



**ZONING ADMINISTRATOR MEETING**  
**MONDAY, AUGUST 30, 2021 - 4:00 PM**  
**WINNETKA VILLAGE HALL COUNCIL CHAMBERS – 510 GREEN BAY ROAD**

**AGENDA ITEMS**

1. Call to Order.
2. **Case No. 21-31-ZA: 320 Locust Road:** An application submitted by Mike and Page Wilson seeking approval of a zoning variation to allow construction of a second-floor addition to the existing residence at 320 Locust Road. The requested zoning variation would permit the addition to provide less than the minimum required side yard setback from the north property line. The Zoning Administrator has final jurisdiction on this request.
3. Public Comment.
4. Adjournment.

Note: Public comment is permitted on all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them one of two ways: (1) by sending an email to [planning@winnetka.org](mailto:planning@winnetka.org); or (2) by sending a letter to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093.

**NOTICE**

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041). **Also, in accordance with the CDC guidance, the Village is requiring everyone to wear a face covering upon entering any Village facility, including the Village Hall. If you are unable to safely wear a face covering due to a medical condition or disability, please contact the Village ADA Coordinator by 3:00 p.m. the date of the meeting to request reasonable accommodations.**



**NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING**

Notice is hereby given that a public hearing will be held by the Winnetka Zoning Administrator on **MONDAY, AUGUST 30, 2021, AT 4:00 PM** in the Council Chamber of the Winnetka Village Hall at 510 Green Bay Road, Winnetka, Illinois for the purpose of considering the following:

**CASE NO. 21-31-ZA  
320 LOCUST ROAD – RESIDENTIAL ADDITION**

An application submitted by Mike and Page Wilson (collectively, the “Applicant”), as the owners of the property located at 320 Locust Road (the “Subject Property”), **to allow construction of a second-floor addition to the existing residence on the Subject Property.** The Applicant has filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to provide less than the minimum required side yard setback from the north property line.

The Subject Property (Parcel Index Number 05-20-305-014-0000) is generally located on the west side of Locust Road, between Willow and Mt. Pleasant Roads, and is zoned R-4 Single Family Residential. The Subject Property contains an existing two-story residence with an attached garage.

**SPECIAL NOTICE**

Due to the ongoing COVID-19 emergency, and the possibility that an Executive Order of the Governor, an Emergency Order of the Village President, a determination made by the Zoning Administrator, or other government order or law may prohibit or make it more difficult for the public hearing to be held at the Winnetka Village Hall, the Winnetka Zoning Administrator meeting may be held virtually on August 30, 2021, via Zoom.

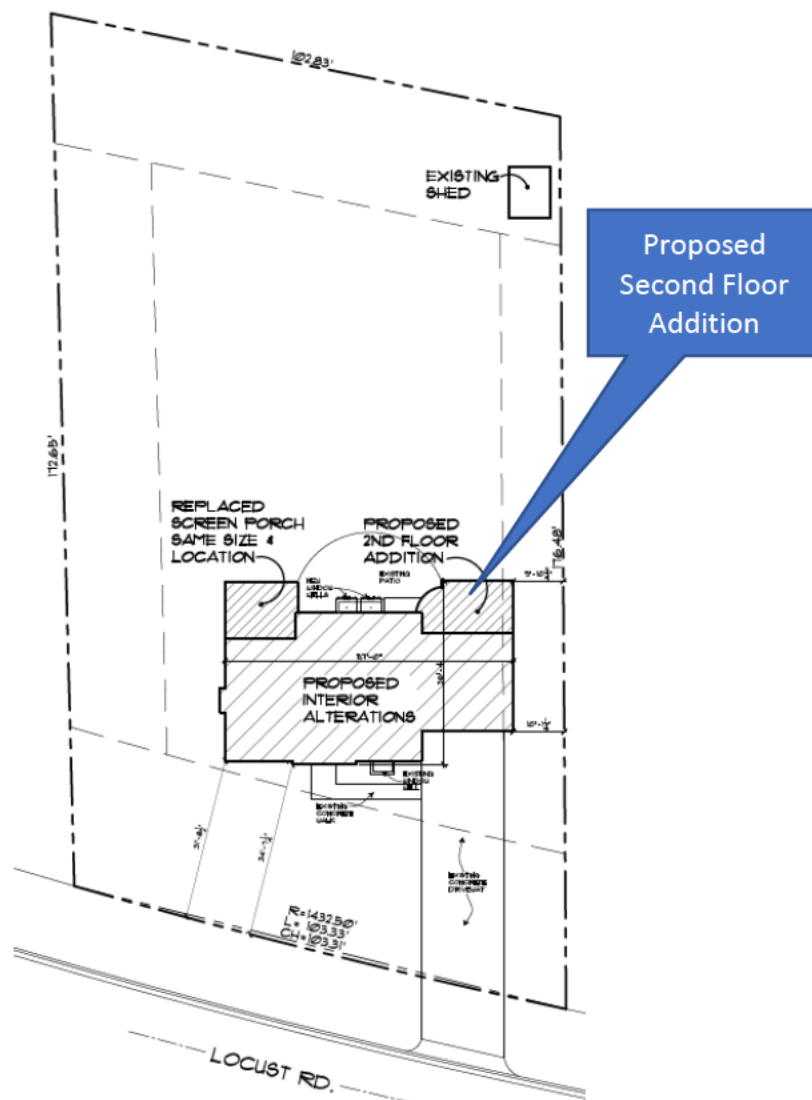
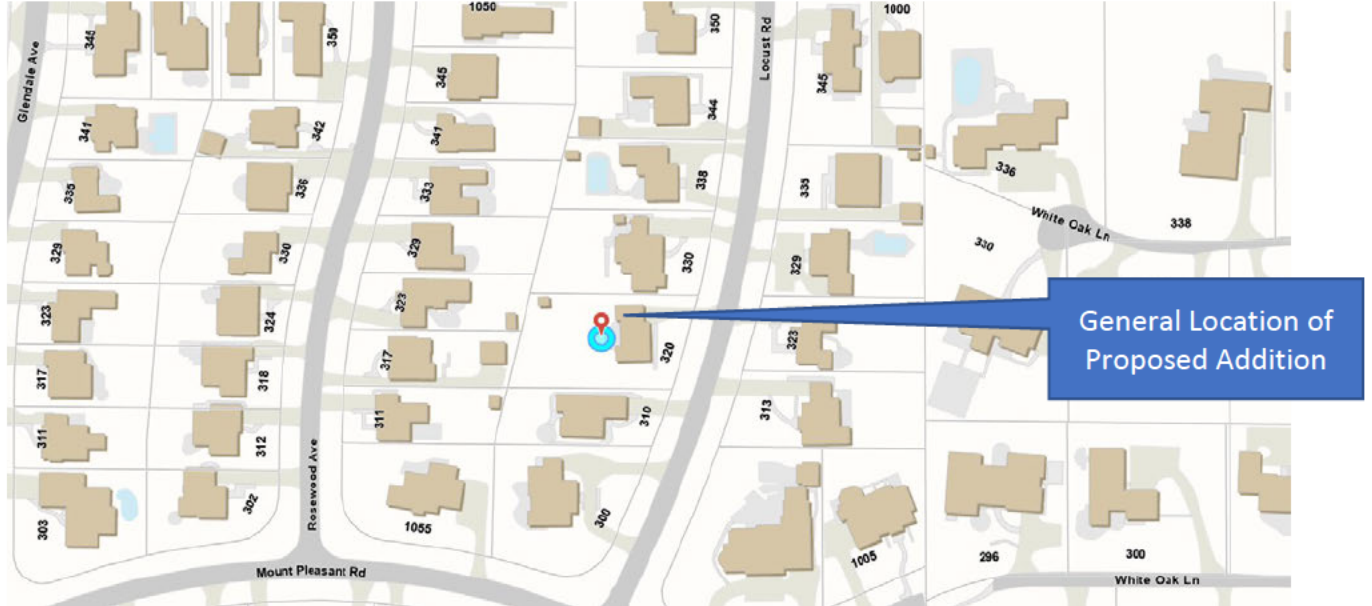
If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of two ways:

- 1) By sending **an email** to [planning@winnetka.org](mailto:planning@winnetka.org); or
- 2) By sending **a letter** to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093.

No further notice of this hearing, or of its location or manner in which it will be conducted, will be provided. Information regarding the location of the public hearing and any changes to instructions for participating in the public hearing will be included on the meeting agenda posted on the Village’s website - [www.villageofwinnetka.org/agendacenter](http://www.villageofwinnetka.org/agendacenter) - no later than Thursday, August 26, 2021. Please contact the Community Development Department at 847-716-3525 for confirmation of the meeting location.

At said public hearing and at any adjournment thereof, all persons interested are invited to attend and be heard. Persons seeking additional information concerning any of the applications or requesting alternative means to provide testimony or public comment are directed to email inquiries to [planning@winnetka.org](mailto:planning@winnetka.org) or by calling 847-716-3525.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093 [Telephone: (847) 716-3543; T.T.Y.: (847) 501-6041]. **Also, in accordance with the CDC guidance, the Village is requiring everyone to wear a face covering upon entering any Village facility, including the Village Hall. If you are unable to safely wear a face covering due to a medical condition or disability, please contact the Village ADA Coordinator by 3:00 p.m. the date of the meeting to request reasonable accommodations.**



Proposed Site Plan  
 (Note: Details may change through review process)

VILLAGE OF WINNETKA, ILLINOIS

DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 21-31-2A

Property Information

Site Address: 320 Locust St. Winnetka, IL 60093

V/A 2021-925

Owner Information

Name: Mike and Page Wilson

Address: [REDACTED]

City, State, ZIP: Winnetka, IL 60093

Email: [REDACTED]

Primary Contact: Cory Todd

Phone No. [REDACTED]

Date property acquired by owner: 04/26/2021

Architect Information

Name: Archimax

Primary Contact: Dan Drag

Address: 9950 Lawrence Ave. Suite 307

City, State, ZIP: Schiller Park, IL 60176

Phone No. 847-877-4414

Email: danieldrag@att.net

Attorney Information

Name: \_\_\_\_\_

Primary Contact: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Phone No. \_\_\_\_\_

Email: \_\_\_\_\_

Nature of any restrictions on property: It's an existing building, in the flood plain. Please see additional attached application page.

Brief explanation of variation(s) requested (attach separate sheet providing additional details): We are requesting a minor variance for the side yard set back on the Northern side of the property.

Please see additional attached application page.

Property Owner Signature [REDACTED]

Date: 8/16/21

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allow by regulations in that district; The current house doesn't allow for modern day living. The layout, room, and closet sizes does not coordinate with today's lifestyles. The choices for this homeowner were either to add square footage above the existing foundation, build an addition to the back, or tear the house down. This property is in the flood plain. By building off the back, they would be impacting the impermeable area that is already an issue for this neighborhood. Therefore, they were left with the options of adding above the current first floor foundation or tearing down. The Wilsons did not want to tear this structure down. They felt that there was enough architectural significance that would warrant saving the home. This left them with the option of an addition over the current footprint. By allowing this variance, it would permit enough square footage on the second floor for kids' bedrooms, a master suite, preventing an increase of impermeable area for the neighborhood and still prevent this structure from being torn down.

2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants; This house was built before the current setbacks were in place. The footprint of this house has been set for years. We aren't looking to change that at all. Rather, we are looking to maintain the character of this older home and only add up on the back area that has been there for years. Also, given that this home is in the flood plain, the homeowners are constrained as to what additions they can do. Adding on to the back would actually have a greater negative impact on the community by taking more permeable area away. So, by granting this variance, we would be having the lowest amount of negative impact on the community.

There is an existing legal nonconformity of a minimal degree. The first floor currently sits beyond the required setback to the North. The proposed improvement won't increase the degree of nonconformity. Rather, the setback non-conformity will remain the same. Further, the proposed improvement will enhance the utility and value of the property within the context of the established neighborhood.

There is no economically viable alternative that will cure the nonconformity. The house pre-dates the original zoning ordinance and encroaches into the side yard. The owner proposes to extend the second floor to align the first floor to create a master suite. The proposed improvements are still within the GFA limitations and the only way to cure the nonconformity is to demolish the house and build anew.

3. The variation, if granted, will not alter the essential character of the locality; This variation will actually preserve the local character. This structure needs the additional square footage to allow for a modern usable second floor master suite. The other alternative for the owner is to tear the structure down and rebuild. By not granting this variance, the neighborhood would be losing another older home with some attractive architectural details.

4. An adequate supply of light and air to adjacent property will not be impaired; Currently, there are many trees separating the Wilson's property and the property to the North. We have no plans on removing those trees. By adding the second floor to the existing footprint, there will be zero impact on the light and air to the neighboring areas

5. The hazard from fire and other damages to the property will not be increased; We do not intend to change the footprint of this house. The likelihood of a fire and or damage to this property will not change by allowing the 2<sup>nd</sup> floor variance. If anything, this renovation will actually decrease the risk of fire. Modern smoke detectors, insulation and firestopping will be installed which will lower the likelihood of such event.

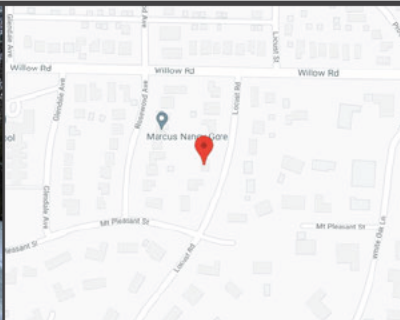
6. The taxable value of the land and buildings throughout the Village will not diminish; The proposed improvements to this property will actually have the opposite impact. The current structure is old and on the verge of being beyond repair. By allowing the applicant to proceed with the proposed changes, they will be reviving the current house and actually improve the value of the current house as well as improving the neighborhood as a whole.

7. The congestion in the public street will not increase; By allowing the variance, there would be zero impact to population density or traffic. It would not cause any additional congestion.

