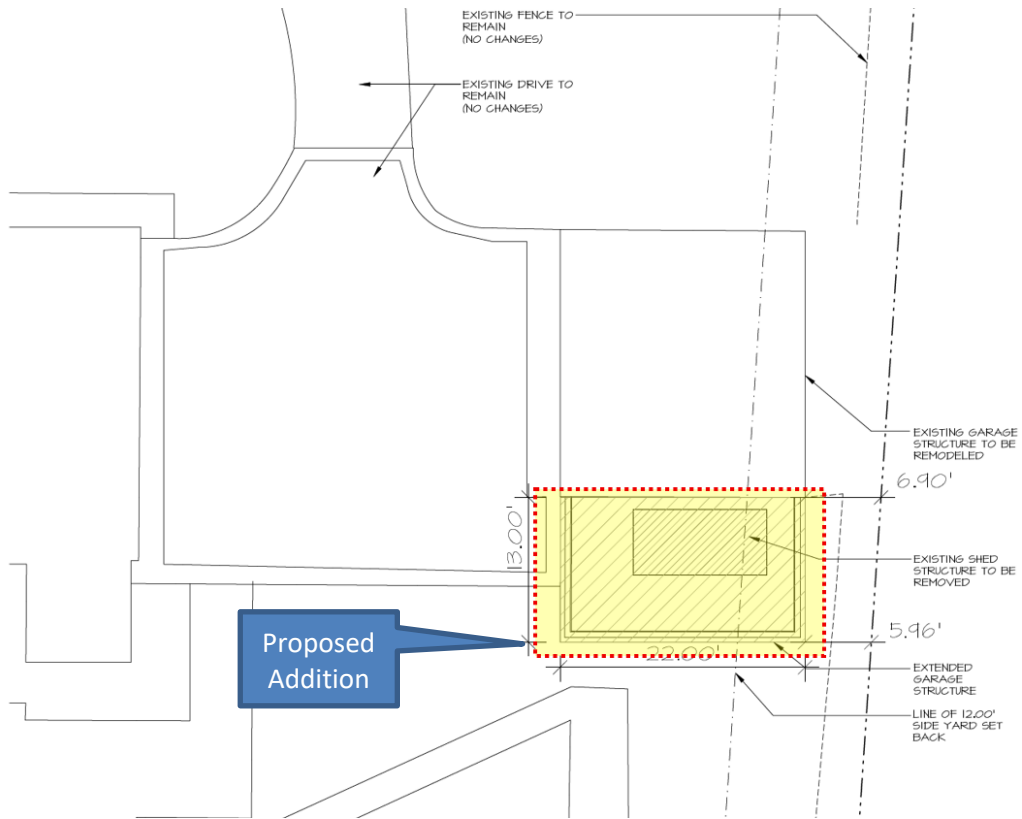


Figure 7 – Enlarged Site Plan

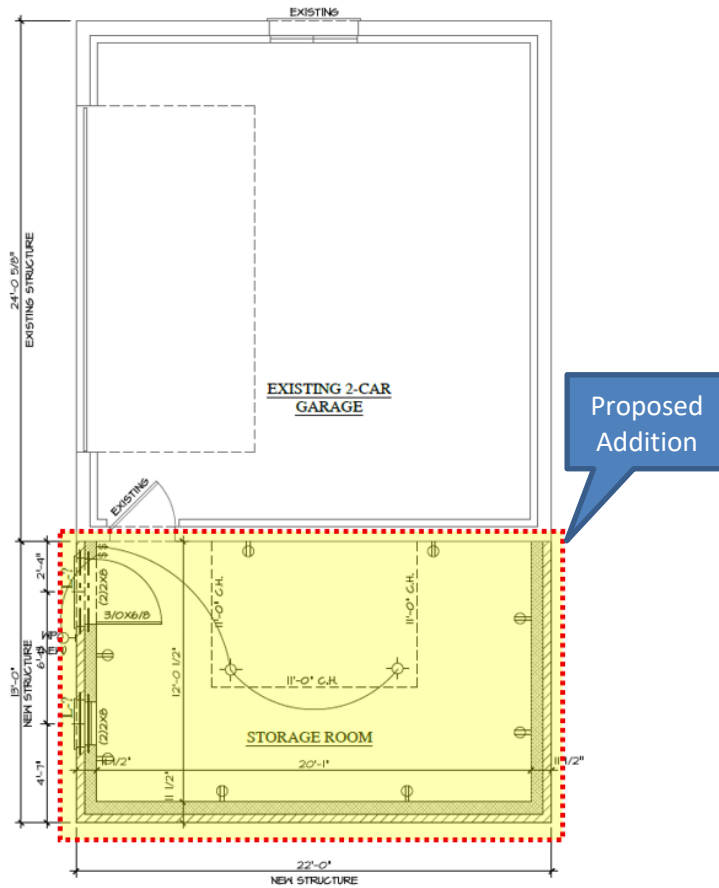


Figure 8 – Floor Plan

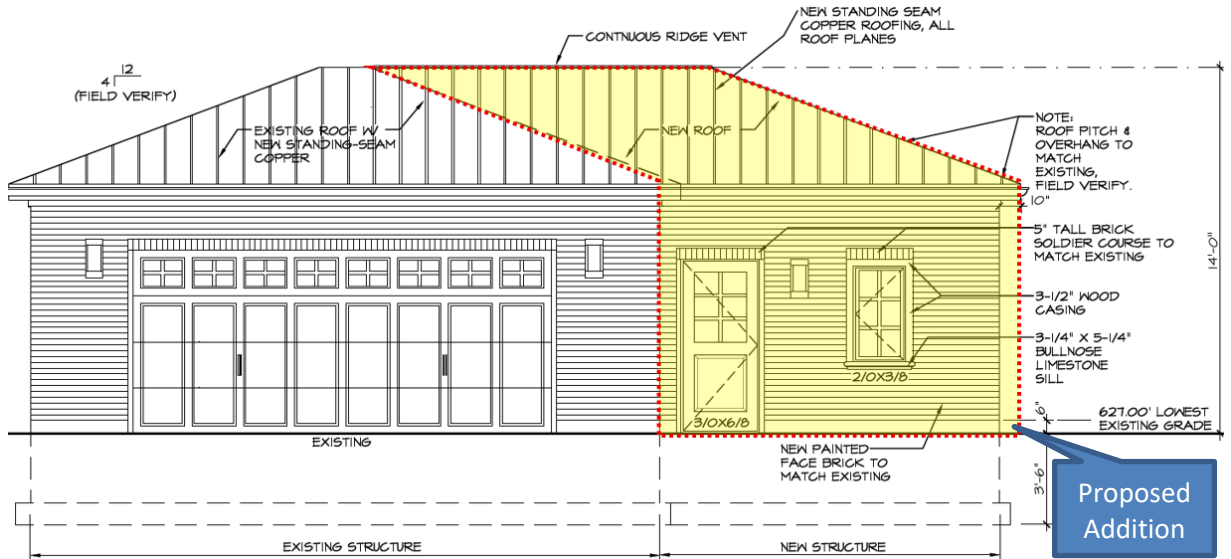


Figure 9 – Proposed Front (West) Elevation

Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, attached is a Stormwater Matrix (**Attachment B**). While the proposed improvement with this variation does include additional impermeable lot coverage, based on the plans it appears additional stormwater detention would not be required. However, a final determination will be made by Village Engineering staff upon submission of the necessary permits for the proposed improvements, which are required to comply with the Village stormwater regulations. Figure 10 below represents the Subject Property’s proximity to the floodplain; the cyan represents the 100-year floodplain and the orange represents the 500-year floodplain. Any improvements within the 100-year floodplain are subject to the Village’s Flood Hazard Protection Ordinance and the Metropolitan Water Reclamation District (MWRD) Water Management Ordinance (WMO)

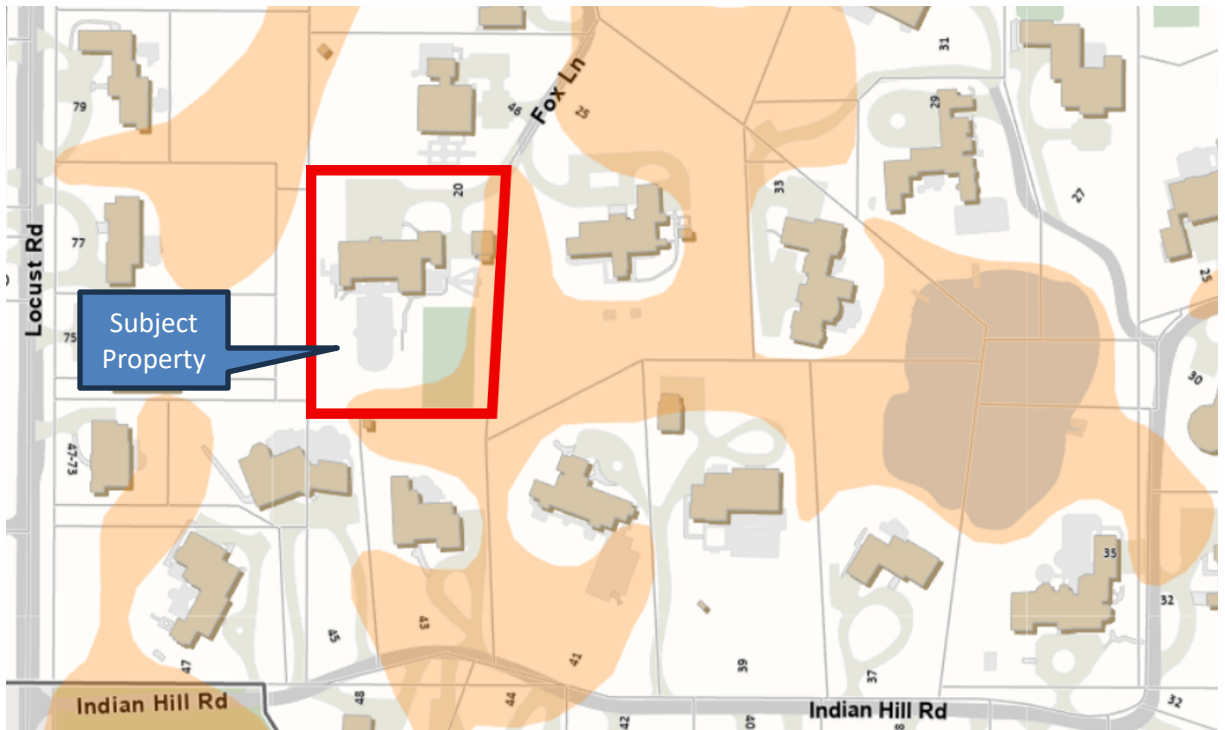


Figure 10 - GIS Floodplain Map

REQUESTED ZONING RELIEF

The attached Zoning Matrix highlights the existing lot and the proposed improvement's compliance with the R-1 zoning district (**Attachment A**). One variation is being requested to allow the proposed detached garage addition to provide a side yard setback of 5.96 feet from the east property line, whereas a minimum of 12 feet is required, a variation of 6.04 feet (50.33%). The existing detached garage is legally nonconforming with respect to the side yard setback as it currently provides a side yard setback of 6.9 feet from the east property line, encroaching into the minimum required setback of 12 feet by 5.1 feet (42.5%).

FINDINGS

Section 17.60.040 of the Zoning Ordinance lists eight variation standards that the Board must find a variation application meets. The Applicant has supplied as part of their application materials a narrative addressing how this proposal meets these standards.

After hearing from the Applicant, and the public, the ZBA may decide to act on one of two options:

1. Continue the public hearing to a specific date to provide the Applicant and/or staff with additional time to address questions and comments from the ZBA; or
2. Consider a motion recommending approval or denial of the variation. If the ZBA is prepared to make a recommendation to the Village Council regarding the request, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variation granting:

1. **Side Yard Setback** of 5.96 feet, whereas a minimum of 12 feet is required, a variation of 6.04 feet (50.33%) [Section 17.30.060 – Side Yard Setback]

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variation requested is **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **have been met [have not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
3. The variation, if granted, will not alter the essential character of the locality.
4. An adequate supply of light and air to the adjacent property will not be impaired.
5. The hazard from fire and other damages to the property will not be increased.
6. The taxable value of the land and buildings throughout the Village will not diminish.
7. The congestion in the public street will not increase.