8. The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired. This variance will actually preserve a house in the village with some architectural significance, instead of having a new home built on the site. The overall core values of Winnetka will be maintained by keeping this house standing, which can't be done without the variance.



www.exactaland.com | office: 773.305.4011



**PROPERTY ADDRESS:**  
320 LOCUST ROAD, WINNETKA, ILLINOIS 60093

**SURVEY NUMBER:** 2102.0796

**DATE OF SURVEY:** 02/05/21 **FIELD WORK DATE:** 2/4/2021

**REVISION DATE(S):**  
(REV.1 2/5/2021)

**POINTS OF INTEREST**

STATE OF ILLINOIS } SS  
COUNTY OF LASALLE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971  
LICENSE EXPIRES 11/30/2022  
EXACTA LAND SURVEYORS, LLC  
PROFESSIONAL DESIGN FIRM 184008059-0008

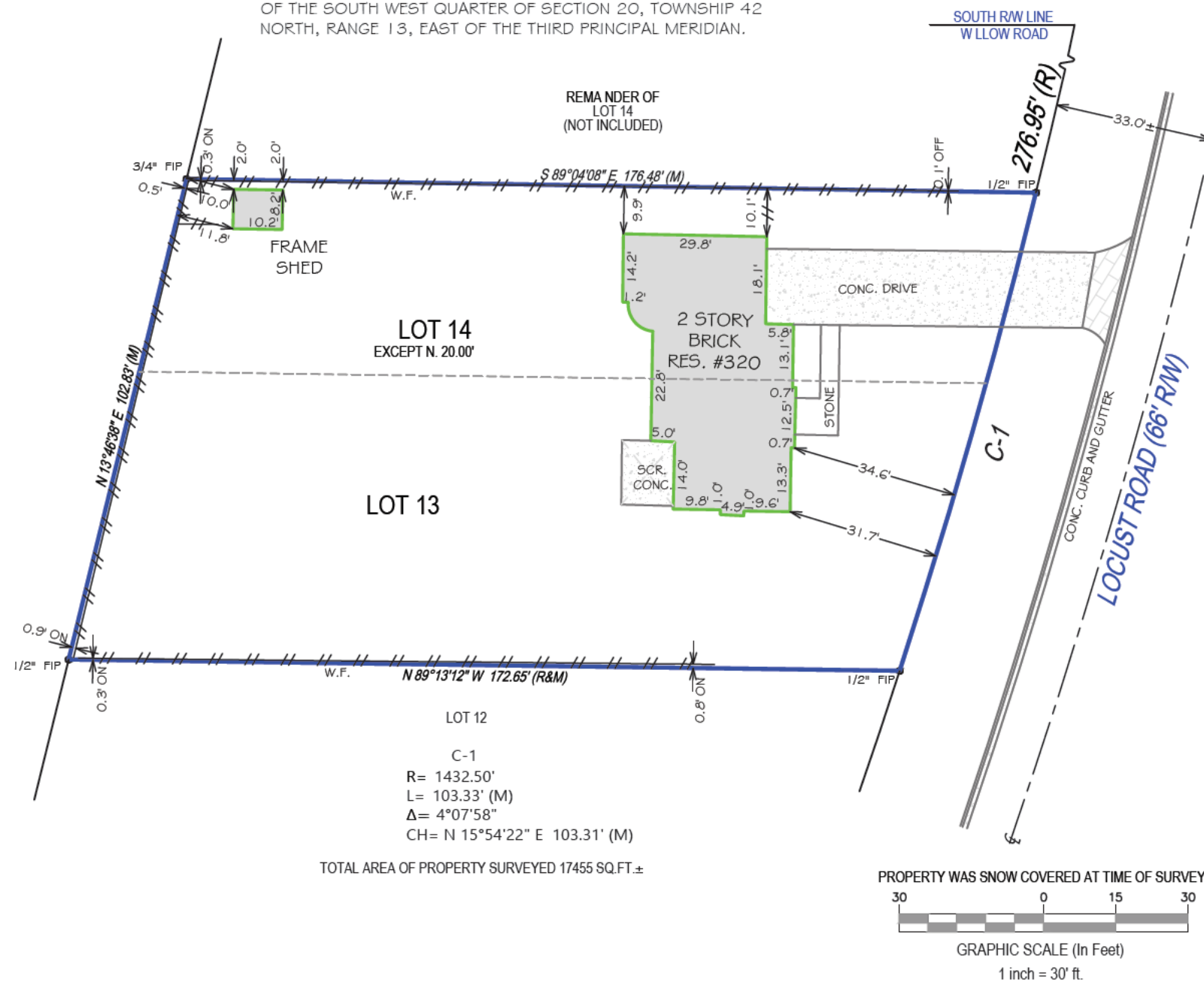


Exacta Land Surveyors, LLC  
LB# 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



**2102.0796  
BOUNDARY SURVEY  
COOK COUNTY**

LOT 13 AND LOT 14 (EXCEPT THE NORTH 20 FEET OF LOT 14)  
IN ALLE'S SUNSET SUBDIVISION OF THE NORTH EAST QUARTER  
OF THE SOUTH WEST QUARTER OF SECTION 20, TOWNSHIP 42  
NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN.



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| <div>PROPERTY ADDRESS:<br/>320 LOCUST ROAD, WINNETKA, ILLINOIS 60093</div>                                                                                                                                                                                  |                            | <div>GENERAL SURVEYORS NOTES:</div> <div><div><div>1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.</div><div>2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.</div><div>3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.</div><div>4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.</div><div>5. Alterations to this survey map and report by other than the signing surveyor are prohibited.</div><div>6. Dimensions are in feet and decimals thereof.</div><div>7. Any FEMA food zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at <a href="http://www.fema.gov">www.fema.gov</a> and may not reflect the most recent information.</div><div>8. Unless otherwise noted “SET” indicates a set iron rebar, 5/8 inch in diameter and eighteen inches long.</div><div>9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.</div><div>10. Points of Interest (POI’s) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI’s may not represent all items of interest to the viewer. There may be additional POI’s which are not shown or called-out as POI’s, or which are otherwise unknown to the surveyor.</div><div>11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.</div><div>12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.</div><div>13. Due to varying construction standards, house dimensions are approximate and are not intended to be used for new construction or planning.</div><div>14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.</div><div>15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.</div></div></div> | <div>SURVEYORS LEGEND:</div> <div><div><div><div><div></div><div>LINETYPES</div></div><div><div>Boundary Line</div><div>Center Line</div><div>Chain Link or Wire Fence</div><div>Easement</div><div>Edge of Water</div><div>Iron Fence</div><div>Overhead Lines</div><div>Structure</div><div>Survey Tie Line</div><div>Vinyl Fence</div><div>Wall or Party Wall</div><div>Wood Fence</div></div><div><div>SURFACE TYPES</div><div><div>Asphalt</div><div>Brick or Tile</div><div>Concrete</div><div>Covered Area</div><div>Water</div><div>Wood</div></div></div><div><div>SYMBOLS</div><div><div>Benchmark</div><div>Center Line</div><div>Central Angle or Delta</div><div>Common Ownership</div><div>Control Point</div><div>Catch Basin</div><div>Elevation</div><div>Fire Hydrant</div><div>Find or Set Monument</div><div>Guywire or Anchor</div><div>Manhole</div><div>Tree</div><div>Utility or Light Pole</div><div>Well</div></div></div></div><div><div><div>ABBREVIATIONS</div><div>(C) - Calculated</div><div>(D) - Deed</div><div>(F) - Field</div><div>(M) - Measured</div><div>(P) - Plat</div><div>(S) - Survey</div><div>A/C - Air Conditioning</div><div>AE - Access Easement</div><div>ANE - Anchor Easement</div><div>ASBL - Accessory Setback Line</div><div>B/W - Bay/Box Window</div><div>BC - Block Corner</div><div>BFP - Backflow Preventer</div><div>BLDG - Building</div><div>BLK - Block</div><div>BM - Benchmark</div><div>BR - Bearing Reference</div><div>BRL - Building Restriction Line</div><div>BSMT - Basement</div><div>C - Curve</div><div>C/L - Center Line</div><div>C/P - Covered Porch</div><div>C/S - Concrete Slab</div><div>CATV - Cable TV Riser</div><div>CB - Concrete Block</div><div>CH - Chord Bearing</div><div>CHIM - Chimney</div><div>CLF - Chain Link Fence</div><div>CME - Canal Maintenance Easement</div><div>CO - Clean Out</div><div>CONC - Concrete</div><div>COR - Corner</div><div>CS/W - Concrete Sidewalk</div><div>CUE - Control Utility Easement</div><div>CVG - Concrete Valley Gutter</div><div>D/W - Driveway</div><div>DE - Drainage Easement</div><div>DF - Drain Field</div><div>DH - Drill Hole</div><div>DUE - Drainage &amp; Utility Easement</div><div>ELEV - Elevation</div><div>EM - Electric Meter</div><div>ENCL - Enclosure</div><div>ENT - Entrance</div><div>EOP - Edge of Pavement</div><div>EOW - Edge of Water</div><div>ESMT - Easement</div><div>EUB - Electric Utility Box</div><div>F/DH - Found Drill Hole</div><div>FCM - Found Concrete Monument</div><div>FF - Finished Floor</div><div>FIP - Found Iron Pipe</div></div></div><div><div><div>FIPC - Found Iron Pipe &amp; Cap</div><div>FIR - Found Iron Rod</div><div>FIRC - Found Iron Rod &amp; Cap</div><div>FN - Found Nail</div><div>FN&amp;D - Found Nail &amp; Disc</div><div>FRRSPK - Found Rail Road Spike</div><div>GAR - Garage</div><div>GM - Gas Meter</div><div>ID - Identification</div><div>IE/EE - Ingress/Egress Easement</div><div>ILL - Illegible</div><div>INST - Instrument</div><div>INT - Intersection</div><div>IRRE - Irrigation Easement</div><div>L - Length</div><div>LAE - Limited Access Easement</div><div>LB# - License No. (Business)</div><div>LBE - Limited Buffer Easement</div><div>LE - Landscape Easement</div><div>LME - Lake/Landscape Maintenance Easement</div><div>LS# - License No. (Surveyor)</div><div>MB - Map Book</div><div>ME - Maintenance Easement</div><div>MES - Mitered End Section</div><div>MF - Metal Fence</div><div>MH - Manhole</div><div>NR - Non-Radial</div><div>NTS - Not to Scale</div><div>NAVD88 - North American Vertical Datum 1988</div><div>NGVD29 - National Geodetic Vertical Datum 1929</div><div>OG - On Ground</div><div>ORB - Official Records Book</div><div>ORV - Official Record Volume</div><div>O/A - Overall</div><div>O/S - Offset</div><div>OFF - Outside Subject Property</div><div>OH - Overhang</div><div>OHL - Overhead Utility Lines</div><div>ON - Inside Subject Property</div><div>P/E - Pool Equipment</div><div>PB - Plat Book</div><div>PC - Point of Curvature</div><div>PCC - Point of Compound Curvature</div><div>PCP - Permanent Control Point</div><div>PI - Point of Intersection</div><div>PLS - Professional Land Surveyor</div><div>PLT - Planter</div><div>POB - Point of Beginning</div><div>POC - Point of Commencement</div><div>PRC - Point of Reverse Curvature</div><div>PRM - Permanent Reference Monument</div></div></div><div><div><div>PSM - Professional Surveyor &amp; Mapper</div><div>PT - Point of Tangency</div><div>PUE - Public Utility Easement</div><div>R - Radius or Radial</div><div>R/W - Right of Way</div><div>RES - Residential</div><div>RGE - Range</div><div>ROE - Roof Overhang Easement</div><div>RP - Radius Point</div><div>S/W - Sidewalk</div><div>SBL - Setback Line</div><div>SCL - Survey Closure Line</div><div>SCR - Screen</div><div>SEC - Section</div><div>SEP - Septic Tank</div><div>SEW - Sewer</div><div>SIRC - Set Iron Rod &amp; Cap</div><div>SMWE - Storm Water Management Easement</div><div>SN&amp;D - Set Nail and Disc</div><div>SQFT - Square Feet</div><div>STL - Survey Tie Line</div><div>STY - Story</div><div>SV - Sewer Valve</div><div>SWE - Sidewalk Easement</div><div>TBM - Temporary Bench Mark</div><div>TEL - Telephone Facilities</div><div>TOB - Top of Bank</div><div>TUE - Technological Utility Easement</div><div>TWP - Township</div><div>TX - Transformer</div><div>TYP - Typical</div><div>UE - Utility Easement</div><div>UG - Underground</div><div>UP - Utility Pole</div><div>UR - Utility Riser</div><div>VF - Vinyl Fence</div><div>W/C - Witness Corner</div><div>W/F - Water Filter</div><div>WF - Wood Fence</div><div>WM - Water Meter/Valve Box</div><div>WV - Water valve</div></div></div></div></div> |
| <div>SURVEY NUMBER: 2102.0796</div>                                                                                                                                                                                                                         |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>CERTIFIED TO:<br/>DENNIS MICHAEL WILSON, JR.</div>                                                                                                                                                                                                     |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>DATE OF SURVEY: 02/05/21</div>                                                                                                                                                                                                                         |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>BUYER: DENNIS MICHAEL WILSON, JR.</div>                                                                                                                                                                                                                |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>LENDER:</div>                                                                                                                                                                                                                                          |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>TITLE COMPANY:</div>                                                                                                                                                                                                                                   |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>TITLE COMMITMENT:</div>                                                                                                                                                                                                                                | <div>CLIENT FILE NO:</div> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>LEGAL DESCRIPTION:<br/>LOT 13 AND LOT 14 (EXCEPT THE NORTH 20 FEET OF LOT 14) IN ALLE'S SUNSET SUBDIVISION OF THE NORTH EAST QUARTER OF THE SOUTH WEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN,</div> |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>FLOOD ZONE INFORMATION:</div>                                                                                                                                                                                                                          |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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| <div>JOB SPECIFIC SURVEYOR NOTES:</div>                                                                                                                                                                                                                     |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             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EXACTA

Land Surveyors, LLC

Exacta Land Surveyors, LLC  
LB# 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY

PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

OUTLINE SPECIFICATIONS

GENERAL CONDITIONS

All work that is to be done shall be in compliance with all WINNETKA Municipal and Building Codes and Ordinances as listed below with Village of WINNETKA Amendments:

- 2015 International Building Codes
- 2015 International Residential Codes for One- & Two-Family Dwellings
- 2015 International Energy Conservation Codes with the Illinois Amendments
- 2014 National Electric Code
- 2014 State of Illinois Plumbing Code
- 2015 International Mechanical Codes & International Fire Codes
- 2015 NFPA Life Safety Codes and the Village of Winnetka Building Codes dated April 26, 2011 and Amendments to the International Codes dated August 1, 2015.

LIABILITY INSURANCE

- All Subcontractors to have liability insurance and provide a certificate of insurance at signing of contract.
- The General Contractor and each Subcontractor shall provide and maintain such insurance as will protect the Owner, himself, his Subcontractors and the Architect, Workmen's Compensation Acts, Coverages A & B and also against loss by reason of injuries or death suffered by employees or by members of the public from himself or any of his Subcontractors.
- Liability insurance shall be in comprehensive form excluding complete operation but covering operations of vehicles and with property damage coverage. Protect the Owner and Architect in like amounts.
- Insurance shall be written in the following amounts/minimum:

|                                                                                                        |         |
|--------------------------------------------------------------------------------------------------------|---------|
| A. Workmen's Compensation and Occupational Diseases Insurance Coverage "A" Statutory and Coverage "B"  | 500,000 |
| B. Contractors Comprehensive General Liability Insurance Includes Automobile Liability Property Damage | 500,000 |
| C. Owner's and Architect's Protective Liability                                                        | 500,000 |
| D. Scaffolding Act Insurance                                                                           | 500,000 |

GENERAL CONDITIONS

- Other provisions of the Contract applicable of this work are included in the General Conditions.
- All Sub-contractors shall guarantee all labor and materials for a period of one (1) year from date of completion.
- No information is to be scaled from drawings. Verify all dimensions in the field. In the event of any discrepancy contact the Architect before proceeding with work.
- Any changes or substitutions to be submitted in writing and approved by the owner.
- The Architect shall not have any control over or charge of and shall not be responsible for the construction means, methods, techniques, sequence and/or procedures of, or for the safety precautions and all programs in connection with the work. The Architect shall not be responsible for the Contractors schedules or failures to carry out the work in accordance with the Contract Documents. The Architect shall have no control over or charge of acts omissions of the Contractors, Subcontractors, or their agents or employees, or of any other persons performing the work. Any changes from the plans and specifications without the written approval of the Architect shall void the Architect's seal, signature and any responsibility.
- General Contractor and all Subcontractors shall protect all parts of their work from weather due to frost, rain, heat, wind, etc. and will repair any portion of the work or any damage to the satisfaction of the owner with no cost to the owner.
- All bidding sub-contractors shall visit the site and make themselves thoroughly familiar with existing conditions and the scope of work as defined in the drawings. He shall full knowledge to transportation, disposal, handling and storage of materials as it relates to the project and site.
- The sub-contractors shall familiarize themselves with the availability of existing sewer and water lines, electric/power, gas lines and other facilities in the area which will have bearing on the performance of his work. Failure to do so will not relieve the contractor from additional costs regarding the above items.
- All work, materials, job conditions and safety measures shall conform with requirements of the Occupational Safety and Health Administration (OSHA) and local authorities.

NOTICES, FEES & BONDS

- Contractor shall take out and pay for all permits, inspection certificates, bonds and/or sureties required. Contractor shall provide and maintain all such measures required by law or ordinance or by considerations of general safety as may be necessary to protect persons or property from harm of damage in the course of demolition operations.

EARTHWORK

SCOPE

- Perform all earthwork as shown on Drawings and as specified herein. The work includes, but is not necessarily limited to the following:
- Grading, excavation, backfill and compaction.
- Protection and inspection
- Rough grading required in order to provide gentle transition in contour of new grading work and existing contours.

EXCAVATION

- If suitable, bearing soil for footings and foundations is not found at the levels shown on the Drawings, the Contractor shall inform the Architect who will decide what corrective measures shall be taken. Additional excavation based upon work required between indicated grades and lower grades will be additionally paid for at mutually agreed unit price.

BACKFILLING AND UNDER FLOOR FILL

- Excavated material approved suitable for compaction shall be used for fill and backfills and it shall be free of refuse: trash wood scraps, frozen materials or other debris. Remove boulders over 6" size.

COMPACTION

- All fill and backfill shall be of approved materials placed in successive 8" horizontal layers of lifts and compacted to 95% density obtained at optimum moisture content in strict accordance with ASTM D-1557-S87.

FOUNDATION NOTES

- All footings shall be placed on soil having a minimum bearing capacity of 3,000 p.s.f.
- All footing subgrades shall be inspected by an approved Soils Testing Laboratory immediately prior to placing the footing concrete.
- All footing Subgrades, slab-on-ground subgrades and general fill material shall be compacted to a minimum of 95% modified proctor density.
- No concrete shall be placed into a footing excavation containing free water.
- No concrete shall be placed into or against a frozen subgrade of a subgrade containing frost. (The Contractor shall provide all necessary protective materials to protect frost from entering subgrades.)
- The Contractor shall shore and brace adjacent construction by approved method and submit procedures for approval.
- See mechanical and Plumbing Drawings for location and construction of required penetrations and sleeves. Provide watertight construction.

CONCRETE

- Perform all cast in place concrete work as shown on the Drawings and as specified herein.
- Conc. topping shall be light weight w/comp. strength of 3500 p.s.i. 1st floor concrete shall be light weight & have a comp. strength of 3500 p.s.i. at 28 day testing. Grade beams & chaises shall be regular weight & have 4,000 p.s.i. strength.
- All reinforcing steel shall be new billet steel intermediate grade ASTM-A-615-60.
- Welded wire fabric for concrete reinforcing steel shall conform to ASTM-A185.
- General Contractor shall check with the Architectural, Mechanical & Electrical Drawings for openings, sleeves, anchors, hangers, slab depressions and other items related to concrete work and shall assume full responsibility from the proper locations before pouring concrete.
- All concrete details shall conform to the latest ACI Standard 315 Manual for "Standard Practice for Detailing Reinforcing Concrete Structures".
- Concrete protection from reinforcing bars shall be as follows:

|                                                              |
|--------------------------------------------------------------|
| Footings-3" clear bottom and sides                           |
| Walls-2" clear 1 1/2" or 3/4" clear, see typical wall detail |
- All concrete shall be vibrated. Concrete cast against soil or exposed to weather shall have 6% air entrainment.
- Provide for slabs-on-grade one (1) layer of vapor barrier placed on approved subgrade "Moist Stop" or equal, place in accordance with manufacturer's instructions.
- Pump pit to be installed with top edge 2" above finished floor, ejector pit to be flush or below finish flr.

STRUCTURAL STEEL

- All structural steel shall conform to ASTM A-36.
- All detailing fabrication and erection of steel shall conform to AISC Specifications.
- All bolts shall be high strength A-325 size 3/4" diam, unless otherwise indicated.
- The Contractor is responsible for correct fittings, setting and leveling of all members.
- Structural Steel members shall receive one (1) shop coat of zinc chromate primer. All members shall be touched up after erection. All steel shall receive two (2) coats of finish paint.

MASONRY

- Perform all unit masonry work as shown on the drawings and as specified herein. The work includes but is not necessarily limited to the following:
- Brick - 4500/m allowance.
- Reinforcing of masonry
- Flashings built into masonry.
- Building in lintels and items furnished by other trades.
- Painting and cleaning all masonry.

CARPENTRY

- Fire stop all openings through floors and soffits.
- All Micro-Lams: Fb=2800 psi, E=2x10<sup>6</sup> psi, to be glued bolted together as per manufacturers requirements.
- Joists shall be Hemlock/Fir No. 2 KD, or equal. Headers shall be Douglas Fir/Larch No. 2 KD or equal (HF #2 Fb=850, E=1,300, DF #2 Fb=815, E=1,500). Headers over windows/openings in bearing partitions to 2-2 x12's, unless otherwise noted. Joists to be doubled under parallel partitions and ties.
- All framing corners to be triple studs. Provide horizontal blocking in wall lengths over 10'-0".
- Perform all Finish Carpentry as shown on the Drawings and as specified herein. The work includes but is not necessarily limited to the following:
- Hanging doors, and window installation

- Install builders hardware on all wood doors
- All blocking and furring required for all trades and rough frames for recessed accessories.
- Installation of wood joists & partitions
- Any carpentry required as incidental part of the construction of this project shall be the responsibility of the General Contractor.
- Plastic laminate counter tops shall be as manufactured by Formica, Parkwood color by Owner.
- Rough framing.
- Finish framing and trim. Oak flooring.
- Provide 10,000 material allowance for kitchen and bathroom cabinets and countertops.
- Floor joists to be doubled under all parallel partitions and whirlpool tubs.
- Provide water resistant drywall and ceramic tile around shower and tub area.
- Stair treads shall have a min. clear depth of 10" and a max. rise of 7 3/4". Stair balusters to be spaced at 4" apart max, stair rail height 2'-10" at edge of nosing, guard rail 3'-0" AFF, graspable portion of handrail not to exceed 2-5/8" cross sectional dimension.

WOOD DOORS AND WINDOWS

- All tub or shower enclosures and windows adjacent to whirlpools, decks and windows less than 18" AFF are to be tempered glass.
- Furnish all windows and doors as show on the Drawings and as specified herein. The work includes but is not necessarily limited to the following:

|                                                     |
|-----------------------------------------------------|
| a) All wood doors.                                  |
| b) Windows and glass to be as indicated on drawings |

Gypsum Board

- Drywall construction shall be as detailed on the drawings, and in accordance with manufacturer's recommendations. Partition construction shall be sheet rock. Freecore gypsum board 5/8" thick on 2 x 4 wood (or as indicated) spaced 16" on center. All exposed edges and outside corners shall be taped, filled and sanded smooth.

PAINTING

- The painting contractor shall be responsible for inspecting the work of others prior to the application of any paint. If any surface cannot be put in proper condition for finishing by customary cleaning, sanding, and putting operations, the Painting Contractor shall immediately notify the General Contractor.
- Herein specified are selected from Pratt and Lambert's catalog to establish type, compositions, quality and color. Materials by Glidden, FPG, Martin-Senour, Benjamin Moore, Sherwin-Williams or other manufacturer approved Architect will be acceptable.
- Drywall Partitions: One (1) coat primer, two (2) coats P & L Vapex Flat wall finish.
- Wood doors and Frames.

PLUMBING

- The Contractor will be required to furnish all labor, materials, equipment, etc., necessary to make a complete plumbing system including hot and cold water piping, soil waste and vent piping drains, and sanitary system, plumbing fixtures, all as shown on the accompanying drawings.
- All plumbing fixtures - Kohler w/Moen faucets or approved equal.
- All work must conform to the rules, regulations, codes and ordinances of local codes.

HEATING, VENTILATING & AIR CONDITIONING

- The Contractor will be required to furnish all labor, materials, equipment, etc., necessary to make a complete heating and cooling system for the addition.
- All work must conform to the rules, regulations, codes, and ordinances of local codes.
- Contractor will guarantee 72 degrees indoor temperature at 35 degrees outdoor temperature and 72 degrees indoor at 0 degrees outdoor.
- All bathroom exhaust fans (to be UL Approved) and dryer vents to be vented to the outside and connected to an appliance on roof or wall (min. one foot away from plumbing vents). Bathrooms to be 40 c.f.m. (min), laundry rooms to be 75 c.f.m. (min).

ELECTRICAL

- In general, all work performed under this Contract shall meet or exceed the latest requirements of the codes of all National, State, County, Municipal and other authorities exercising jurisdiction over construction work at the project.
- Electrical Contractor shall visit site to acquaint himself with existing conditions and shall include in proposal any electrical items which are not indicated on Electrical, Architectural, Mechanical and Structural Drawings, but are implied and can be reasonable assumed by a visit to the premises.
- Provide all labor, equipment and material, etc., necessary to make a complete electrical installation as shown on drawings, with exception that owner will provide all light fixtures.
- Provide 15,000 lighting fixtures allowance.
- Smoke detectors to be hard wired inline, 120 volts with battery backup.
- All receptacles in dining room, breakfast area, kitchen and laundry room to be on separate 20 amp circuit. All exterior G.F.C.I. outlets to be weatherproof. All closet light fixtures to be recessed with lenses or fluorescent. Provide P.C. light at all access openings.
- Laundry room and kitchen to be on separate 20 amp circuits.

LIST OF DRAWINGS:

- A-1 SITE PLAN, SPECIFICATION
- A-2 BASEMENT, 1ST FLOOR PLAN & DEMO PLANS
- A-3 2ND, 3RD & ROOF PLAN
- A-4 ELEVATIONS
- A-5 NOTES & DETAILS
- A-6 ELECTRICAL PLANS
- A-7 MECHANICAL PLANS

ZONING DISTRICT: R-4

|                      |                |
|----------------------|----------------|
| SITE AREA:           | 17,495 SQFT    |
| ALLOW FAR:           | 5,432.99 SQFT  |
| 1ST FLOOR EXISTING:  | 16,266.45 SQFT |
| 2ND FLOOR EXISTING:  | 1,433.31 SQFT  |
| 2ND FLOOR ADDITION:  | 11,143 SQFT    |
| TOTAL LIVING AREA:   | 32,102.35 SQFT |
| TOTAL ALLOWANCES:    | 0 SQFT         |
| TOTAL BUILDING AREA: | 32,102.35 SQFT |

BUILDING LOT COVERAGE:

EXISTING

PERMISSIBLE LOT COVERAGE:

EXISTING

NOTICE TO CONTRACTOR:

- THE ARCHITECT OF RECORD IS PROVIDING PLANS ONLY. NO OTHER TYPE OF ARCHITECTURAL SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR KNOWLEDGEABLE IN THE BUILDING TRADES, WHO WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR THEM.
- ADMINISTRATION OF THE CONTRACT WILL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
- THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT - THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM. THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- DECISIONS OF THE ARCHITECT REGARDING THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT WILL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
- THE CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS TO DETERMINE THE SCOPE AND THE INTENT OF THESE DOCUMENTS AND DRAWINGS. THE CONTRACTOR MUST VISIT THE SITE AND BECOME INFORMED OF ALL EXISTING CONDITIONS, DIMENSIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY DISCREPANCIES OR OMISSIONS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATIONS BEFORE SUBMITTING HIS BID. FAILURE TO GIVE NOTICE OR OBTAIN CLARIFICATION WILL NOT BE CAUSE FOR ADDITIONAL COMPENSATION.
- THE CONTRACTOR MUST FURNISH SKILLED LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES, AND PERFORM ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN A SAFE AND WORKMANLIKE MANNER WITHIN THE OWNER'S SCHEDULE.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR CONCRETE.
- ALL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE BEST INDUSTRY STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS GENERATED BY THE WORK. CLEAN UP IS REQUIRED ON DAILY BASIS.

LIMITATION OF WARRANTY OF ARCHITECT'S WORK

- PRODUCT:
- THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT HEREIN BEYOND REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT OF ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT KNOWLEDGE AND CONSENT OF THE ARCHITECT, OR IN CONTRADICTION TO THE ARCHITECT'S WORK OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR SAID ACTIONS.

PROPOSED INTERIOR ALTERATIONS  
320 LOCUST RD.  
WINNETKA  
ILLINOIS

NOTE:

A COPY OF APPROVED PLANS SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT THE TIME OF INSPECTION

NOTE:

PROFESSIONAL DESIGN FIRM  
REGISTRATION NO: 184-005125

NOTE:

UPON COMPLETION OF THE FOUNDATION, PRIOR TO BACKFILLING A FULLY DEVELOPED SHOT SURVEY PREPARED BY AN ILLINOIS REGISTERED SURVEYOR MUST BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT. THE SURVEY MUST SHOW TOP OF FOUNDATION ELEVATIONS AT ALL FOUR CORNERS, AS WELL AS ELEVATIONS AT ANY STEEP PORTIONS OF THE FOUNDATION.

NOTE:

UPON COMPLETION OF ALL FRAMING, A FLOOR ELEVATION SURVEY, PREPARED BY AN ILLINOIS REGISTERED SURVEYOR MUST BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT. THE SURVEY MUST SHOW THE ELEVATION TO THE TOP OF ALL FLOORS, AS WELL AS THE OVERALL HEIGHT OF THE STRUCTURE AS MEASURED FROM THE TOP OF THE FIRST FLOOR TO THE HIGHEST POINT OF THE ROOF, EXCLUSIVE OF CHIMNEYS.