8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

ATTACHMENTS:

Attachment A: Zoning Matrix

Attachment B: Stormwater Matrix

Attachment C: Application Materials

ATTACHMENT A

ZONING MATRIX

ADDRESS: 20 Fox Lane

CASE NO: 25-22-V2

ZONING: R-1

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	48,000 SF	71,997 SF	N/A	N/A	OK
Min. Average Lot Width	150 FT	254.55 FT	N/A	N/A	OK
Min. Lot Depth	300 FT	282.84 FT	N/A	N/A	EXISTING NONCONFORMING
Max. Roofed Lot Coverage	17,999.25 SF (1)	5,664.22 SF	5,909.39 SF	245.17 SF	OK
Max. Gross Floor Area	18,374.41 SF (1)	9,179.97 SF	9,425.14 SF	245.17 SF	OK
Max. Impermeable Lot Coverage	35,998 SF (1)	28,108.15 SF	28,353.32 SF	245.17 SF	OK
Min. Front Yard (North)	50 FT	67.2 FT	67.2 FT	0 FT	OK
Min.Side Yard (East)	12 FT	6.9 FT (3)	5.96 FT	-0.94 FT	6.04 FEET (50.33%) VARIATION
Min.Total Side Yards	76.36 FT	84.43 FT	83.49 FT	-0.94 FT	OK
Min. Rear Yard (South)	50 FT	147.3 FT	147.3 FT	0 FT	OK

NOTES:

(1) Based on lot area of 71,997 square feet

(2) Variation amount is the difference between proposed and requirement.

(3) Setback of existing detached garage

ATTACHMENT B

Stormwater Volume Requirements for Development Sites

In addition to meeting the following storm water volume detention requirements, development sites must meet all other Village storm water management requirements such as drainage and grading, storm water release rates, storage system design requirements, etc. An exception is for lots along the lakefront that directly discharge into Lake Michigan; those lots are not required to provide stormwater volume detention on-site. They are required to meet all other Village stormwater system design requirements.

	Storm Water Detention Volume Requirements	Applicable Requirement
A. New Home Construction - Previously Developed Lot	The amount of additional required storm water detention volume is based upon the difference between maximum impermeable lot coverage, per Zoning Code, and existing lot coverage, using the run-off coefficient for a 100-year storm event for both.	
B. New Home Construction - Previously <u>Undeveloped</u> Site	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
C. Redevelopment of Site for Different Use (e.g. single family to multi-family, or commercial)	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
D. Improvements to Existing Home and/or Lot, causing an increase in impermeable lot coverage <u>greater or equal to 25%</u>.	The amount of additional required storm water detention volume is based upon the difference between the proposed and existing impermeable lot coverage, using the run-off coefficient for 100 year storm event. (Note: If the increase in impermeable lot coverage is less than 25%, additional storm water detention volume is <u>not</u> required.)	<i>Applies to 20 Fox Lane. Based upon preliminary review of information to date, it appears that 20 Fox Lane <u>would not</u> have to provide additional storm water detention volume. However, a final determination will not occur until engineering plans are submitted with a building permit application.</i>
E. Improvements to existing lots, who currently exceed maximum impermeable lot coverage (e.g., School sites, single family and multi-family sites)	The amount of additional required storm water detention volume is based upon: <ul style="list-style-type: none"> a) The amount of the impermeable lot coverage (ILC) currently in excess of the maximum permitted amount of ILC allowed by zoning that will be removed and replaced, and/or b) The amount of ILC in addition to what currently exists on the lot. 	

Stormwater Volume Requirements for Development Sites

	The amount of required detention volume is then determined using the run-off coefficient for 100-year storm event.	
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ATTACHMENT C

Village of Winnetka
ZONING VARIATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. _____

Property Information

Site Address: 20 FOX LANE WINNETKA, IL

Owner Information

Name: BRENDAN CARROLL #
COLLEEN CARROLL

Primary Contact: BRENDAN CARROLL #
COLLEEN CARROLL

Address: 20 FOX LANE

Phone No. [REDACTED]

City, State, ZIP: WINNETKA, IL 60093

Email: [REDACTED]

Date property acquired by owner: JUNE 2014

Architect Information

Name: ASPECT DESIGN, INC.

Attorney Information

Name: N/A

Primary Contact: DEAN BOTES

Primary Contact: _____

Address: 26575 COMMERCE DR #607

Address: _____

City, State, ZIP: VOLO, IL 60073

City, State, Zip: _____

Phone No. [REDACTED]

Phone No. _____

Email: DBOTES@ASPECTDESIGNINC.COM

Email: _____

Nature of any restrictions on property: R-1 ZONING

Brief explanation of variation(s) requested (attach separate sheet providing additional details): WOULD LIKE

TO BUILD A STORAGE ROOM TO SOUTH ELEVATION OF EXISTING GARAGE.
GARAGE IS EXISTING NON-CONFORMING ~ ENCRoACHING 5.1' INTO EAST
SIDEYARD SETBACK. REQUESTING VARIATION TO BUILD 22'x13' STORAGE ROOM
TO ALIGN EAST WALL AND ENCRoACH 6.04'.

Property Owner Signature [REDACTED]

Date: 9-11-2025

September 11, 2025

Carroll Residence
20 Fox Lane
Winnetka, Illinois, 60093

Project Number AD24227

Standards for Granting a Zoning Variation

Standard 1:

To comply with current zoning requirements, we would need to set back the new Storage Room Addition by six additional feet. This new elevation would not line up with the existing garage east elevation, thus creating a less desirable aesthetic.

Standard 2:

The existing garage structure was built prior to the current zoning requirements. The current storage shed built next to the garage was built prior to the owners acquiring the property which will be removed for the new addition.

Standard 3:

The Storage Room Addition will be built using the same details and finish materials as the existing 2-car garage other than the roofing material will be changed to copper roofing.

Standard 4:

The Storage Room addition will be located 35-feet from the existing residence, and approximately 65-feet from the neighboring east residence. With these separation distances, the light and air supply to the existing and neighboring structures will not be impaired.

Standard 5:

The Storage Room Addition will be built using modern construction techniques by current codes.

Standard 6:

The new addition will be built using the same finished materials and details as the existing 2-car garage and a new copper roof for added value. This should not diminish the taxable value of the land and building.

Standard 7:

The existing driveway and garages will remain and be available for use during construction.

Standard 8:

The small and secluded room addition will not affect the Village inhabitant's health and comfort.

1

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073

PHONE: 847.457.2500

WWW.ASPECTDESIGNINC.COM

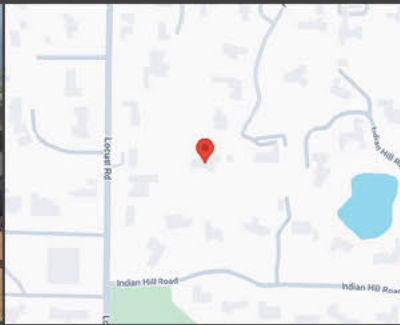








www.exactalands.com | office: 773.305.4011



PROPERTY ADDRESS:
20 FOX LANE, WINNETKA, ILLINOIS 60093

SURVEY NUMBER: 2508.4428

DATE SIGNED: 09/08/25 **FIELD WORK DATE:** 9/5/2025

REVISION DATE(S):
(REV.0 9/8/2025)

POINTS OF INTEREST
1. ADJACENT FENCE OVER PROPERTY LINE.

STATE OF ILLINOIS } SS
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2026
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008



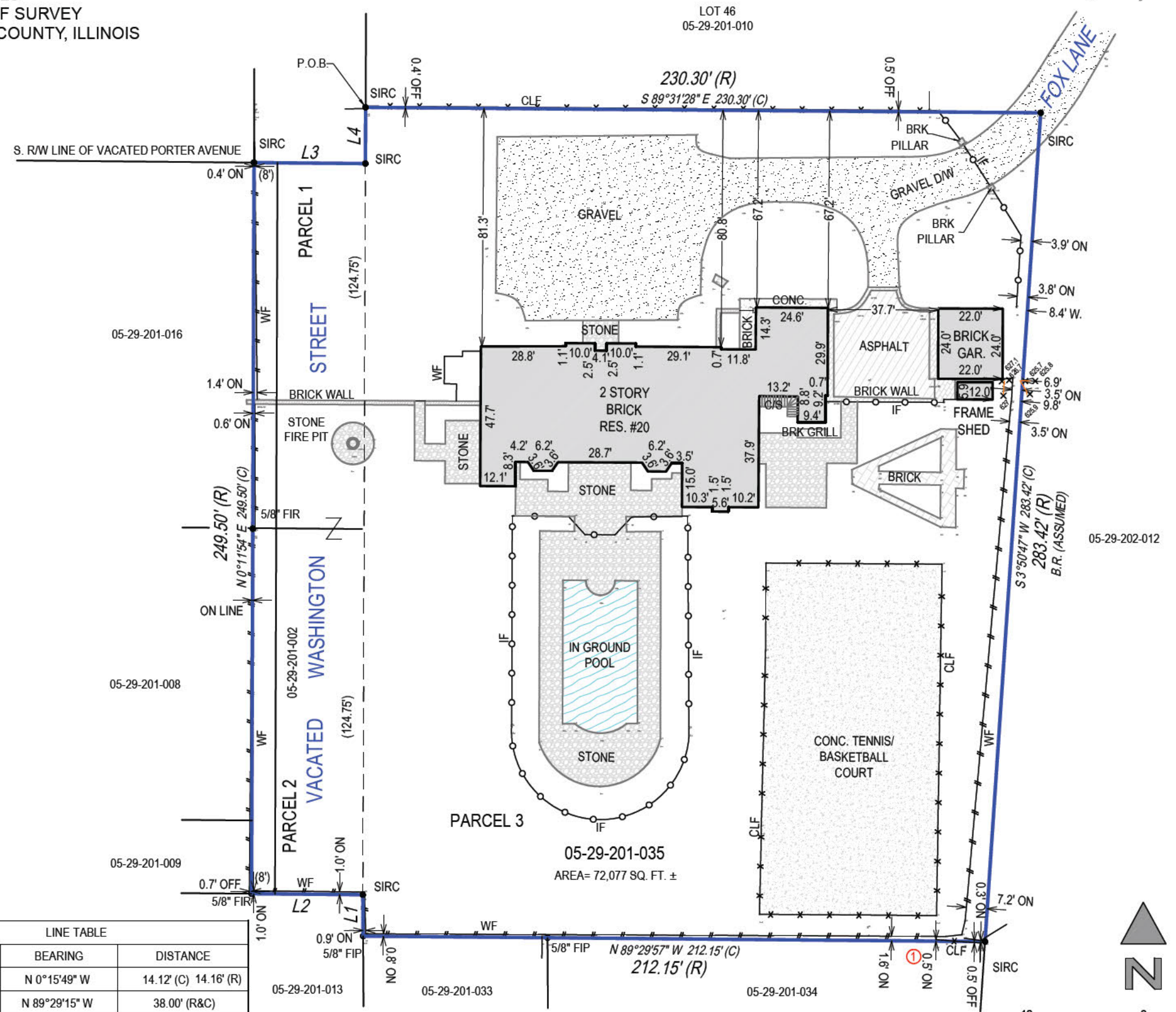
Exacta Land Surveyors, LLC
PDF # 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



2508.4428
PLAT OF SURVEY
COOK COUNTY, ILLINOIS

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 0°15'49" W	14.12' (C) 14.16' (R)
L2	N 89°29'15" W	38.00' (R&C)
L3	S 89°29'15" E	38.00' (R&C)
L4	N 0°11'54" E	19.18' (R&C)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES




PROPERTY ADDRESS: 20 FOX LANE, WINNETKA, ILLINOIS 60093	
SURVEY NUMBER: 2508.4428	
CERTIFIED TO: BRENDAN CARROLL	
DATE OF SURVEY: 09/08/25	
BUYER: Brendan Carroll	
LENDER:	
TITLE COMPANY:	
COMMITMENT DATE:	CLIENT FILE NO:
LEGAL DESCRIPTION: PARCEL 1: A TRACT OF LAND DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT IN THE WEST LINE OF LOT 49 IN INDIAN HILL SUBDIVISION NO. 5, A SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, (SAID WEST LINE OF LOT 49 BEING ALSO THE EASTLINE OF VACATED WASHINGTON STREET) 19.18 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 49 (SAID POINT BEING ALSO ON THE SOUTH LINE OF PORTER AVENUE EXTENDED EAST); THENCE SOUTH ALONG THE WESTLINE OF SAID LOT 49 (BEING THE EAST LINE OF VACATED WASHINGTON STREET) 124.75 FEET TO THE SOUTH LINE OF LOT 5 (EXTENDED EAST) IN BLOCK 2 OF BRADFORD AND PORTER'S ADDITION TO KENILWORTH, A SUBDIVISION OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29 AFORESAID; THENCE WEST ALONG THE SAID SOUTH LINE AND SAID LINE EXTENDED OF SAID LOT 5, 38 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT 5, 8 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 5; THENCE NORTH ALONG A LINE 8 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF LOTS 5, 4, 3, 2 AND 1 OF SAID BLOCK 2, 124.75 FEET TO THE NORTH LINE OF SAID LOT (BEING ALSO THE SOUTHLINE OF PORTER AVENUE); THENCE EAST ALONG THE NORTH LINE OF SAID LOT 1 (BEING ALSO THE SOUTH LINE OF PORTER AVENUE) AND SAID LINE EXTENDED, 38 FEET TO POINT OF BEGINNING; SAID PROPERTY BEING THE EAST & FEET OF LOTS 1 TO 5 INCLUSIVE IN BLOCK 2 OF BRADFORD AND PORTER'S ADDITION AFORESAID, TOGETHER WITH THE VACATED WASHINGTON STREET ADJOINING, IN COOK COUNTY, ILLINOIS. PARCEL 2: A TRACT OF LAND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE WEST LINE OF LOT 49 IN INDIAN HILL SUBDIVISION NO. 5 AFORESAID, (BEING ALSO THE EAST LINE OF VACATED WASHINGTON STREET) 143.93 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 49 (SAID POINT BEING ALSO ON THE NORTH LINE OF LOT 6 EXTENDED EAST IN BLOCK 2 OF BRADFORD AND PORTER'S ADDITION AFORESAID); THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 49 (BEING THE EAST LINE OF VACATED WASHINGTON STREET) 124.75 FEET TO THE SOUTH LINE OF LOT 10 IN SAID BLOCK 2 EXTENDED EAST; THENCE WEST ALONG THE SAID SOUTH LINE AND SAID SOUTH LINE EXTENDED OF SAID LOT 10, 38 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT 10, 8 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 10; THENCE NORTH ALONG A LINE 8 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF LOTS 10, 9, 8, 7 AND 6 OF SAID BLOCK 2, 124.75 FEET TO THE NORTH LINE OF SAID LOT 6; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 6 AND SAID LINE EXTENDED 38 FEET TO THE POINT OF BEGINNING; SAID PROPERTY BEING THE EAST 8 FEET OF LOTS 6 TO 10 INCLUSIVE IN BLOCK 2 OF BRADFORD AND PORTER'S ADDITION AFORESAID, TOGETHER WITH VACATED WASHINGTON STREET ADJOINING; PARCEL 3: ALL THAT PART OF LOT 49 IN INDIAN HILL SUBDIVISION NO. 5, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF A LINE BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 49, 282.84 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 49 AND RUNNING THENCE EAST PARALLEL TO THE NORTH LINE OF SAID LOT 49, 212.17 FEET, MORE OR LESS, TO THE EASTERLY LINE OF SAID LOT 49, ALL IN COOK COUNTY, ILLINOIS.	
FLOOD ZONE INFORMATION:	

- GENERAL SURVEYORS NOTES:**
- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless the Title Commitment Number and Date is referenced on this survey, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
 - The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
 - If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
 - This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
 - Alterations to this survey map and report by other than the signing surveyor are prohibited.
 - Dimensions are in feet and decimals thereof.
 - Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
 - Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
 - The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
 - Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
 - Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
 - The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
 - Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
 - Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
 - THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED.

SURVEYORS LEGEND:	
LINETYPES	ABBREVIATIONS
Boundary Line	(C) - Calculated
Center Line	(D) - Deed
Chain Link or Wire Fence	(F) - Field
Easement	(M) - Measured
Edge of Water	(P) - Plat
Iron Fence	(R) - Record
Overhead Lines	(S) - Survey
Structure	A/C - Air Conditioning
Survey Tie Line	AE - Access Easement
Vinyl Fence	ANE - Anchor Easement
Wall or Party Wall	ASBL - Accessory Setback Line
Wood Fence	B/W - Bay/Box Window
SURFACE TYPES	BC - Block Corner
Asphalt	BFP - Backflow Preventer
Brick or Tile	BLDG - Building
Concrete	BLK - Block
Covered Area	BM - Benchmark
Water	BR - Bearing Reference
Wood	BRL - Building Restriction Line
SYMBOLS	BSTM - Basement
Benchmark	C - Curve
Center Line	C/L - Center Line
Central Angle or Delta	C/P - Covered Porch
Common Ownership	C/S - Concrete Slab
Control Point	CATV - Cable TV Riser
Catch Basin	CB - Concrete Block
Elevation	CH - Chord Bearing
Fire Hydrant	CHIM - Chimney
Find or Set Monument	CLF - Chain Link Fence
Guywire or Anchor	CME - Canal Maintenance Easement
Manhole	CO - Clean Out
Tree	CONC - Concrete
Utility or Light Pole	COR - Corner
Well	CS/W - Concrete Sidewalk
	CUE - Control Utility Easement
	CVG - Concrete Valley Gutter
	D/W - Driveway
	DE - Drainage Easement
	DF - Drain Field
	DH - Drill Hole
	DUE - Drainage & Utility Easement
	ELEV - Elevation
	EM - Electric Meter
	ENCL - Enclosure
	ENT - Entrance
	EOP - Edge of Pavement
	EOW - Edge of Water
	ESMT - Easement
	EUB - Electric Utility Box
	F/DH - Found Drill Hole
	FCM - Found Concrete Monument
	FF - Finished Floor
	FIP - Found Iron Pipe
	FIPC - Found Iron Pipe & Cap
	FIR - Found Iron Rod
	FIRC - Found Iron Rod & Cap
	FN - Found Nail
	FN&D - Found Nail & Disc
	FRRSPK - Found Rail Road Spike
	GAR - Garage
	GM - Gas Meter
	ID - Identification
	IE/EE - Ingress/Egress Easement
	ILL - Illegible
	INST - Instrument
	INT - Intersection
	IRRE - Irrigation Easement
	L - Length
	LAE - Limited Access Easement
	LB# - License No. (Business)
	LBE - Limited Buffer Easement
	LE - Landscape Easement
	LME - Lake/Landscape Maintenance Easement
	LS# - License No. (Surveyor)
	MB - Map Book
	ME - Maintenance Easement
	MES - Mitered End Section
	MF - Metal Fence
	MH - Manhole
	MHWL - Mean High Water Line
	NR - Non-Radial
	NTS - Not to Scale
	NAVD88 - North American Vertical Datum 1988
	NGVD29 - National Geodetic Vertical Datum 1929
	OG - On Ground
	ORB - Official Records Book
	ORV - Official Record Volume
	O/A - Overall
	O/S - Offset
	OFF - Outside Subject Property
	OH - Overhang
	OHL - Overhead Utility Lines
	OHWL - Ordinary High Water Line
	ON - Inside Subject Property
	P/E - Pool Equipment
	PB - Plat Book
	PC - Point of Curvature
	PCC - Point of Compound Curvature
	PCP - Permanent Control Point
	PI - Point of Intersection
	PLS - Professional Land
	PLT - Planter
	POB - Point of Beginning
	POC - Point of Commencement
	PRC - Point of Reverse Curvature
	PRM - Permanent Reference Monument
	PSM - Professional Surveyor & Mapper
	PT - Point of Tangency
	PUE - Public Utility Easement
	R - Radius or Radial
	R/W - Right of Way
	RES - Residential
	RGE - Range
	ROE - Roof Overhang Easement
	RP - Radius Point
	S/W - Sidewalk
	SBL - Setback Line
	SCL - Survey Closure Line
	SCR - Screen
	SEC - Section
	SEP - Septic Tank
	SEW - Sewer
	SIRC - Set Iron Rod & Cap
	SMWE - Storm Water Management Easement
	SN&D - Set Nail and Disc
	SQFT - Square Feet
	STL - Survey Tie Line
	STY - Story
	SV - Sewer Valve
	SWE - Sidewalk Easement
	TBM - Temporary Bench Mark
	TEL - Telephone Facilities
	TOB - Top of Bank
	TUE - Technological Utility Easement
	TWP - Township
	TX - Transformer
	TYP - Typical
	UE - Utility Easement
	UG - Underground
	UP - Utility Pole
	UR - Utility Riser
	VF - Vinyl Fence
	W/C - Witness Corner
	W/F - Water Filter
	WF - Wood Fence
	WM - Water Meter/Valve Box
	WV - Water valve

JOB SPECIFIC SURVEYOR NOTES:
 THE ASSUMED BEARING REFERENCE OF SOUTH 3 DEGREES 50 MINUTES 47 SECONDS WEST IS BASED ON THE EASTERLY PROPERTY LINE OF , LOCATED WITHIN ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK , PAGE OF THE PUBLIC RECORDS OF COOK COUNTY, ILLINOIS.



Exacta Land Surveyors, LLC
 PDF # 184008059
 o: 773.305.4011
 316 East Jackson Street | Morris, IL 60450

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

GENERAL NOTES

ALL APPLICABLE WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO ALL APPLICABLE LOCAL AND NATIONAL CODES.

- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL BUILDINGS CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH THE STATE OF ILLINOIS AMENDMENTS
- 2015 NFPA LIFE SAFETY CODES

EACH CONTRACTOR SHALL REVIEW AND VERIFY THE PLANS AND FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE GENERAL CONTRACTOR. ALL DISCREPANCIES SHALL BE RESOLVED BEFORE THE START OF CONSTRUCTION.

ALL CONTRACTORS SHALL COORDINATE WITH ALL OTHER CONTRACTORS PRIOR TO AND DURING CONSTRUCTION.

DO NOT SCALE DRAWINGS.

ALL MATERIALS, EQUIPMENT, STRUCTURAL ELEMENTS, FINISHES, WINDOWS, DOORS, ETC., WHETHER PRE-MANUFACTURED OR SITE BUILT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE ON SITE DURING CONSTRUCTION AND SHALL LEAVE THE WORK AREA "BROOM CLEAN" DAILY. REMOVE WASTE BUILDING MATERIAL WEEKLY.

THE ARCHITECT IS NOT ENGAGED FOR SUPERVISION AND ASSUMES NO SUCH RESPONSIBILITY.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, TECHNIQUES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

THE OWNER / CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROPRIATE PERMITS AND INSURANCE FOR CONSTRUCTION AND OCCUPANCY.

THE OWNER / GENERAL CONTRACTOR TO CHOOSE FIXTURES, APPLIANCES, FINISHES (PAINT, WALL COVERINGS, TILE, LAMINATES, CABINETS, COLORS, HARDWARE, FURNITURE ETC., UNLESS NOTED OTHERWISE. SUB - CONTRACTORS TO SUPPLY SAMPLES TO THE OWNER/ GENERAL CONTRACTOR FOR FINAL APPROVAL PRIOR TO START OF CONSTRUCTION.

ALL SURFACES AND CONSTRUCTION SHALL BE ADEQUATELY BRACED AND PROTECTED.

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

WHERE THE TERM "APPROVED EQUAL" IS USED IN THE DRAWINGS OR SPECIFICATIONS, IT SHALL BE UNDERSTOOD THAT THE REFERENCED IS MADE TO THE RULES AND JUDGMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMIT ACTUAL SAMPLES AND ANY NECESSARY TECHNICAL DATA OR INFORMATION OF ALL PROPOSED SUBSTITUTIONS.

THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND HIS AGENTS FOR AND AGAINST ALL SUITS, CLAIMS OR LIABILITY ON ACCOUNT OF PERSONAL INJURIES OR PROPERTY DAMAGES ARISING OUT OF NEGLIGENT ACTS OF THE CONTRACTOR IN THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.

SITE WORK

THE CONTRACTOR SHALL VERIFY SITE AND EXISTING CONSTRUCTION CONDITIONS ESPECIALLY UNDERGROUND AND OVERHEAD UTILITY SERVICES.

THE FOOTINGS AND FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 3000 P.S.F.

CONCRETE WORK

(NOT APPLICABLE)

METALS

(NOT APPLICABLE)

MASONRY

(NOT APPLICABLE)

DOORS AND WINDOWS

ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE CODE.