NOTE:

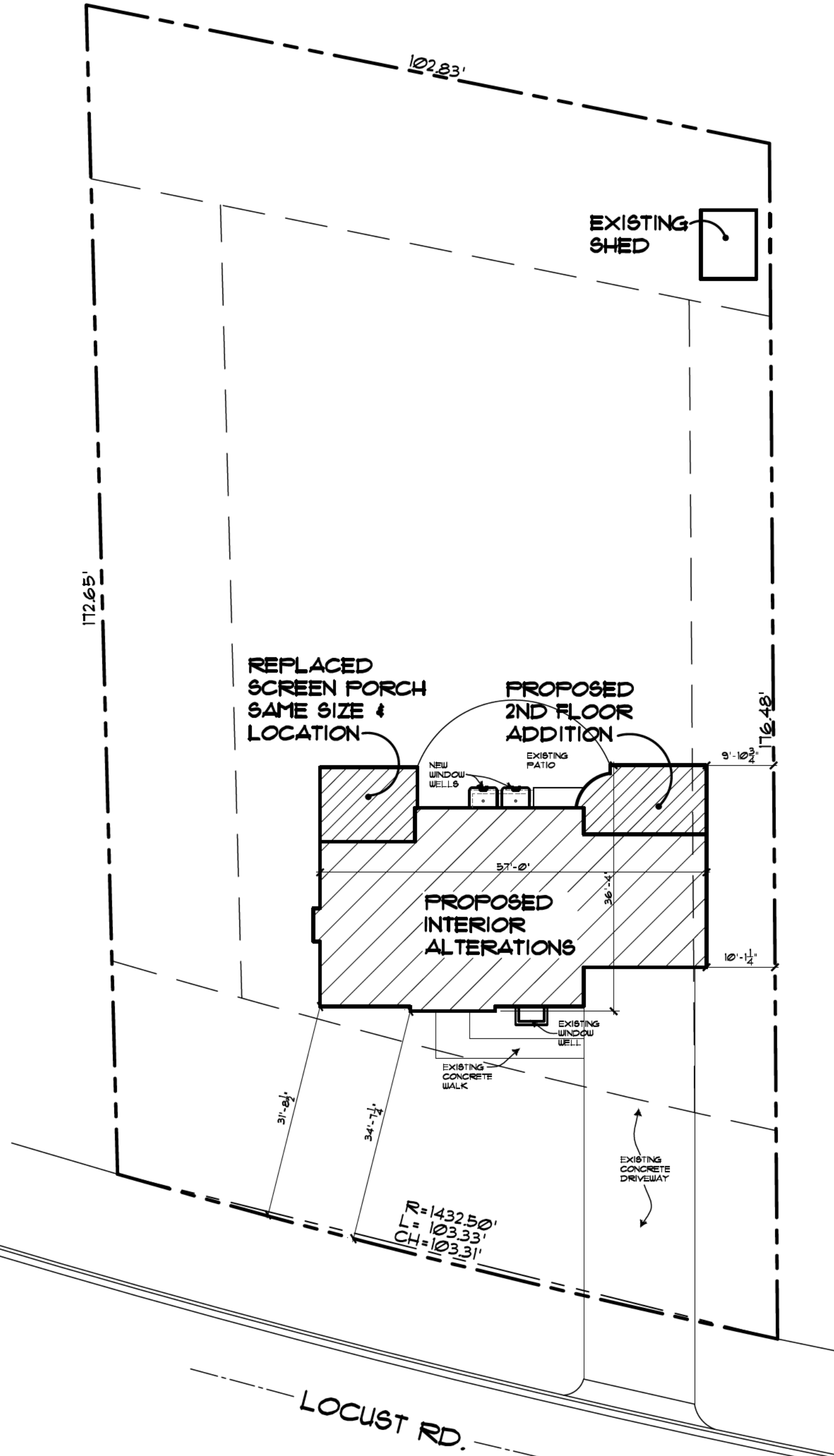
PROVIDE 6 FT. HIGH CONSTRUCTION FENCE AROUND THE PROPERTY AND PORTABLE TOILET PRIOR TO BEGINNING CONSTRUCTION.

NOTE:

A WASTE REDUCTION AND RECYCLING PLAN (ALSO KNOWN AS "STEP 1" FORM) MUST BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF THE DEMOLITION AND BUILDING PERMITS TO COMPLY 10% OF THE DEMOLITION AND CONSTRUCTION DEBRIS MUST BE RECYCLED.



EXISTING CONDITIONS



SITE PLAN

SCALE: 1"=15'-0"



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I hereby certify that these plans were prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Illinois.  
DANIEL S. DRAC  
00102851  
Professional Engineer  
Date: 05/17/2021

DATE:

05/17/2021

PROJECT:

-

SHEET NO.

A-1

PROPOSED INTERIOR ALTERATIONS  
320 LOCUST RD.  
WINNETKA  
ILLINOIS

PROFESSIONAL DESIGN FIRM - NO: 184-007363-0001  
9950 LAWRENCE AVE., STE 307, SCHILLER PARK, IL 60176

ARCHIMAXX, INC.

Phone: 847/877/4414  
Archimoxinc@gmail.com

# EGRESS NOTE:

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

# FIRE STOPPING NOTE:

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TWO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FRAMED SPACES, AT THE CEILING AND FLOOR LEVELS.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SLOTTED, DROP CEILING, COVE CEILING, ETC.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS.

# RESIDENTIAL NOTES:

1. ALL EXIT DOORS WILL BE OPERABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE.
2. MIN. CLEAR HEADROOM IN STAIRWAYS - 6'-8".
3. MIN. CLEAR HEADROOM IN HABITABLE ROOMS IS 8'-0", EXCEPT AT DUCT SLOTTED DOORWAYS.
4. ALL INTERIOR FINISHES TO HAVE CLASS 1 FLAME SPREAD RATINGS.
5. APPROVED SMOKE DETECTORS TO BE WITHIN 15'-0" OF EVERY BEDROOM, 4 TOP OF EVERY ENCLOSED STAIR, GARBAGE INCINERATOR DETECTOR IN EACH UNIT.
6. ALL EXIT DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
7. PROVIDE SAFETY GLAZING \* DOOR, SKYLIGHTS & SHOWER/TUB ENCLOSURE.
8. ALL CLOSET LIGHTING TO BE RECESSED INCANDESCENT.
9. ALL ELECT. OUTLETS WITHIN 5 FT. OF WATER SUPPLY TO BE G.F.I.C.
10. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

# GENERAL NOTES:

- \* DOUBLE JOISTS UNDER PARALLEL PARTITIONS & UNDER BATH TUB.
- \* TYPICAL HEADER 2"x12" UGN.
- \* ALL EXIT DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
- \* PROVIDE SAFETY GLAZING \* DOOR, SKYLIGHTS & SHOWER/TUB ENCLOSURE.
- \* ALL CLOSET LIGHTING TO BE RECESSED INCANDESCENT.
- \* ALL ELECT. OUTLETS WITHIN 5 FT. OF WATER SUPPLY TO BE G.F.I.C.
- \* FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

# NOTE:

NOTCHING AT THE ENDS OF THE RAFTER OR CEILING JOISTS SHALL NOT EXCEED ONE-FOURTH THE DEPTH. NOTCHES IN THE TOP OR BOTTOM OF THE JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN, EXCEPT THAT A NOTCH NOT EXCEEDING ONE-THIRD OF THE DEPTH IS PERMITTED IN THE TOP OF THE RAFTER OR CEILING JOIST NOT FURTHER FROM THE FACE OF THE SUPPORT THAN THE DEPTH OF THE MEMBER. THE TENSION SIDE OF LUMBER 4 INCHES WIDE OR GREATER SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. HOLES BORED IN RAFTERS OR CEILING JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF JOISTS, AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER.

# NOTE:

NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF JOISTS, AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

# WALL LEGEND:

- EXISTING - NO CHANGE
- EXISTING CONC. BLOCK WALL W/ NEW FACE BRICK
- REMOVED PARTITION
- NEW GYP. BD. PARTITION
- NEW VENEER WALL
- LOAD BEARING GYP. BD. PARTITION
- CONC. WALL

# NOTE:

ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLES IS NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. HOWEVER, A STUD MAY BE BORED TO A DIAMETER NOT EXCEEDING 60% OF ITS WIDTH PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN TWO SUCCESSIVE STUDS ARE BORED.

# TYP. HEADER SCHEDULE

| SIZE OF WOOD HEADER | SUPPORTING ROOF ONLY | SUPPORTING ONE STORY ABOVE | SUPPORTING TWO STORIES ABOVE | NOT SUPPORTING FLOORS OR ROOFS |
|---------------------|----------------------|----------------------------|------------------------------|--------------------------------|
| 2"x4"               | 4'                   | -                          | -                            | 6'                             |
| 2"x6"               | 4 TO 6'              | -                          | -                            | 6 TO 8'                        |
| 2"x8"               | 6 TO 8'              | 4 TO 6'                    | -                            | 8 TO 10'                       |
| 2"x10"              | 8 TO 10'             | 6 TO 8'                    | 4 TO 6'                      | 10 TO 12'                      |
| 2"x12"              | 10 TO 12'            | 8 TO 10'                   | 6 TO 8'                      | 12 TO 14'                      |

ALL OTHER SIZES SEE FLOOR PLANS

# STUD SCHEDULE

| STUD SIZE | SPACING | STUD HEIGHT | MAXIMUM STORIES SUPPORTED |
|-----------|---------|-------------|---------------------------|
| 2"x4"     | 16"     | 14'         | ONE STORY PLUS ROOF       |
| 2"x4"     | 24"     | 14'         | ROOF ONLY                 |
| 2"x6"     | 16"     | 20'         | TWO FLOORS PLUS ROOF      |
| 2"x6"     | 24"     | 20'         | ONE STORY PLUS ROOF       |

# MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

| USE                        | LIVE LOAD |
|----------------------------|-----------|
| BALCONIES                  | 60        |
| DECKS                      | 40        |
| FIRE ESCAPES               | 40        |
| GARAGES **                 | 50        |
| ATTICS *                   | 20        |
| DWELLING UNITS *           | 40        |
| SLEEPING ROOMS             | 30        |
| STAIRS *                   | 40        |
| GUARDRAILS AND HANDRAILS * | 200       |