THERMAL AND MOISTURE PROTECTION

REFER TO THE ENERGY CODE NOTES AND THE TYPICAL WALL SECTIONS FOR R-VALUES.

METAL VALLEY FLASHING TO CONFORM WITH ALL APPLICABLE CODES.

ALL EXTERIOR JOINTS, SEAMS, AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH APPROVED SEALANT, TAPE, GASKETS OR WEATHER STRIPPING TO PREVENT AIR LEAKAGE.

VAPOR RETARDERS WITH A PER RATINGS OF 1.0 OR LESS SHALL BE INSTALLED IN ALL FRAMED CEILINGS, WALLS, AND FLOORS.

PROVIDE CONCEALED GALVANIZED OR ALUMINUM SHEET METAL FLASHING AT ALL WALL/ROOF JOINTS AND AS REQUIRED FOR WATERPROOF CONSTRUCTION.

CARPENTRY NOTES

ALL INTERIOR PARTITIONS ARE BASED ON 3 1/2" UNLESS OTHERWISE NOTED.

ALL UNSUPPORTED FRAME WALLS 12'-0" OR TALLER SHALL BE FRAMED WITH 2x6 STUDS AT 16" ON CENTER UNLESS NOTED OTHERWISE.

PROVIDE 2x6 STUDS IN LIEU OF 2x4 FOR FOR FRAME WALLS DRILLED FOR PLUMBING PIPES.

ALL CANTILEVERS TO BE A MINIMUM 2:1 RATIO PER THE CURRENT CODE.

PROVIDE CROSS BRIDGING FOR ALL FLOOR JOISTS SPANNING 15'-0" OR GREATER. MINIMUM 8'-0" ON CENTER OR PER ENGINEERED JOIST MANUFACTURER'S SPECIFICATIONS.

ALL LOAD BEARING HEADERS SHALL BE (2) 2x12 WITH 1/2" PLYWOOD SPACER UNLESS OTHER MISE NOTED. INSTALL DOUBLE GRIPPLERS EACH SIDE FOR ALL SPANS OVER 6'-0" OR AS OTHERWISE NOTED ON THE PLANS.

SEE FIREBLOCKING NOTES FOR ALL FIREBLOCKING MATERIALS AND LOCATIONS.

INSTALL SQUASH BLOCKING AT ALL JOIST BAYS BELOW CONCENTRATED BEAM AND POST LOADS.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR ANCHORAGE FOR ALL SHELVING, CABINETS AND TOILET ACCESSORIES. VERIFY LOCATIONS WITH OWNER.

ALL FLOOR JOISTS FRAMED TO FLUSH HEADERS SHALL BE CONNECTED WITH APPROPRIATE METAL JOIST HANGERS.

ALL ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE SHALL BE PROTECTED WITH MINIMUM 5/8" DRYNALL.

ALL EXTERIOR DECK FRAMING, DECKING MATERIAL, RAILS, TREADS, ETC. SHALL BE APPROVED PRESERVATIVE TREATED.

ALL METAL CONNECTORS, HANGERS, BRACKETS, NAILS, SCREWS, ETC., IN CONTACT WITH TREATED LUMBER SHALL BE APPROVED TO BE COMPATIBLE WITH THE TREATED LUMBER AND/ OR SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER, AND COMPLY WITH THE CODE.

PROVIDE CONCEALED GALVANIZED OR ALUMINUM SHEET METAL FLASHING AT ALL WALL/ ROOF JOINTS AND AS REQUIRED FOR WATERPROOF CONSTRUCTION.

JOISTS SHALL HAVE A BEARING AREA OF NOT LESS THAN 1-1/2".

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ENERGY CODE

(NOT APPLICABLE)

STRUCTURAL DESIGN CRITERIA

FLOOR	40 P.S.F.-L.L.	10 P.S.F.-D.L. LIVING SPACE
ATTIC	20 P.S.F.-L.L. 10 P.S.F.-L.L.	10 P.S.F.-D.L. ATTIC STORAGE 10 P.S.F.-D.L. WITH OUT ATTIC STORAGE
ROOF	30 P.S.F.-L.L.	10 P.S.F.-D.L. SNOW LOAD
CATHEDRAL CEILING	30 P.S.F.-L.L.	15 P.S.F.-D.L. SNOW LOAD
DECKS	40 P.S.F.-L.L.	10 P.S.F.-D.L.
WIND LOAD	90 P.S.F.	

ALL FLOOR AND CEILING JOISTS, ROOF RAFTERS, BEAMS AND HEADERS SHALL BE DOMESTIC HEM FIR #2 UNLESS OTHERWISE NOTED. MINIMUM E = 1,300,000 P.S.I. AND MINIMUM BASE F_b = 850 OR BETTER.

ALL STRUCTURAL WOOD POSTS SHALL BE S-P-F STRUCTURAL GRADE OR BETTER.

PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, BATHTUBS, WASHER, DRYER, AND OTHER STATIONARY APPLIANCES.

MINIMUM IN GRADE BASE VALUES FOR STUDS:

FIRST FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,400,000	F _c = 825
FIRST FLOOR INTERIOR LOAD BEARING WALLS	E = 1,200,000	F _c = 800
SECOND FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,200,000	F _c = 800
SECOND FLOOR INTERIOR LOAD BEARING WALLS	E = 1,000,000	F _c = 600
ALL NON LOAD BEARING WALLS	E = 1,000,000	F _c = 600

EXTERIOR DECK STRUCTURAL FRAMING LUMBER:

ALL DECK STRUCTURAL FRAMING HAS BEEN DESIGNED BASED UPON #2 SOUTHERN YELLOW PINE OF U.S. ORIGIN AS CLASSIFIED BY THE SOUTHERN PINE MARKETING COUNCIL.

F_b: 2x6 = 1,380 P.S.I. / 2x10 = 1,210 P.S.I. / 2x12 = 1,120 P.S.I. / E = 1,600,000

ENGINEERED WOOD PRODUCTS:

MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLAMLS AND PARALLAMS AS MANUFACTURED BY TRUSS-JOIST.

1.4 MICROLAMLS	F _b = 2,600 P.S.I.	E = 1,400,000 P.S.I.
2.0 PARALLAMS	F _b = 2,400 P.S.I.	E = 2,000,000 P.S.I.
1.5 TIMBERSTRAND	F _b = 2,250 P.S.I.	E = 1,500,000 P.S.I.

STRUCTURAL WOOD I-JOISTS:

MANUFACTURED STRUCTURAL WOOD I-JOISTS ARE BASED UPON I-JOIST AS MANUFACTURED BY INTERNATIONAL BEAM OR APPROVED EQUAL. ALL SUBSTITUTIONS SHALL BE REVIEWED BY THE ARCHITECT. I JOISTS SHALL BE INSTALLED AS PER THE MANUFACTURERS ALLOWABLE FLOOR SPAN CHART (LIVE LOAD = 1,400). INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

FIREBLOCKING NOTES

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVEL.
- 2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC..
- 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RIM.
- 4) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NON COMBUSTIBLE MATERIALS.
- 5) ALL FURRING, PARTITIONS, EXTERIOR WALLS AT EACH FLOOR AND CEILING LEVEL, AND AT THE JUNCTURE OF THE ROOF RAFTERS AND WALL.
- 6) ALL OPEN SOFFIT AREAS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" DRYNALL.

EXCEPT AS PROVIDED IN ITEMS 4 AND 6 ABOVE, FIREBLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, OR TWO THICKNESSES OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE THICKNESS OF 23/32 INCH O.S.B. WITH JOINTS BACKED BY 23/32 INCH O.S.B., OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD, OR OTHER APPROVED MATERIALS.

THE INTEGRITY OF ALL FIRE STOPS SHALL BE MAINTAINED.

NOTES:

ALL FIREBLOCKING AND DRAFT STOPPING SHALL MEET REQUIREMENTS OF IRC R602.8 AND RELATED SECTIONS AND TABLES AND IRC R502.12 AND RELATED SECTIONS.

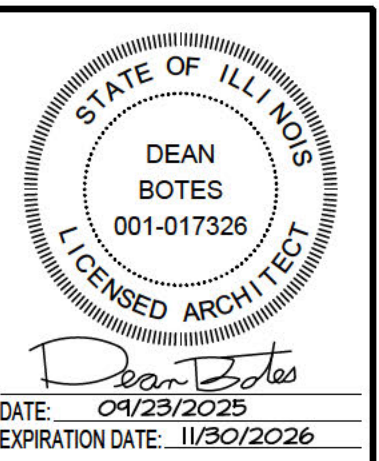
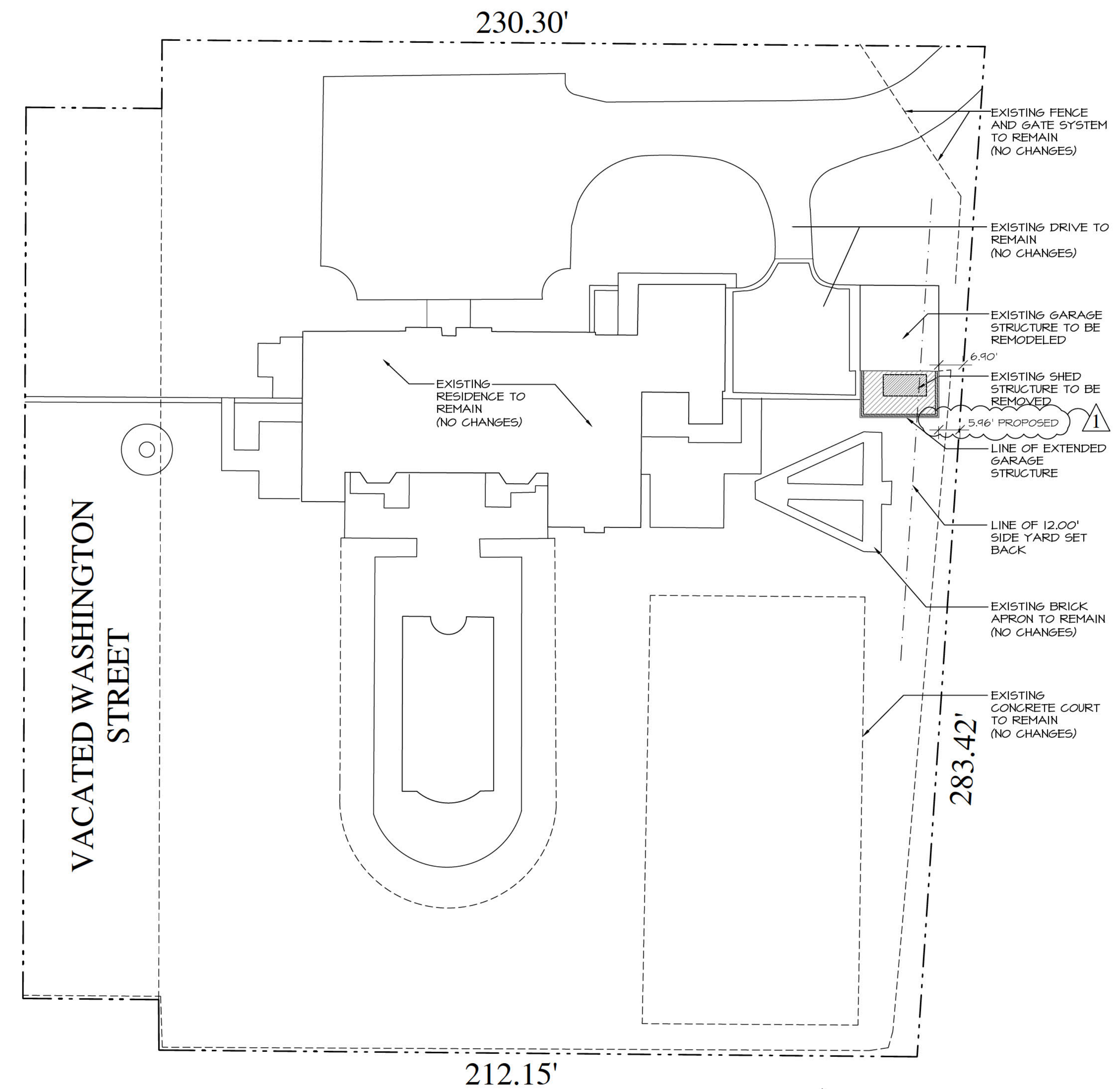
PROVIDE 5/8" FIRECODE DRYNALL TO UNDERSIDE OF ALL I JOIST FLOOR CONSTRUCTION AND PROVIDE APPROVED DRAFTSTOPPINGS FOR EVERY 1000 SQ. FT. OF FLOOR AREA

GARAGE STORAGE ROOM ADDITION

20 FOX LANE WINNETKA, IL 60093

SHEET INDEX

A 01	TITLE SHEET AND GENERAL NOTES
A 02	SITE PLAN
A 03	PLANS & EXTERIOR ELEVATIONS



GARAGE STORAGE ROOM ADDITION
20 FOX LANE
WINNETKA, IL 60093

12/04/2024	REVIEW
12/23/2024	REVIEW
08/17/2025	FINAL
09/09/2025	REVISED
09/11/2025	REVISED
09/23/2025	REVISOR PER BLDG. DEPT.

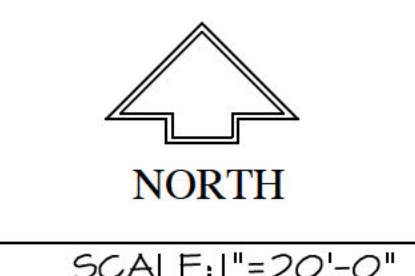
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MAIN: 847-457-2500		
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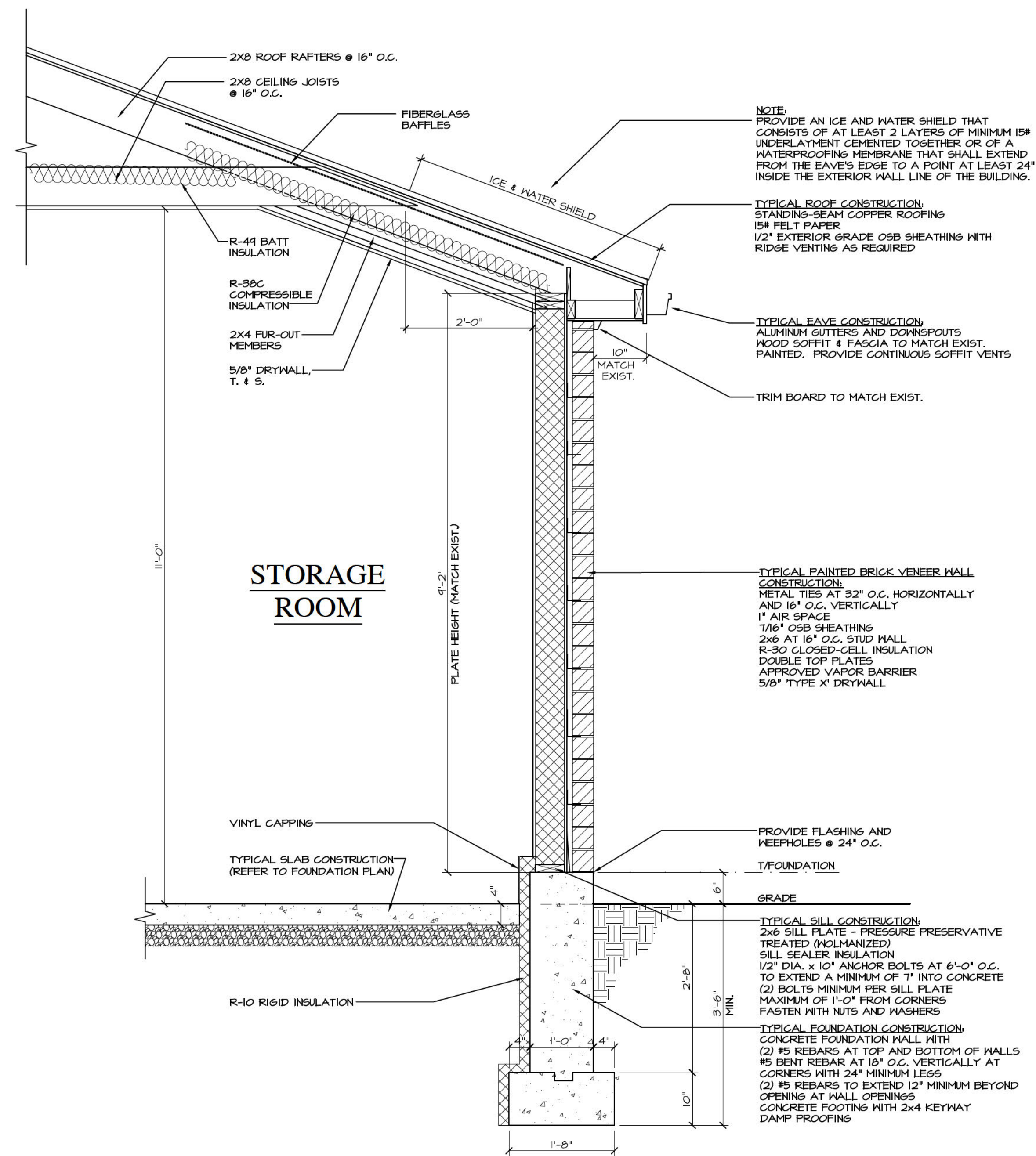
PROJECT # AD24227
DRAWN BY: DB / MB
20 FOX LANE
TITLE SHEET & GEN. NOTES

A 01
1 OF 4 TOTAL SHEETS

1 SITE PLAN (R-1 ZONING)
A 02

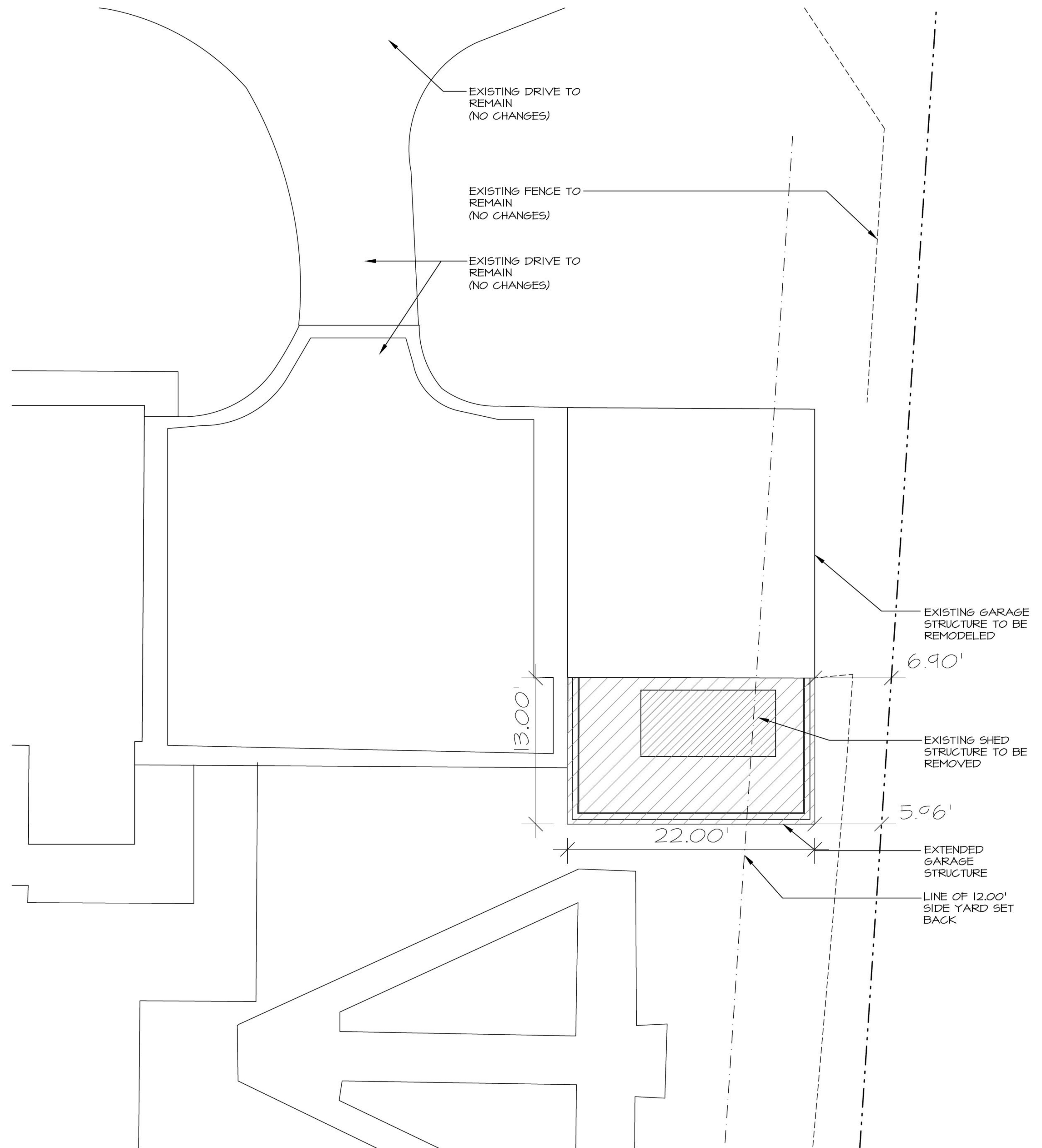


NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)



2 TYPICAL WALL SECTION
A 02

SCALE: 3/4" = 1'-0"



1 ENLARGED SITE PLAN
A 02

SCALE: 3/16" = 1'-0"

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REVISED PER BLDG. DEPT.	09/23/2025

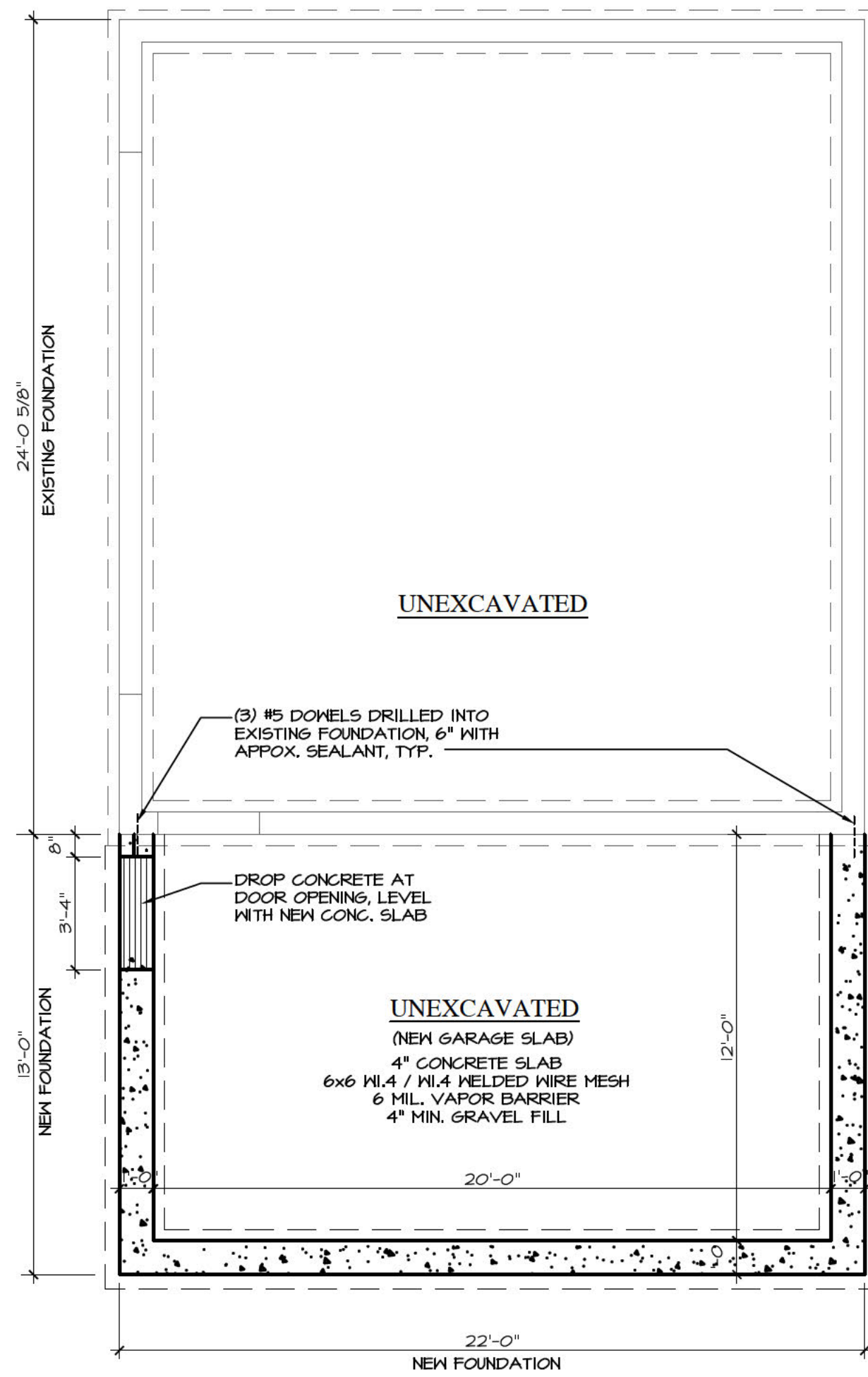
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SITE PLAN & WALL SECTION