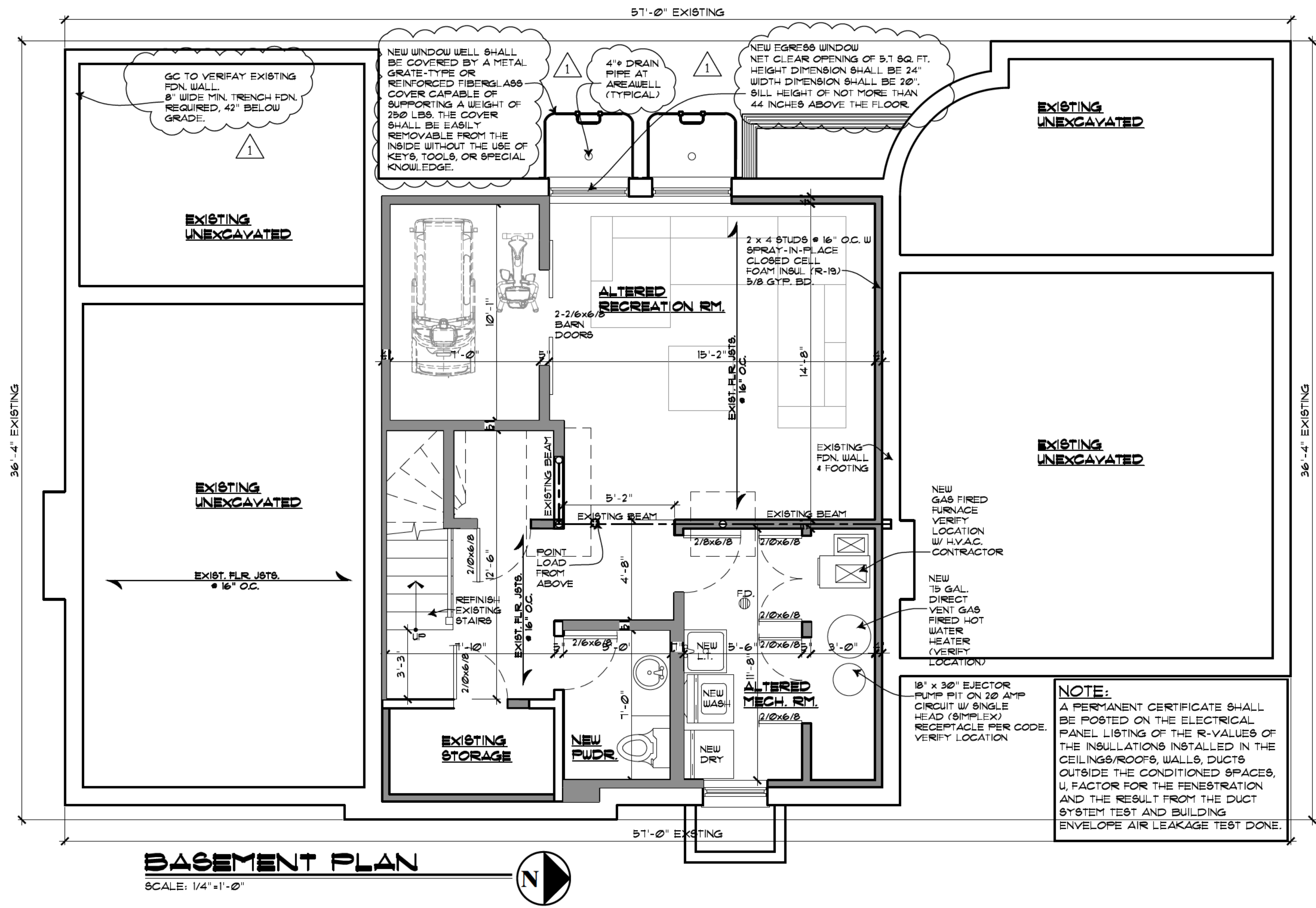
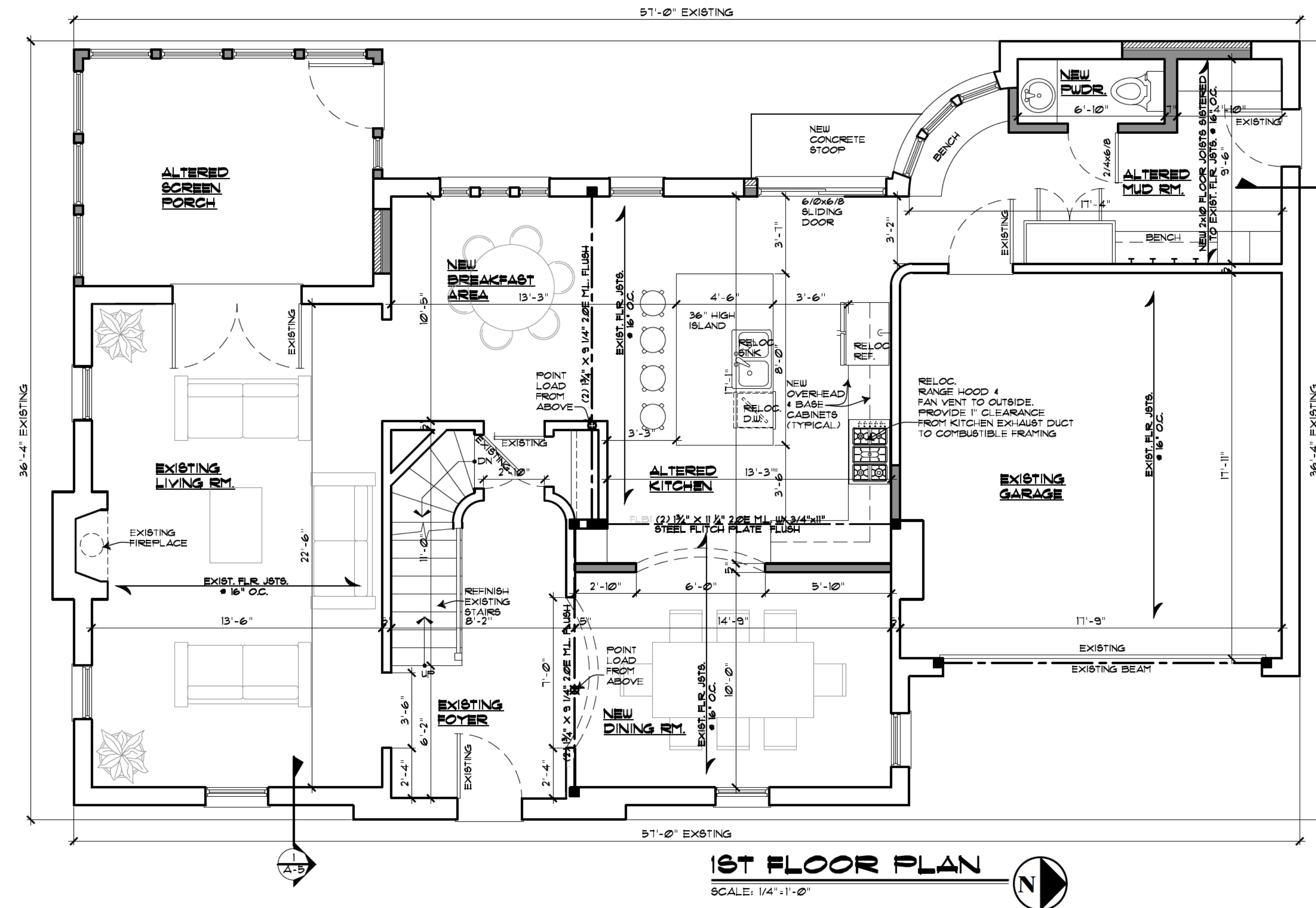
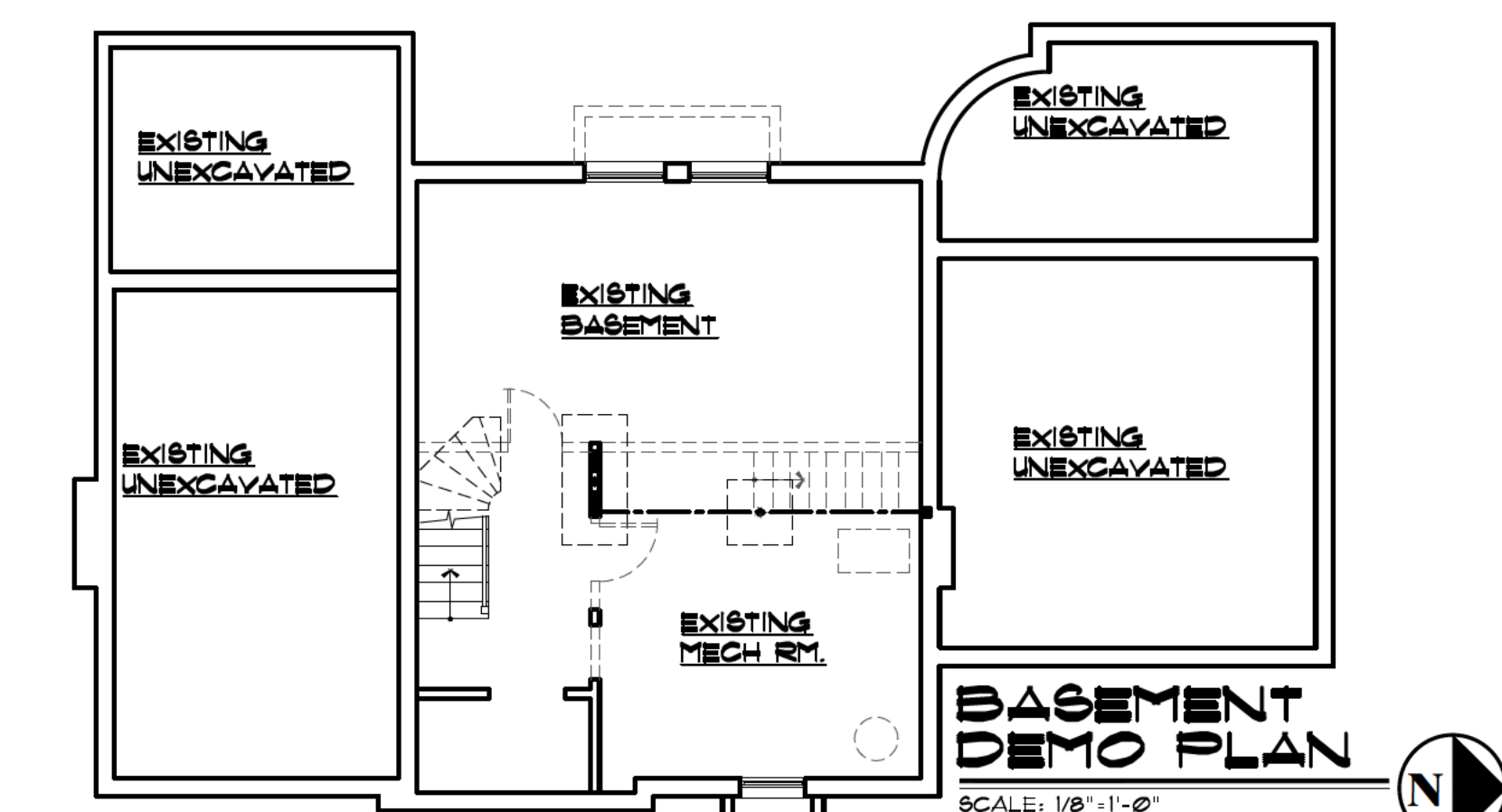
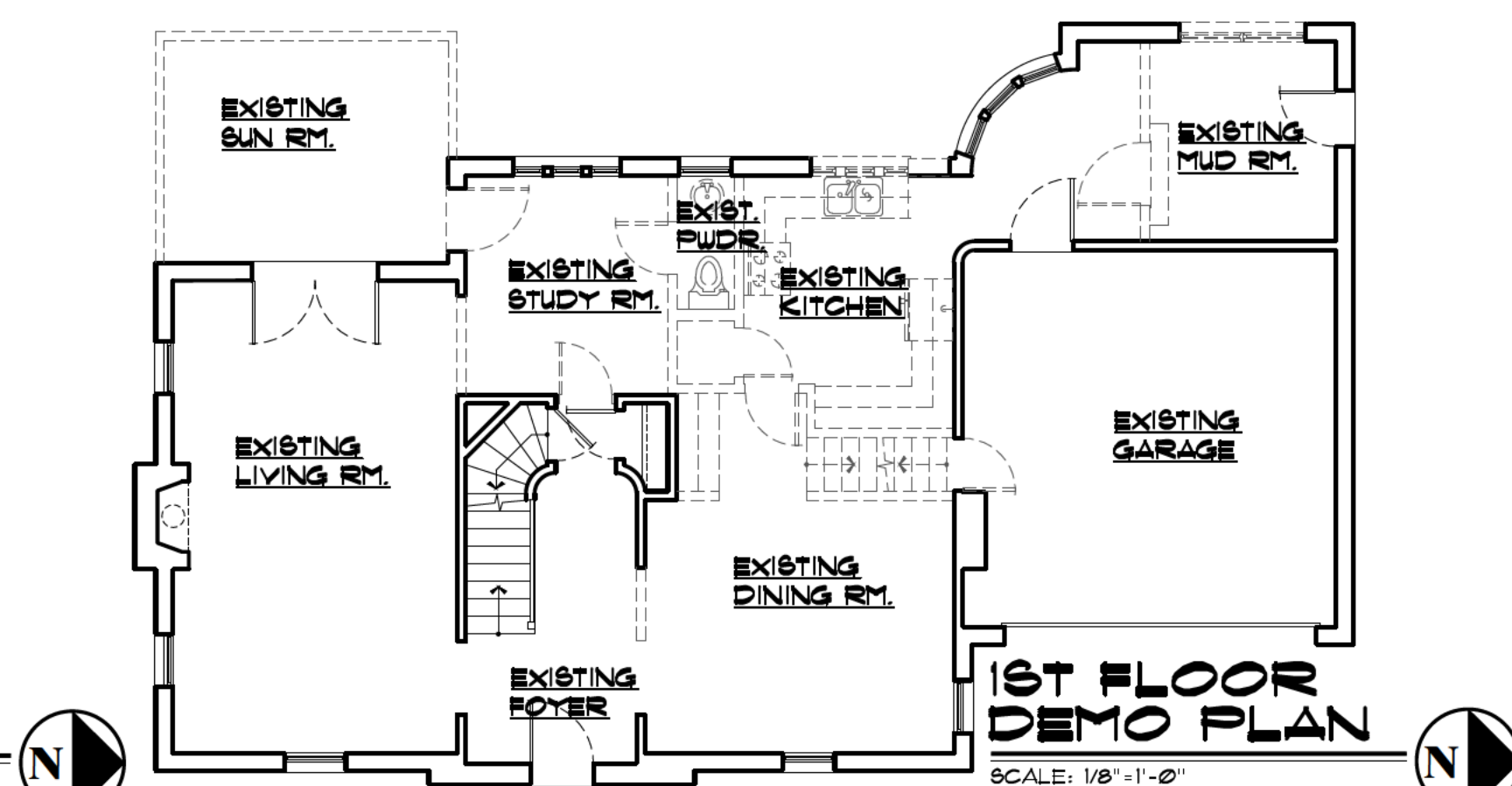
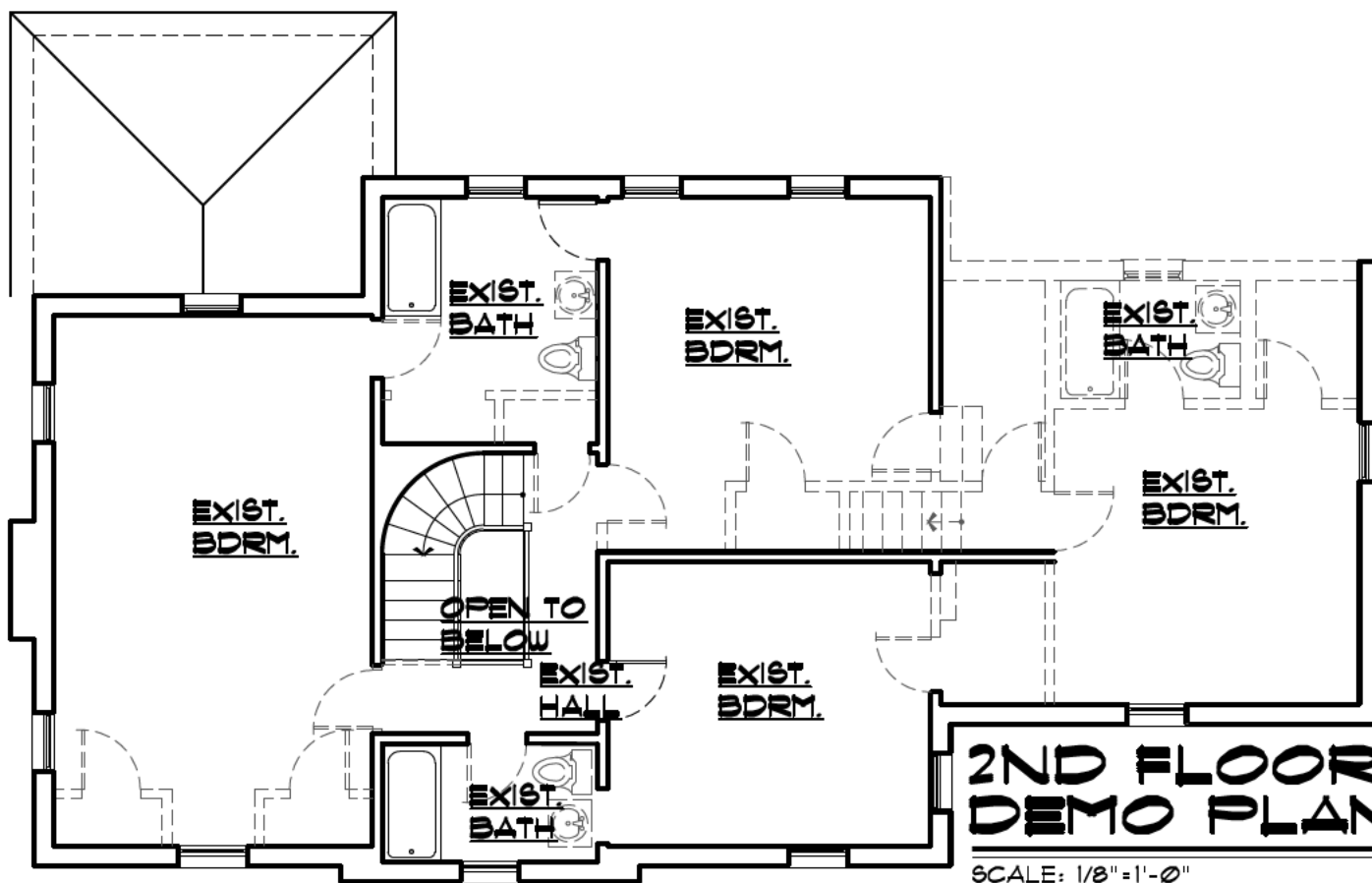
- FOR B1, 1 PBF + 0.0415 K/IN<sup>2</sup>, 1 SQUARE INCH = 645 PPF, 1 POUND = 4.45 N.
- 1 EXTERIOR.
  - 2 PASSENGER VEHICLES ONLY.
  - 3 ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2000 POUND LOAD APPLIED OVER A 20-SQUARE-INCH AREA.
  - 4 NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS.
  - 5 LIMITED ATTIC STORAGE.
  - 6 EXCEPT SLEEPING ROOMS.
  - 7 INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300-POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES. UNIFORMER PRODUCES THE GREATER STRESSES.
  - 8 A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

ARCHITECT SHALL NOT BE RESPONSIBLE FOR DAMAGE TO, OR CONDITIONS OF EXISTING BUILDING DUE TO THE EXECUTION OF THESE PLANS.

PLEASE NOTE: GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CONDITION OF THE EXISTING BUILDING ONCE CONSTRUCTION BEGINS.

SHORING NOTE: GENERAL CONTRACTOR TO PROVIDE ADEQUATE SHORING AS NEEDED TO PREVENT MOVEMENT OF EXISTING STRUCTURE AT ANY TIME DURING CONSTRUCTION PROCESS.

CARPENTRY CONTRACTOR TO DETERMINE WORTHINESS OF STRUCTURE AFTER ITS COMPLETE EXPOSURE. NOTIFY ARCHITECT IF NECESSARY.