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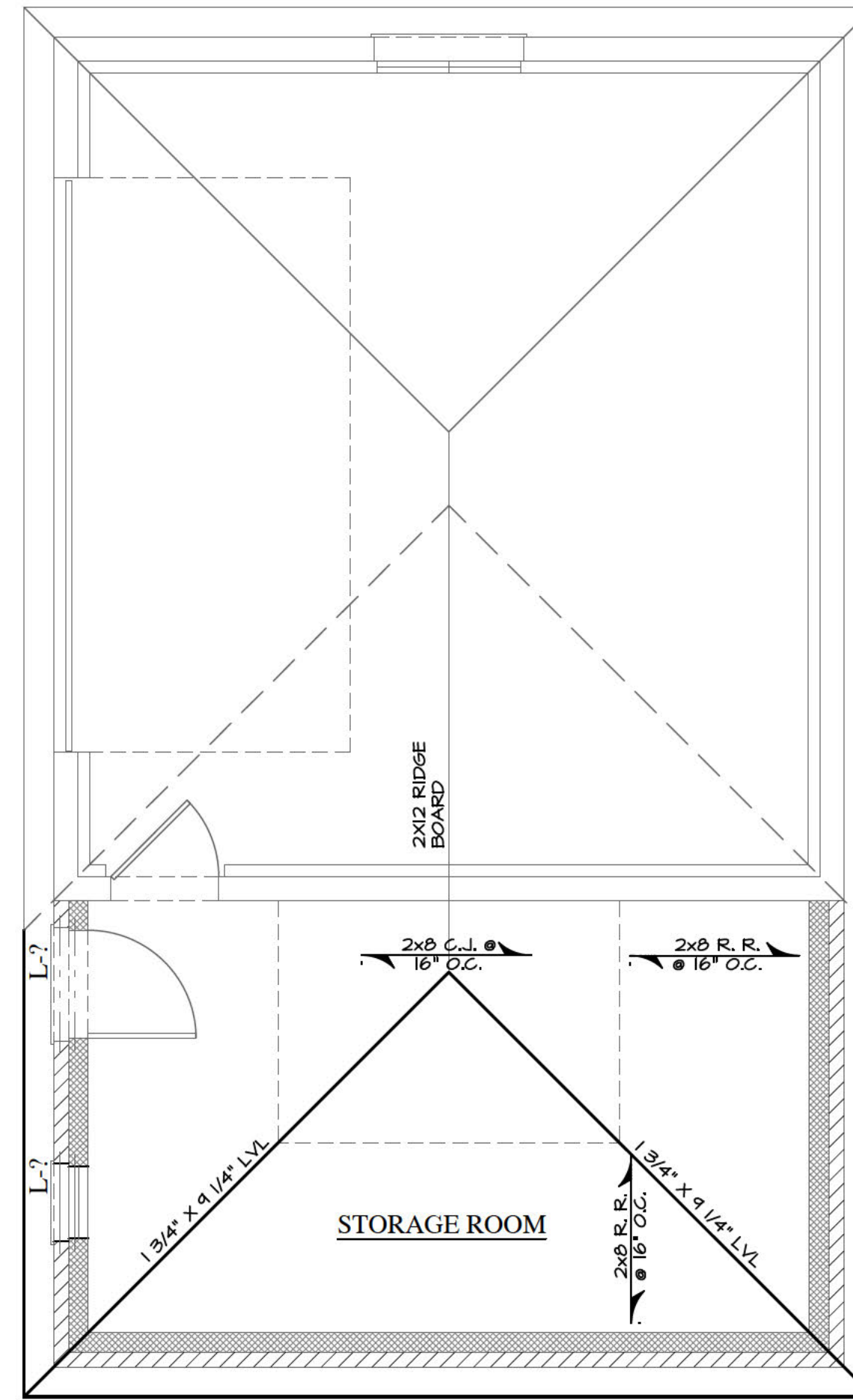
ASPECT DESIGN INC.
ARCHITECTS

A 02

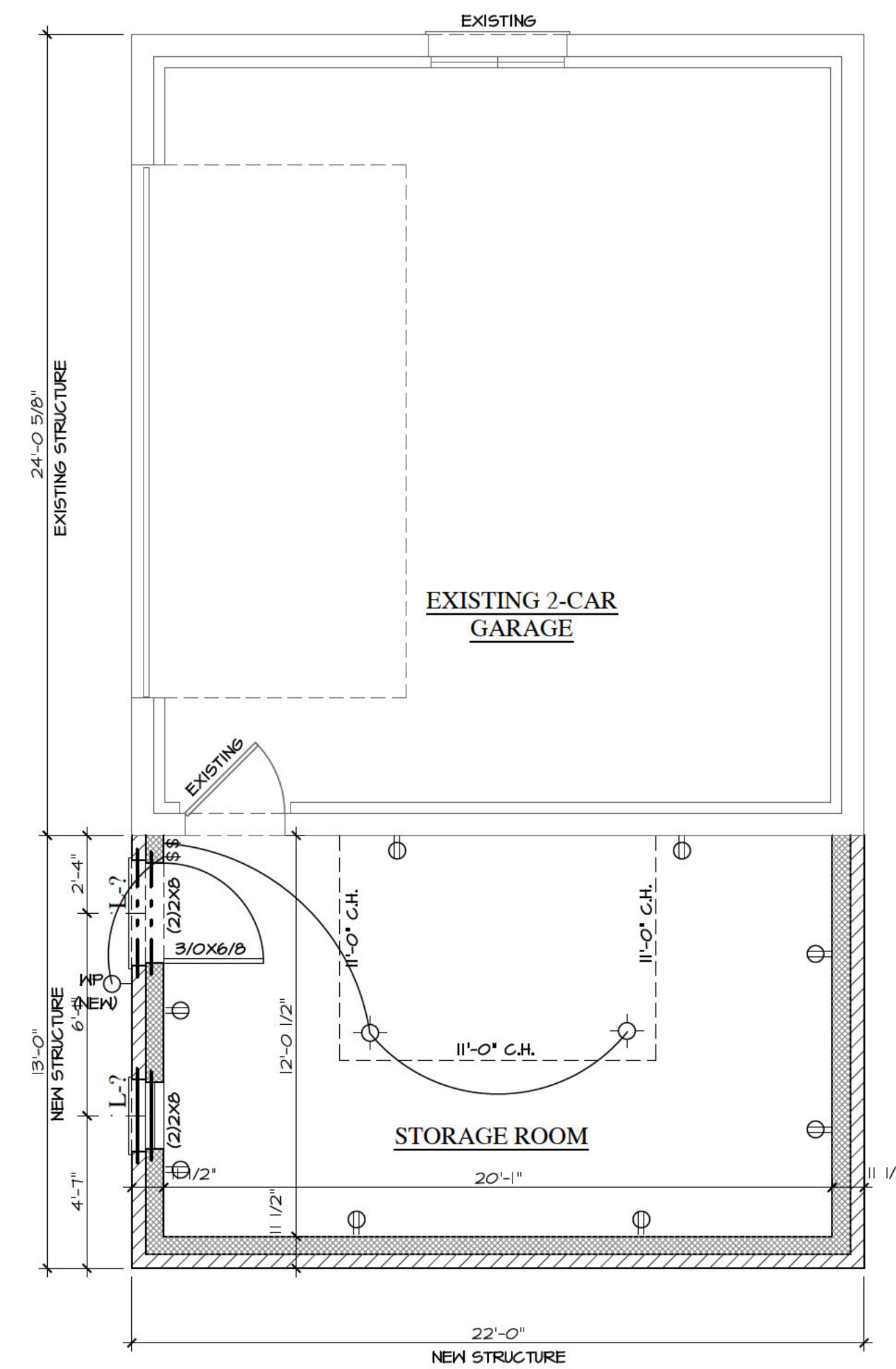
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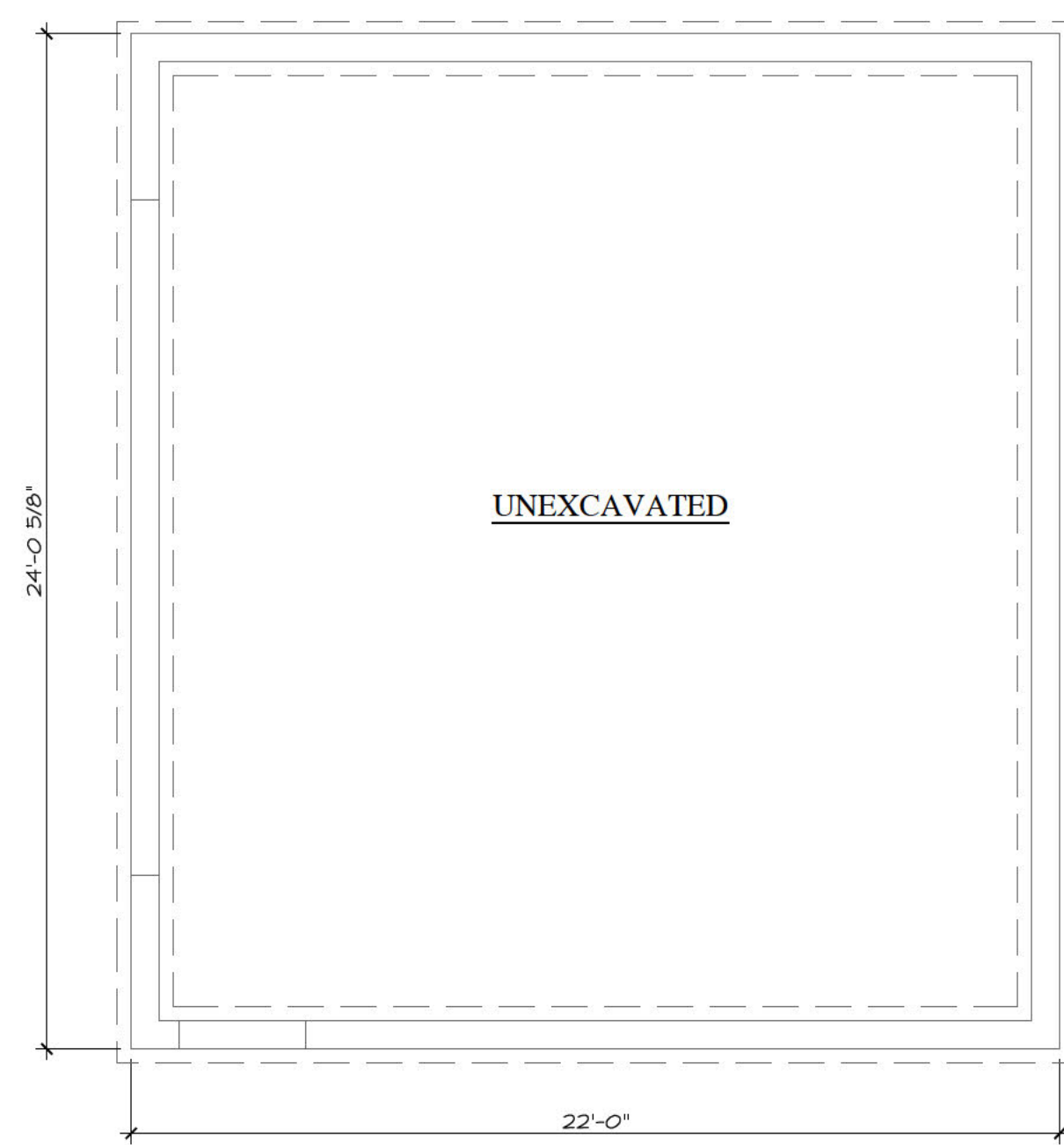
6 FOUNDATION PLAN (PROPOSED)
A 03 SCALE: 1/4" = 1'-0"