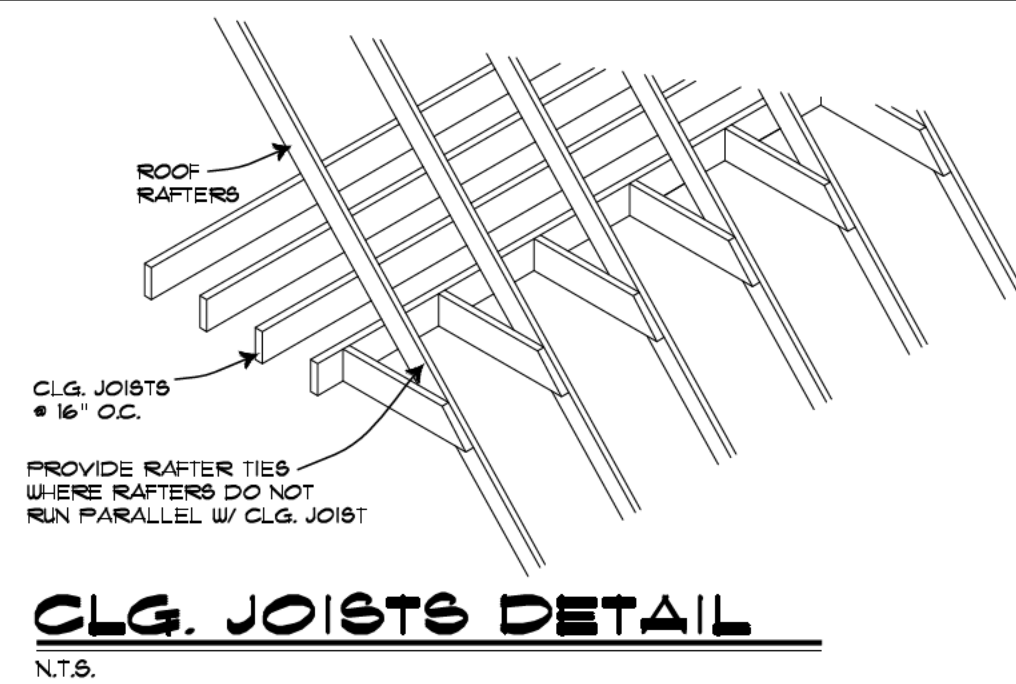


PROPOSED INTERIOR ALTERATIONS  
320 LOCUST RD.  
WINNETKA, ILLINOIS

DATE: 05/17/2021  
PROJECT: -  
SHEET NO. A-2

DATE: 05/17/2021  
PROJECT: -  
SHEET NO. A-2

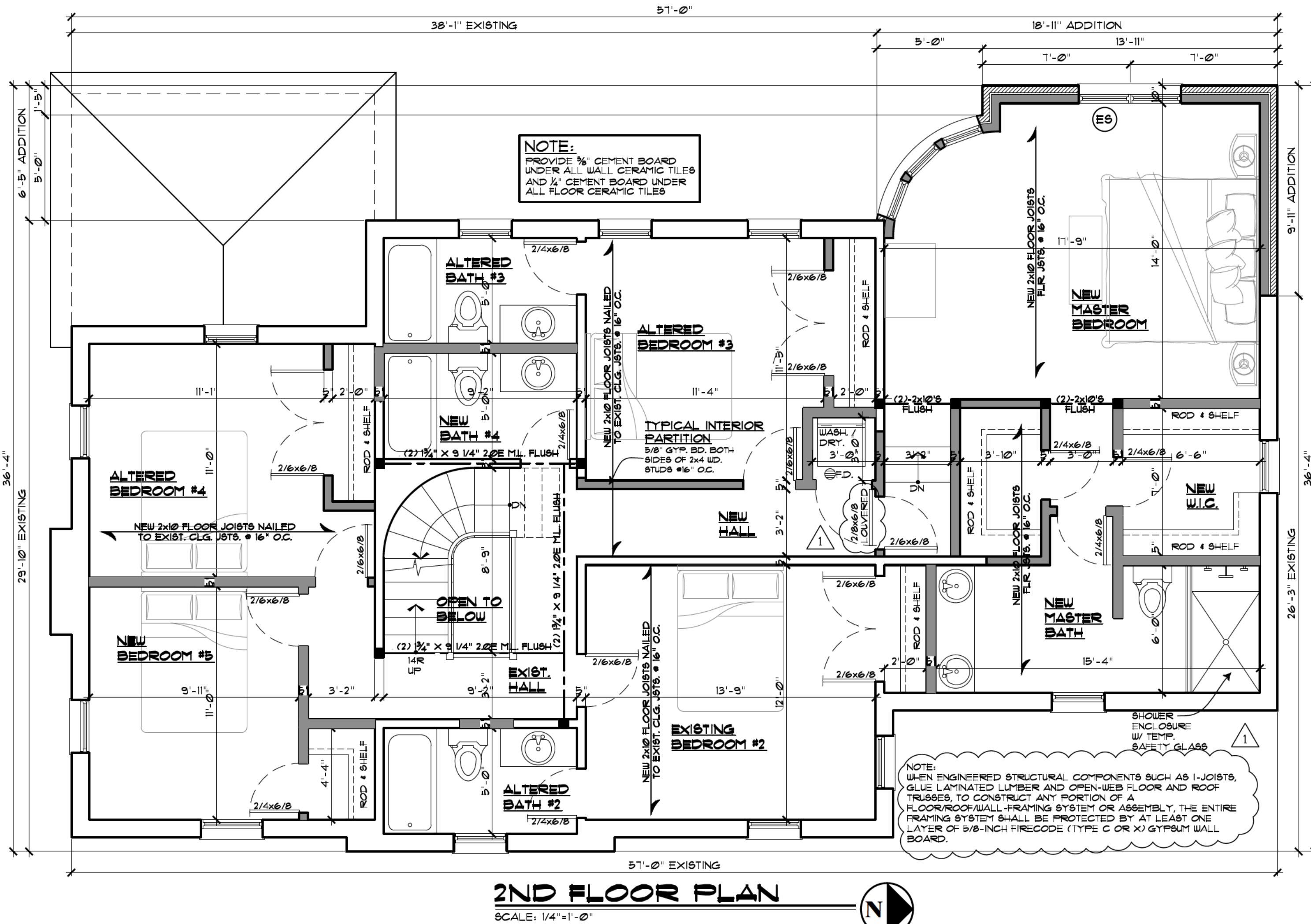
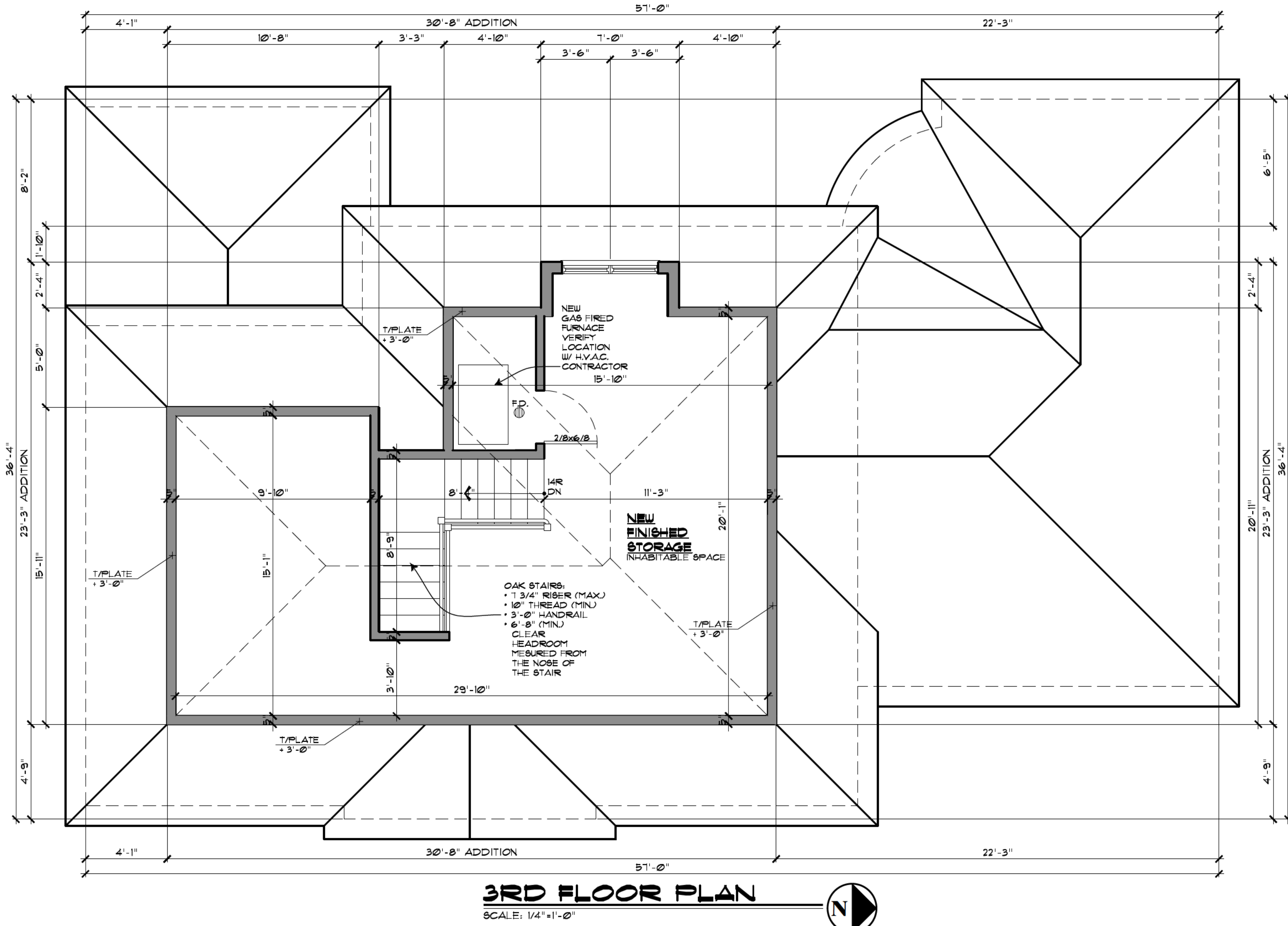
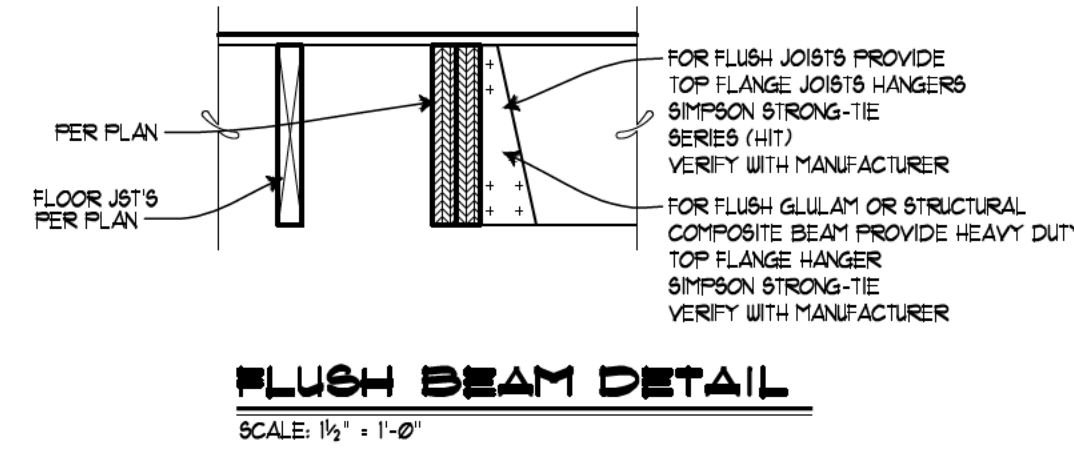
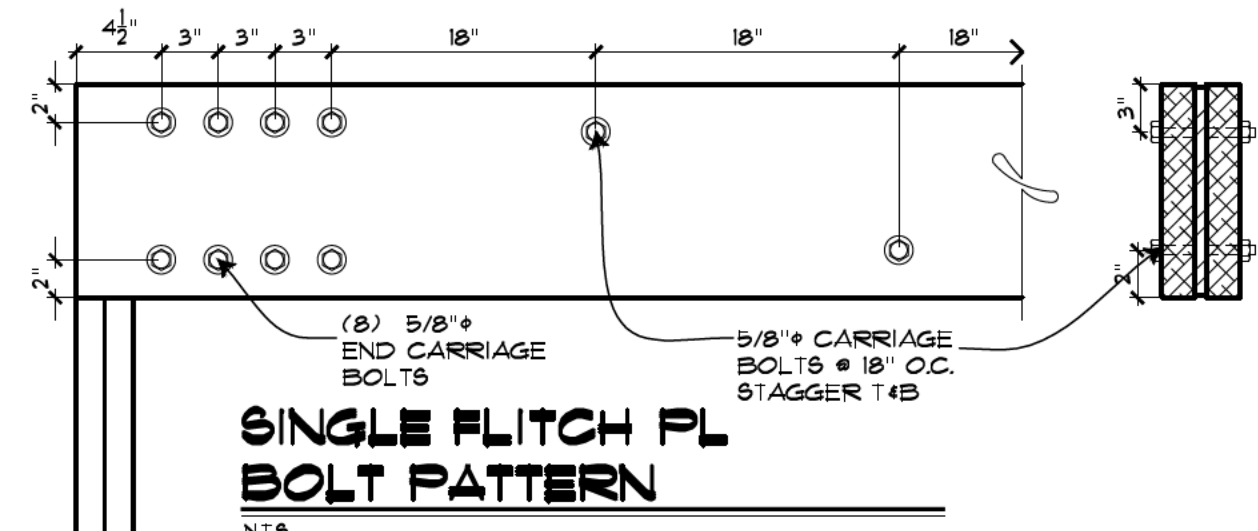
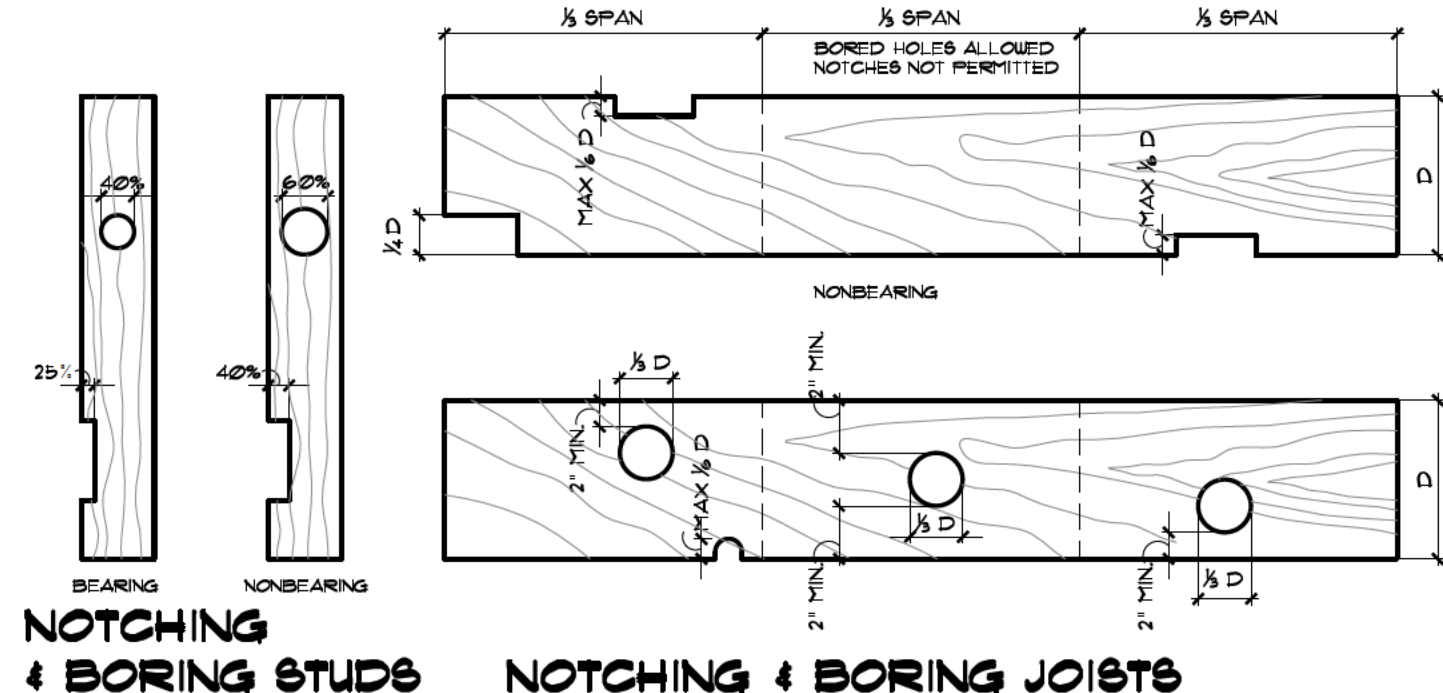
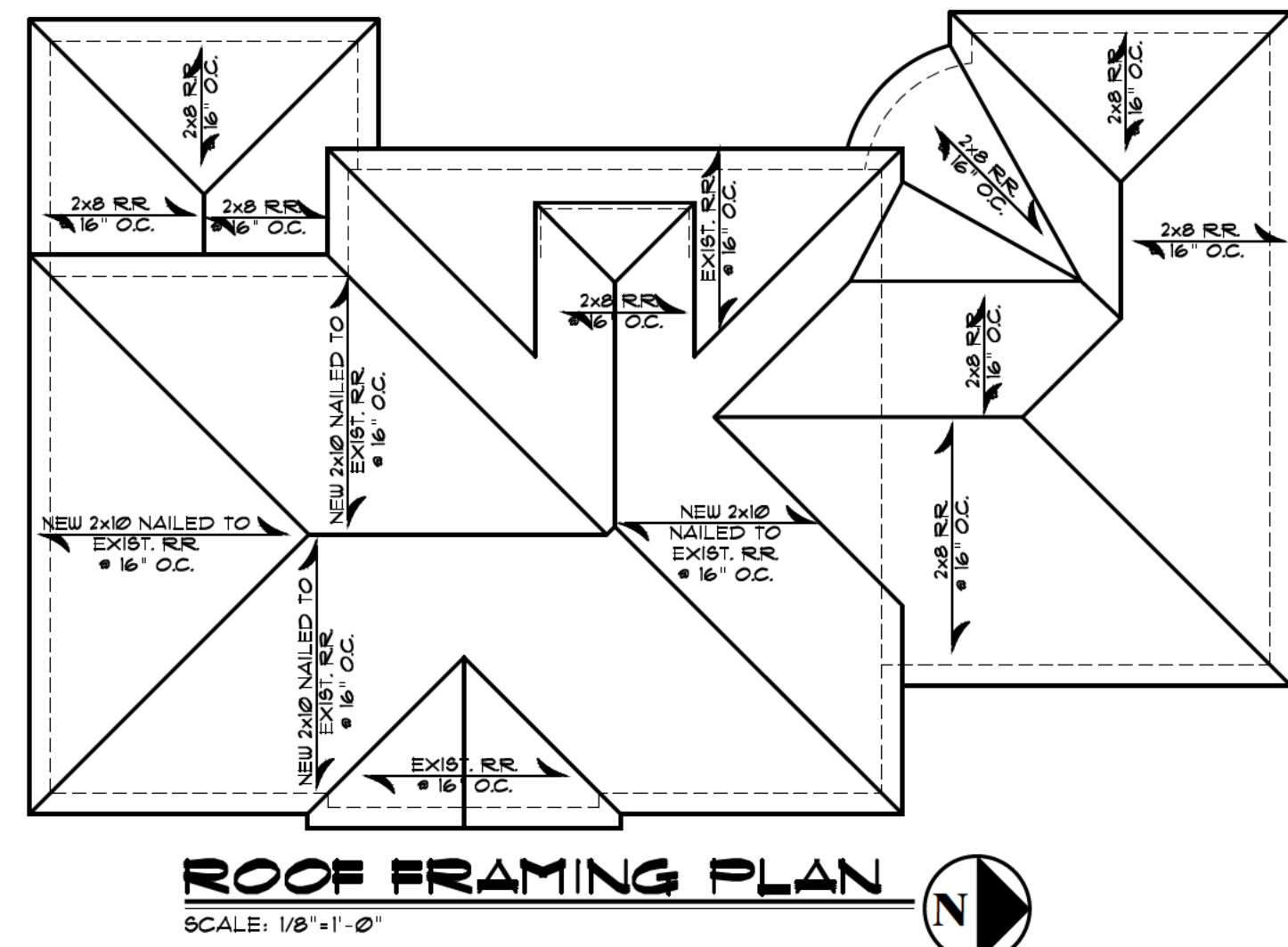
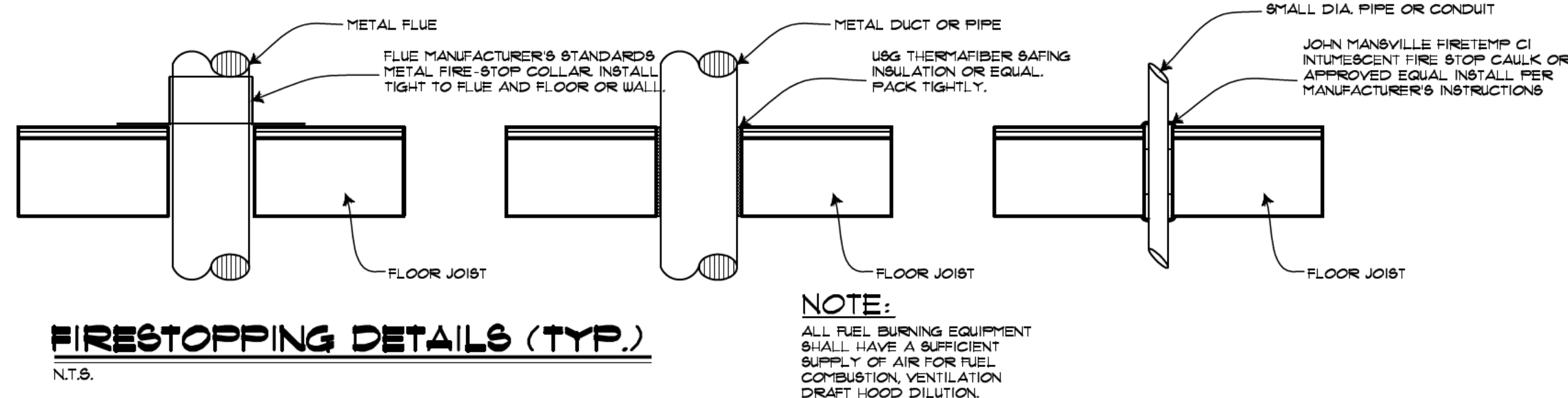
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PROJECT: -  
SHEET NO. A-2