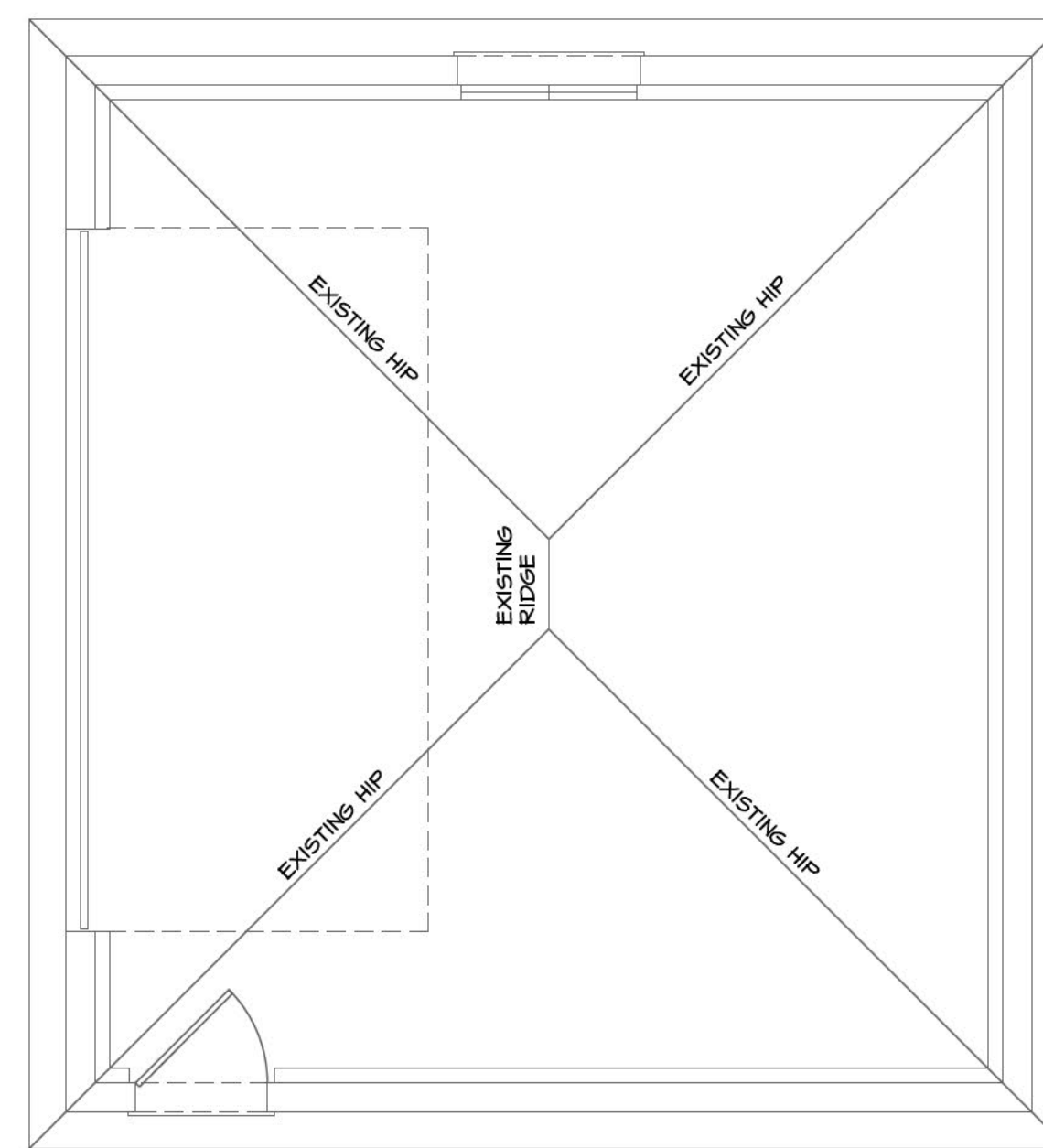
4 ROOF PLAN (PROPOSED)
A 03 SCALE: 1/4" = 1'-0"



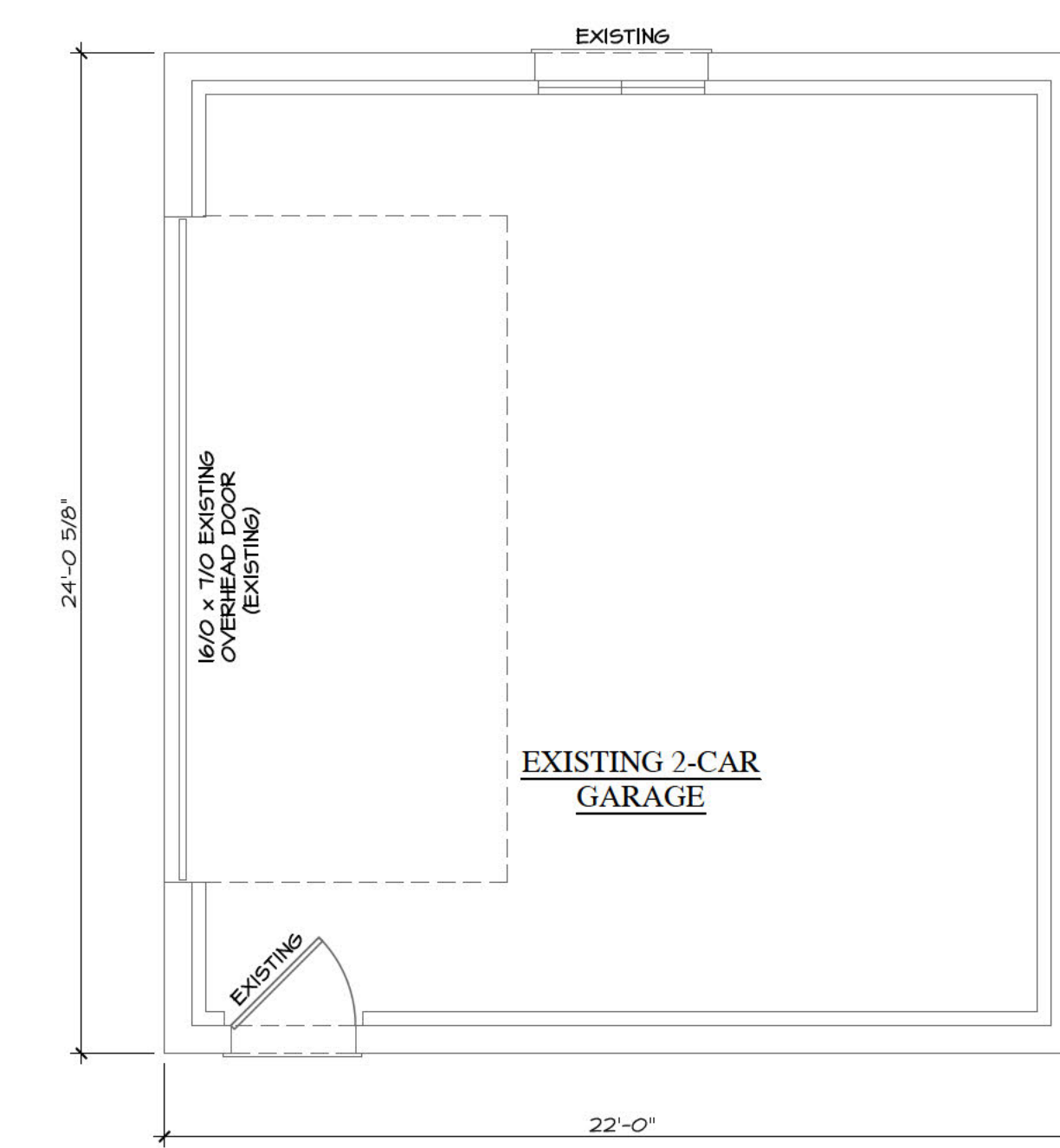
2 FLOOR PLAN (PROPOSED)
A 03 SCALE: 1/4" = 1'-0"



5 FOUNDATION PLAN (EXISTING)
A 03 SCALE: 1/4" = 1'-0"



3 ROOF PLAN (EXISTING)
A 03 SCALE: 1/4" = 1'-0"



1 FLOOR PLAN (EXISTING)
A 03 SCALE: 1/4" = 1'-0"

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REVISED	09/23/2025
REVISION	REVISOR PER BLDG. DEPT.

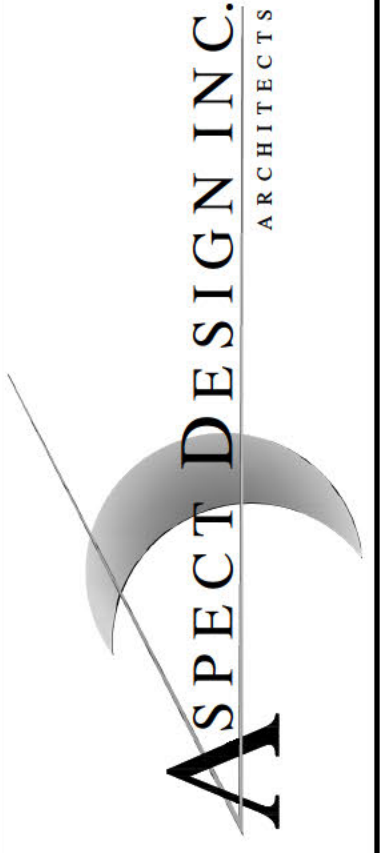
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20 FOX LANE FLOOR PLANS	
A 03	
# 3 OF 4 TOTAL SHEETS	