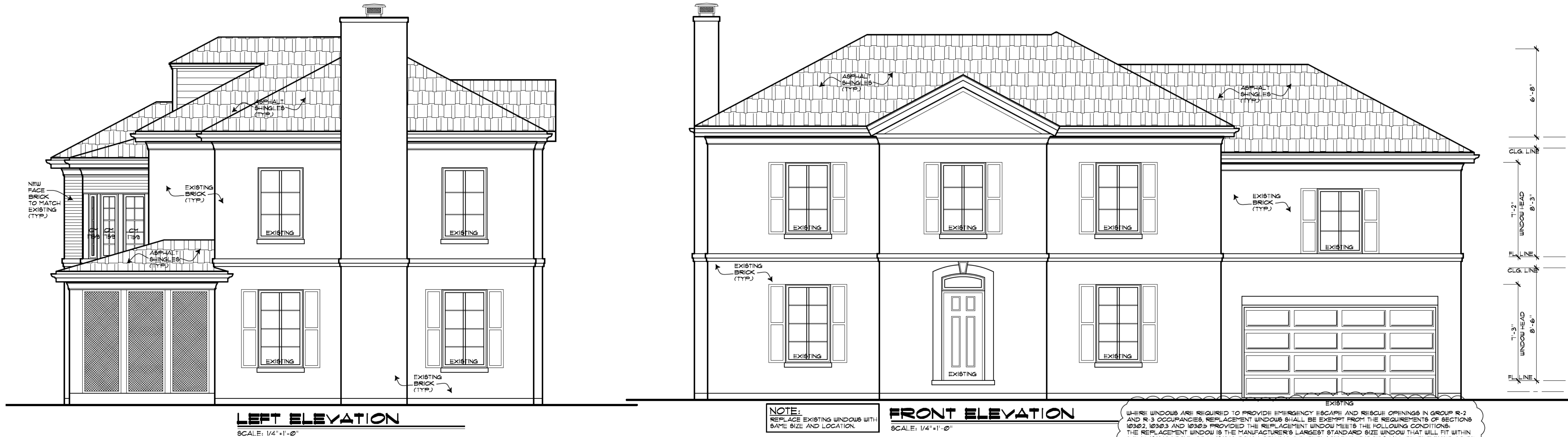


| ROOF POSTS SCHEDULE |                                                         |                 |
|---------------------|---------------------------------------------------------|-----------------|
| POST                | DESCRIPTION                                             | HEIGHT          |
|                     | 4X4 POST                                                | 0'-0" - 1'-0"   |
|                     | 2X6 POST<br>2X6 POST<br>GLUED W/ 16D<br>NAILS @ 8" O.C. | 1'-0" - 11'-0"  |
|                     | 6X6 POST                                                | 11'-0" - 14'-0" |
|                     | 2X6 POST<br>2X6 POST<br>GLUED W/ 16D<br>NAILS @ 8" O.C. | 14'-0" - 17'-0" |

**NOTE:**  
RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE LOCATED AS NEAR THE PLATE AS PRACTICAL. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4 FEET ON CENTER. RAFTERS SHALL BE FRAMED TO RIDGE BOARD OR TO EACH OTHER WITH GUSSET PLATE AS A TIE. RIDGE BOARD SHALL BE AT LEAST 1 VALLEY AND HIPS THERE SHALL BE A VALLEY OR HIP RAFTER NOT LESS THAN 2-INCH NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO CARRY AND DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

**NOTE:**  
RIDGE / HIP TO BE MIN. ONE SIZE LARGER THAN RAFTERS. FOR RAFTER OVER 20'-0" APPLY BRACING TO BOTTOM OF JOISTS. RAFTERS AND CEILING JOIST SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL) AT INTERVALS NOT EXCEEDING 10 FT. WHERE FINISHED CEILING APPLIED.





**ELEVATION GENERAL NOTES:**

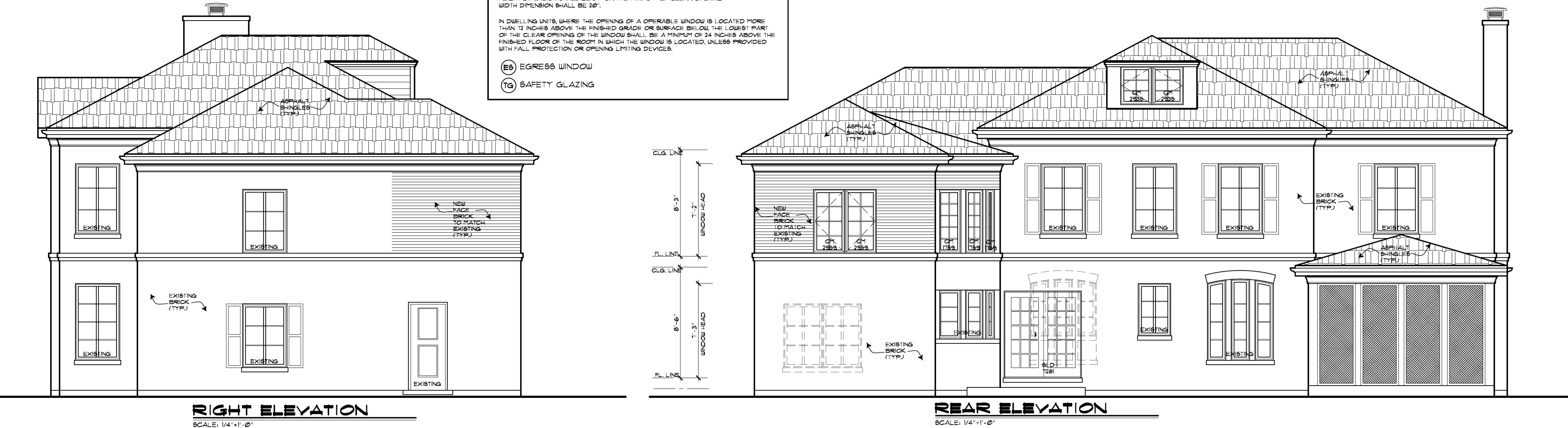
- FELLA PRO LINE SERIES OR EQUAL UNIT NUMBERS (NOT GLASS SIZES) SHOWN ON ELEVATIONS WINDOWS U-FACTOR 0.30 OR LOWER (STICKERS SHALL REMAIN ON WINDOWS FOR INSPECTION TO VIEW) SKYLIGHTS U-FACTOR MIN. 0.55
- ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED 4' REAR OF HOME AND PAINTED TO MATCH ROOF.
- SHEET METAL FLASHING OVER ALL WINDOWS, DOORS AND WOOD TRIM
- SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS