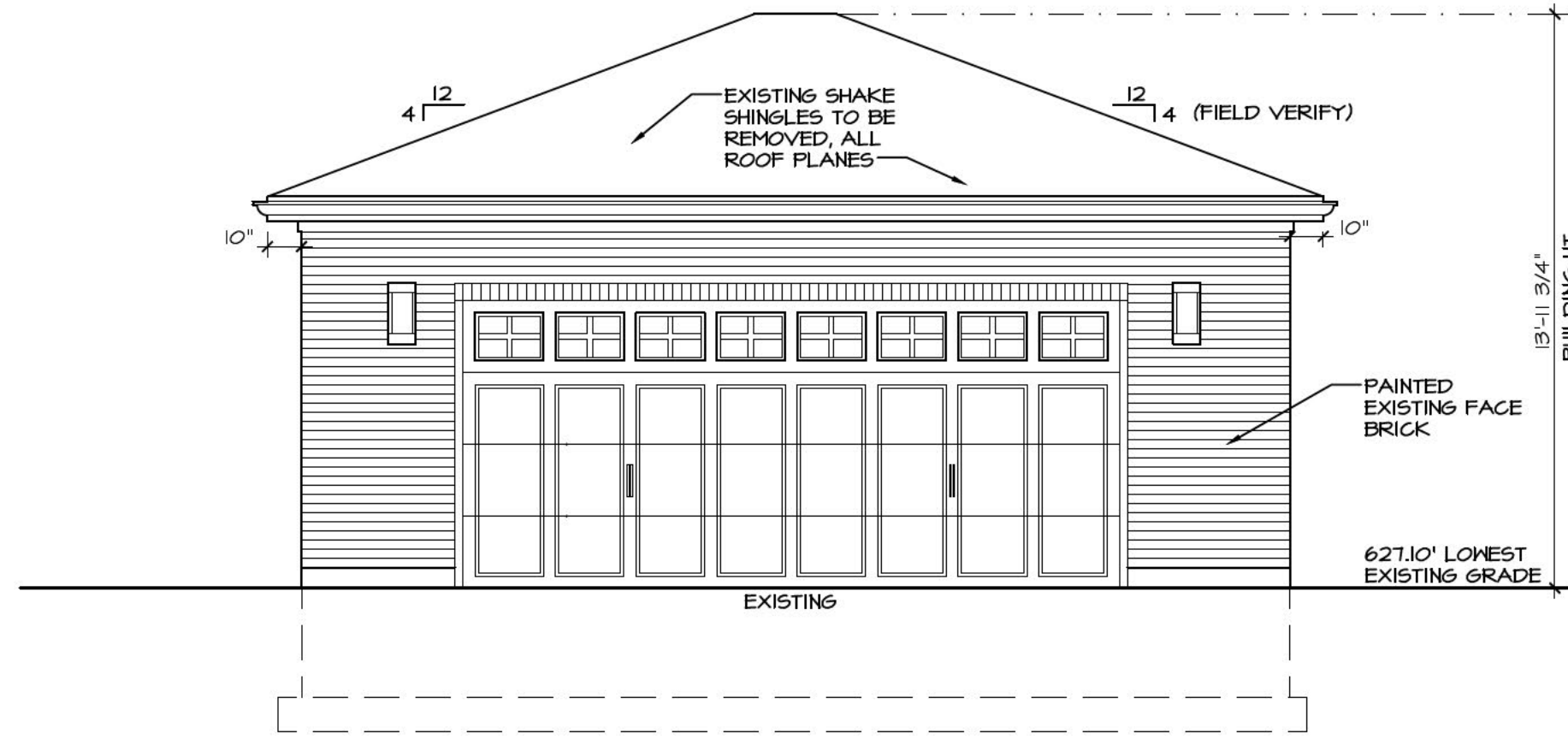
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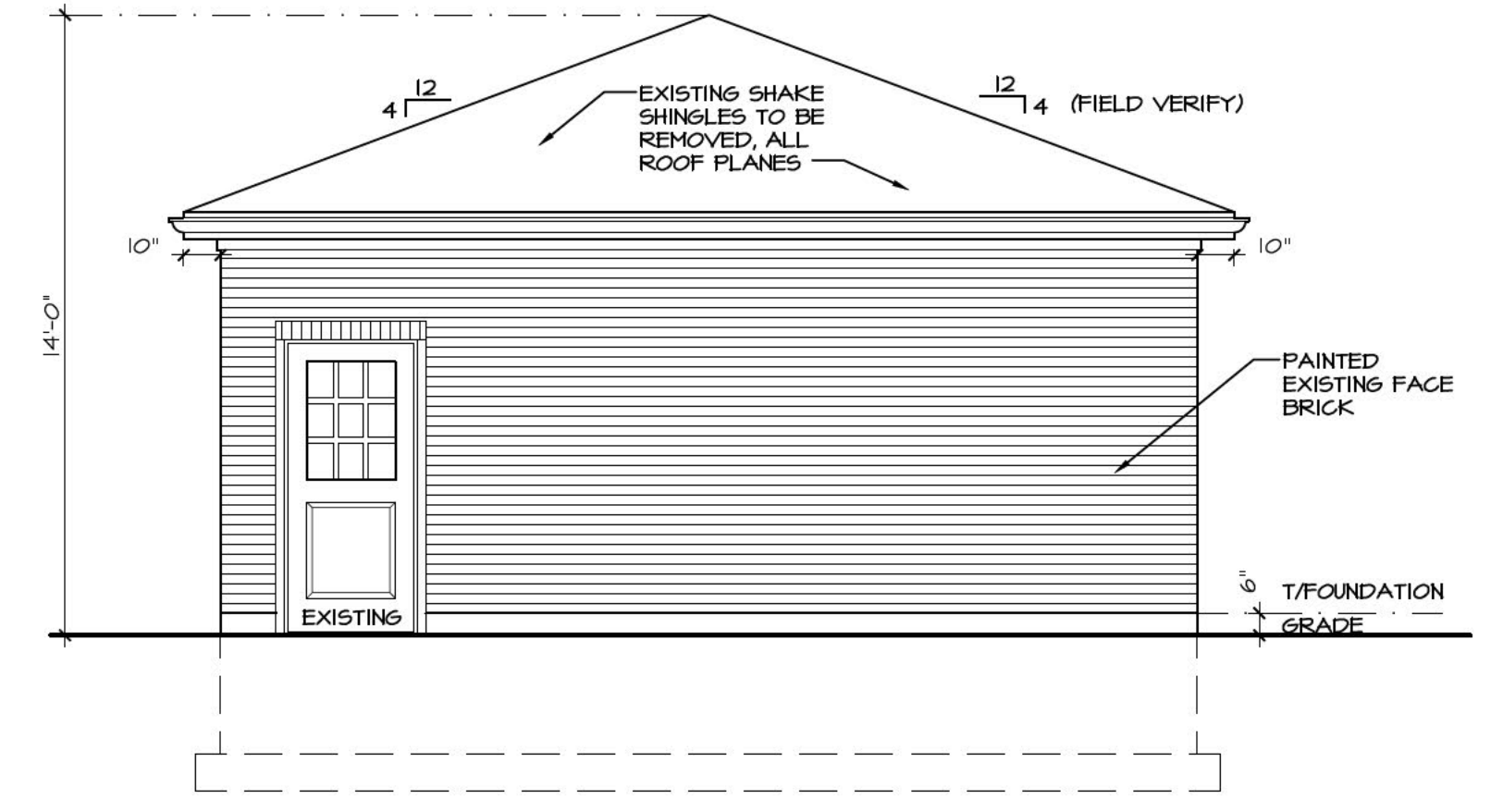


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20 FOX LANE
EXTERIOR ELEVATIONS

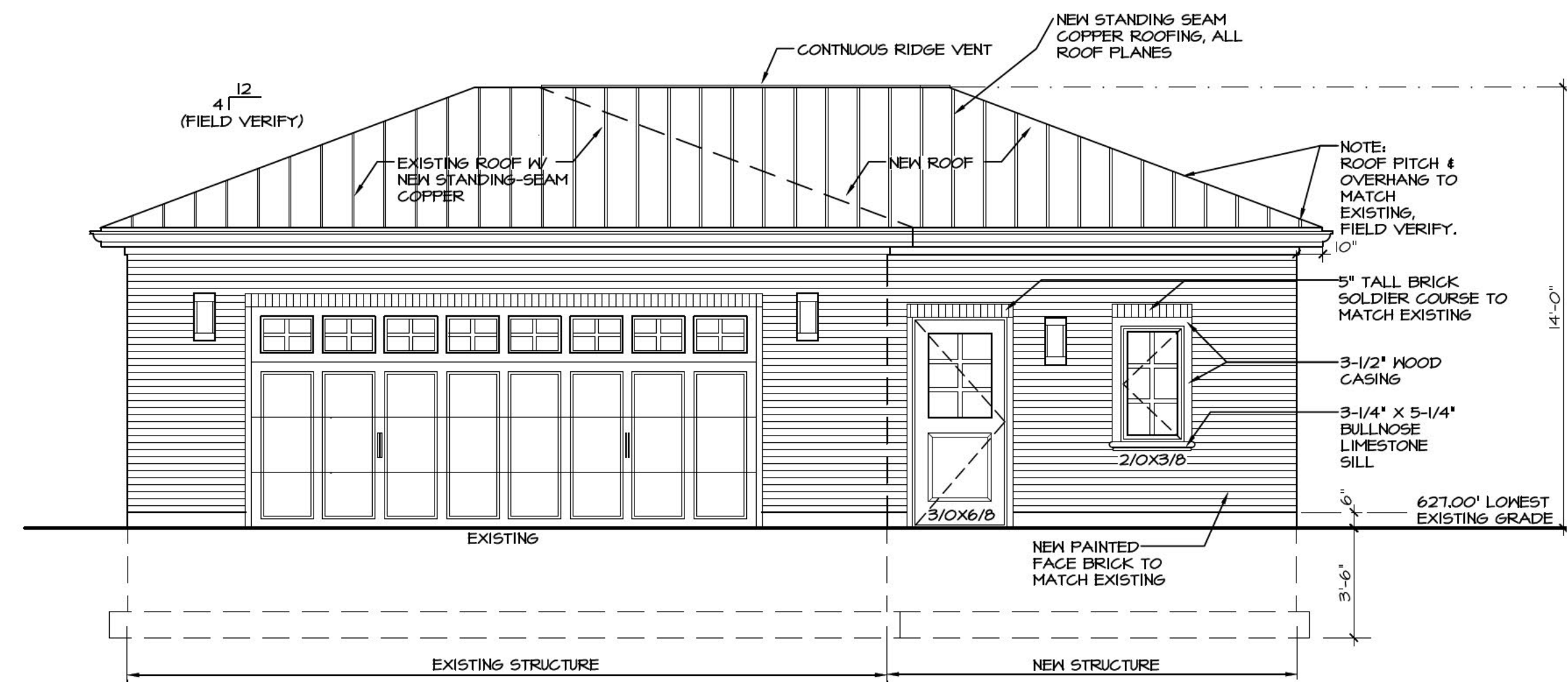
A 04
4 OF 4 TOTAL SHEETS



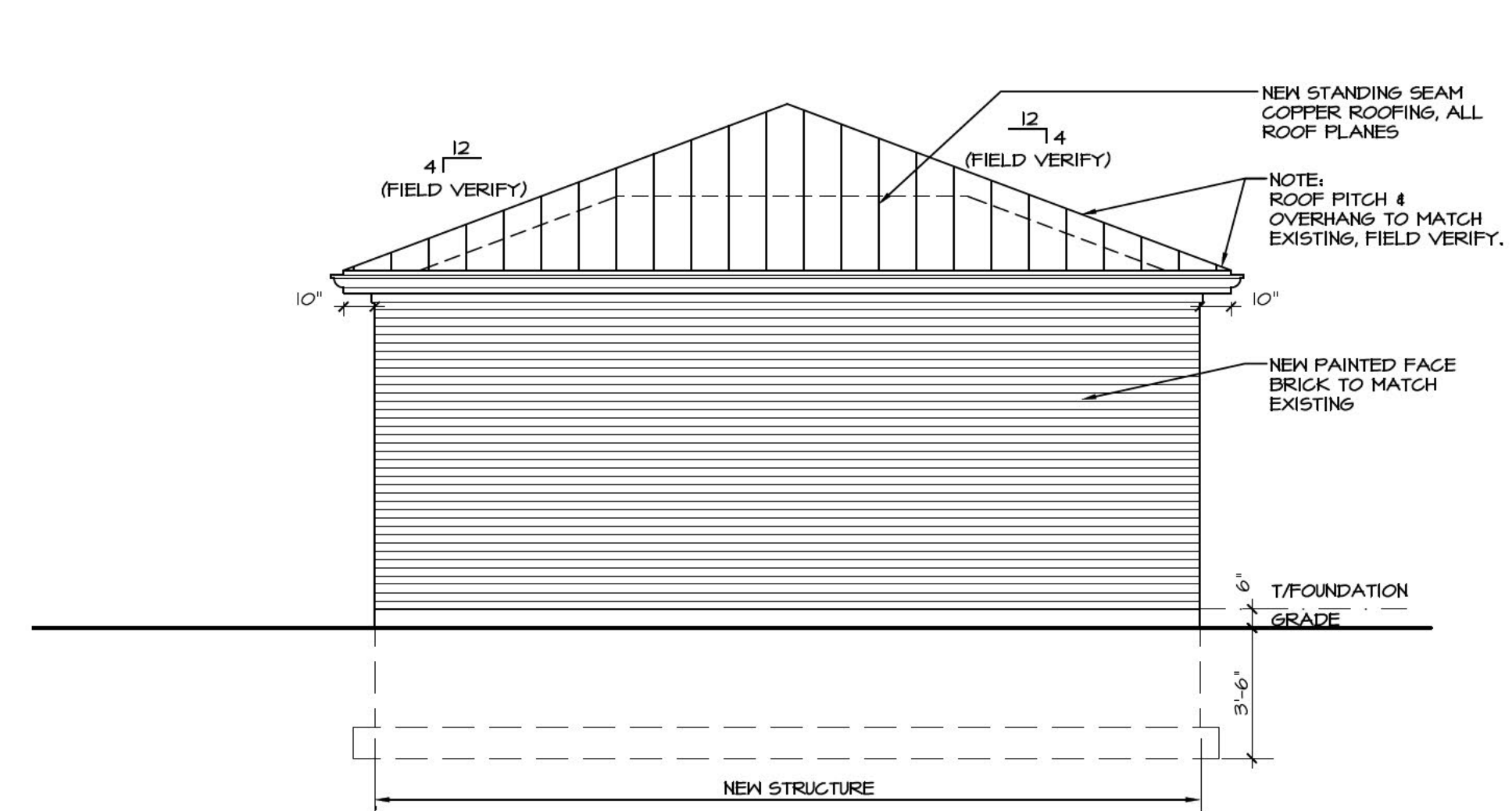
4 WEST ELEVATION (EXISTING)
A 04 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION (EXISTING)
A 04 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION (PROPOSED)
A 04 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION (PROPOSED)
A 04 SCALE: 1/4" = 1'-0"

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