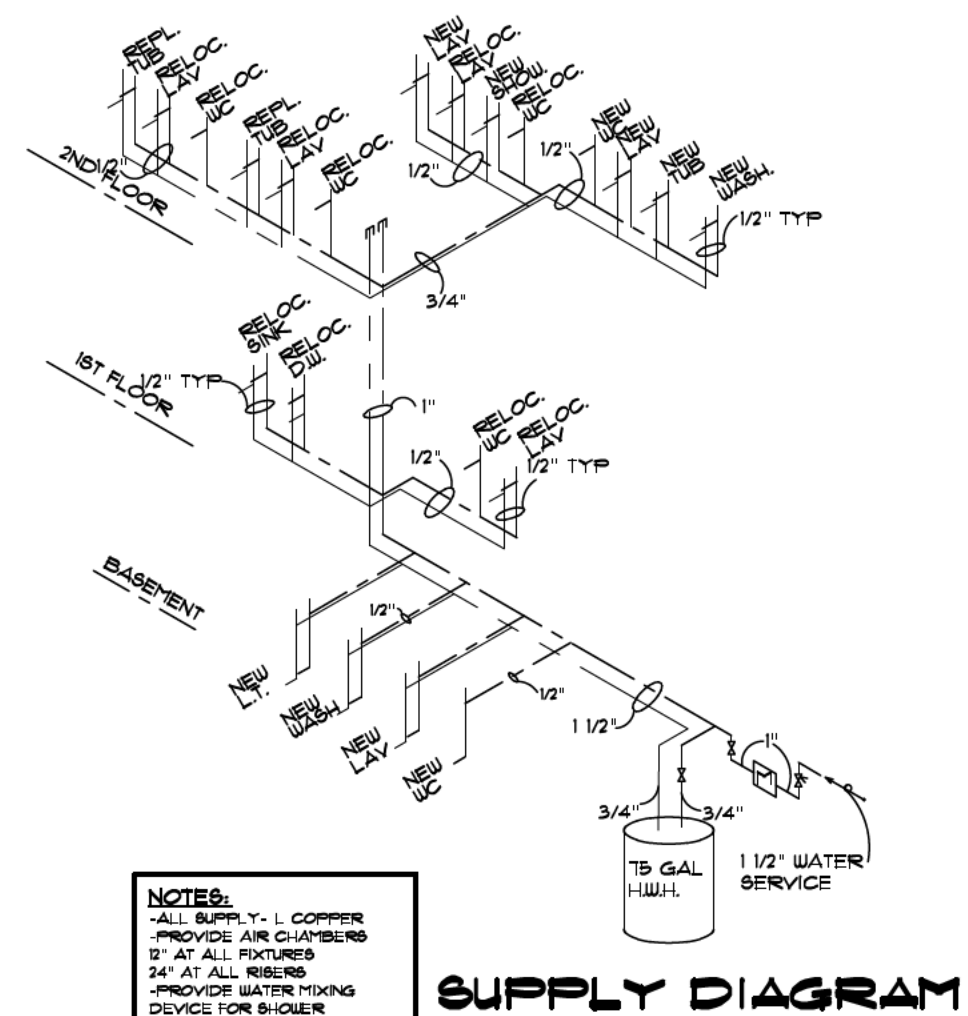
**NOTE:**  
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A BILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" OR THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

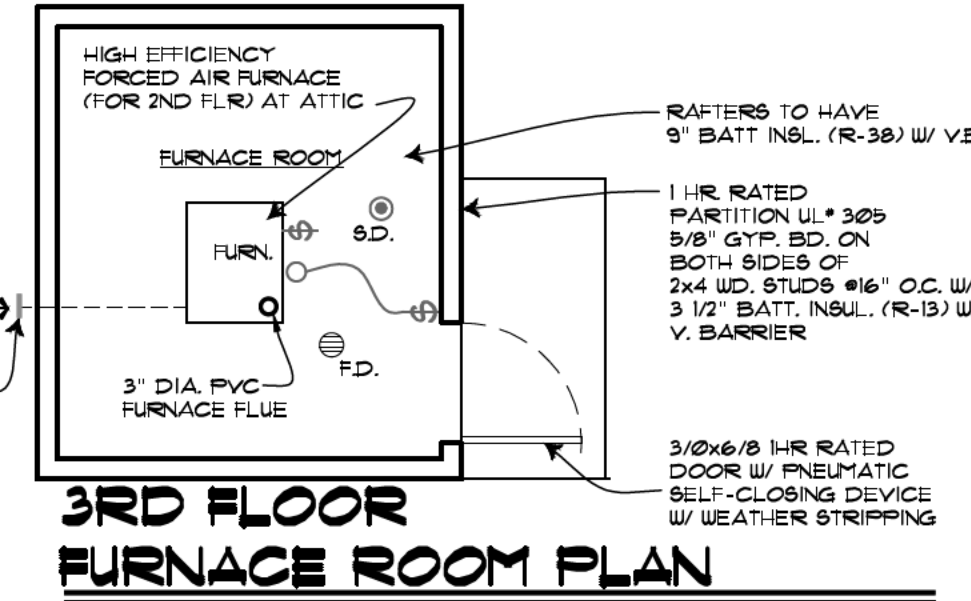
IN DWELLING UNITS, WHERE THE OPENING OF A OPERABLE WINDOW IS LOCATED MORE THAN 12 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED, UNLESS PROVIDED WITH FALL PROTECTION OR OPENING LIMITING DEVICES.

(ES) EGRESS WINDOW  
(TG) SAFETY GLAZING





| LIGHT & VENTILATION DATA SCHEDULE     |       |       |          |       |          |       |
|---------------------------------------|-------|-------|----------|-------|----------|-------|
| ROOM                                  | AREA  | LIGHT |          | VENT  |          | BTUH  |
|                                       |       | REQ'D | ACT      | REQ'D | ACT      |       |
| ALTERED KITCHEN / BREAKFAST AREA      | 330.0 | 26.4  | EXISTING | 13.2  | EXISTING | 13200 |
| EXISTING LIVING RM.                   | 298.0 | 23.8  | EXISTING | 11.9  | EXISTING | 11920 |
| NEW DINING RM.                        | 141.0 | 11.8  | EXISTING | 5.9   | EXISTING | 5880  |
| NEW PUDR.                             | 21.0  | N.R.  |          | 3.15  | 50 CFM   | 840   |
| TOTAL:                                |       |       |          |       |          | 31840 |
| ALTERED RECREATION RM. / EXERCISE RM. | 298.0 | 5.9   | EXISTING | 5.9   | EXISTING | 11820 |
| NEW PUDR.                             | 35.0  | N.R.  |          | 57.5  | 50 CFM   | 1400  |
| TOTAL:                                |       |       |          |       |          | 13200 |
| NEW MASTER BEDROOM                    | 233.0 | 10.6  | EXISTING | 9.3   | EXISTING | 9320  |
| EXISTING BEDROOM #2                   | 165.0 | 13.2  | EXISTING | 6.6   | EXISTING | 6600  |
| ALTERED BEDROOM #3                    | 126.0 | 10.1  | EXISTING | 5.0   | EXISTING | 5040  |
| ALTERED BEDROOM #4                    | 130.0 | 10.4  | EXISTING | 4.2   | EXISTING | 5200  |
| NEW BEDROOM #5                        | 110.0 | 8.8   | EXISTING | 9.4   | EXISTING | 4400  |
| NEW MASTER BATH                       | 93.0  | N.R.  | EXISTING | 139.5 | 100 CFM  | 3720  |
| ALTERED BATH #2                       | 46.0  | N.R.  | EXISTING | 69.0  | 50 CFM   | 1840  |
| ALTERED BATH #3                       | 46.0  | N.R.  | EXISTING | 69.0  | 50 CFM   | 1840  |
| NEW BATH #4                           | 46.0  | N.R.  |          | 69.0  | 50 CFM   | 1840  |
| TOTAL:                                |       |       |          |       |          | 39800 |



A CONDENSATE DRAIN SHALL BE PROVIDED TO DISPOSE OF CONDENSATE FROM THE COOLING COIL. CONDENSATE DRAINS SHALL BE INSTALLED TO THE OUTSIDE OF THE BUILDING, OR TO A FLOOR DRAIN, PLUMBING FIXTURE, SUMP OR OTHER APPROVED LOCATION, WHERE THE COOLING COIL OR AIR CONDITIONING UNIT IS LOCATED. CONDENSATE DRAINS SHALL BE INSTALLED IN A WATER-TIGHT MANNER, AND SHALL BE INSTALLED IN A MANNER THAT WILL PREVENT OVERFLOW OF CONDENSATE DUE TO A CLOGGED CONDENSATE DRAIN. THE DRAIN SHALL BE PROVIDED WITH A DRAIN PIPE OF MINIMUM 3/4" NOMINAL PIPE SIZE WHICH DISCHARGES AT A CONSPICUOUS LOCATION TO INDICATE THAT THE REGULAR DRAIN IS CLOGGED.

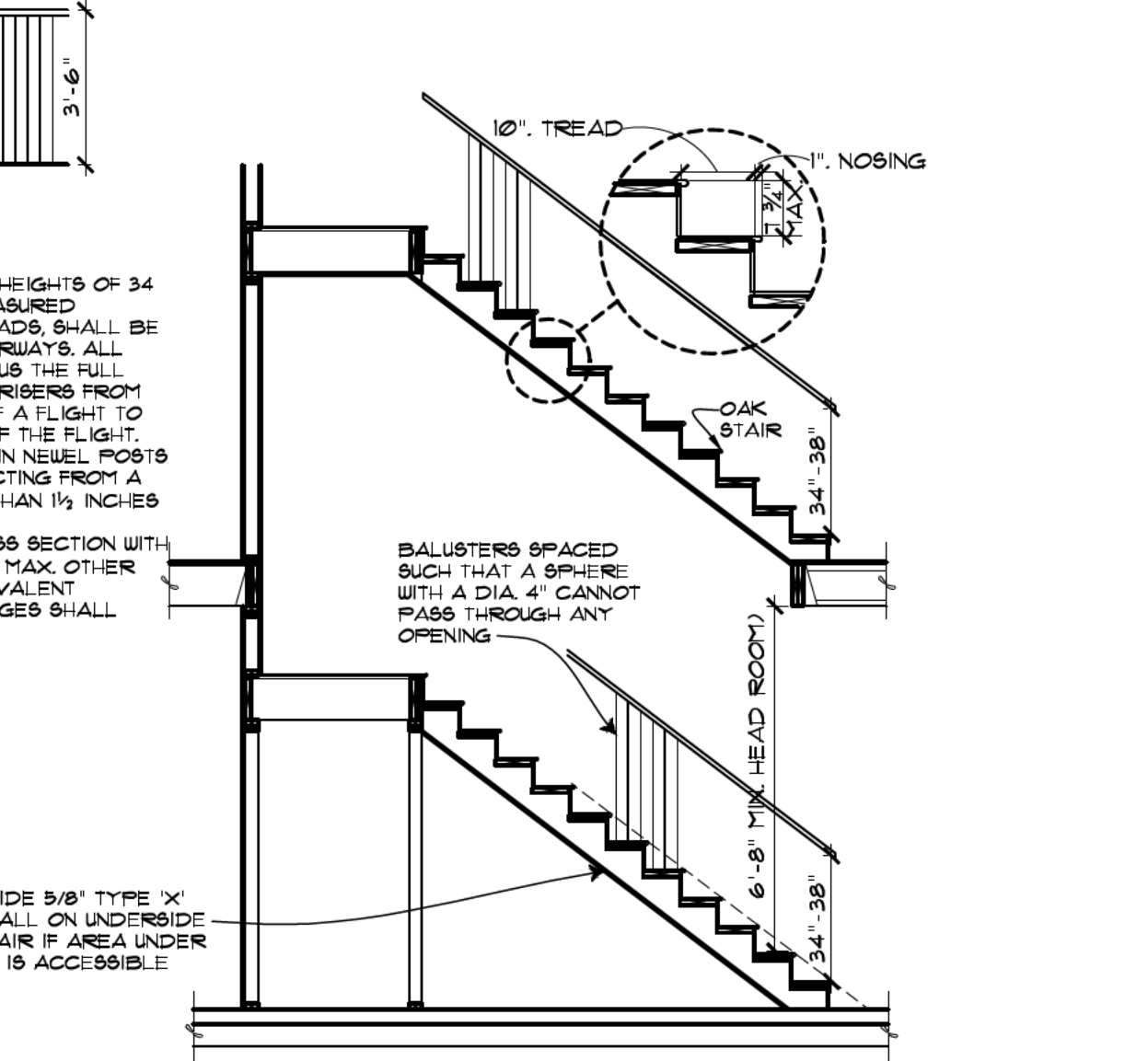
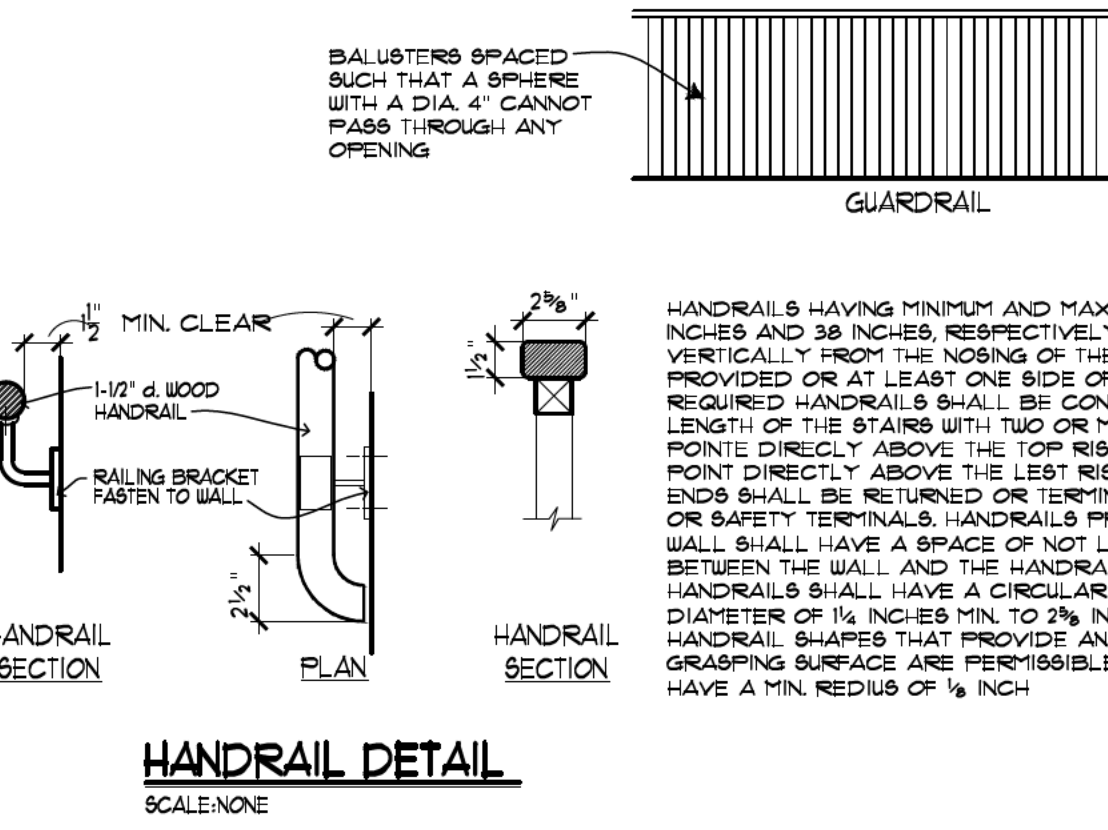
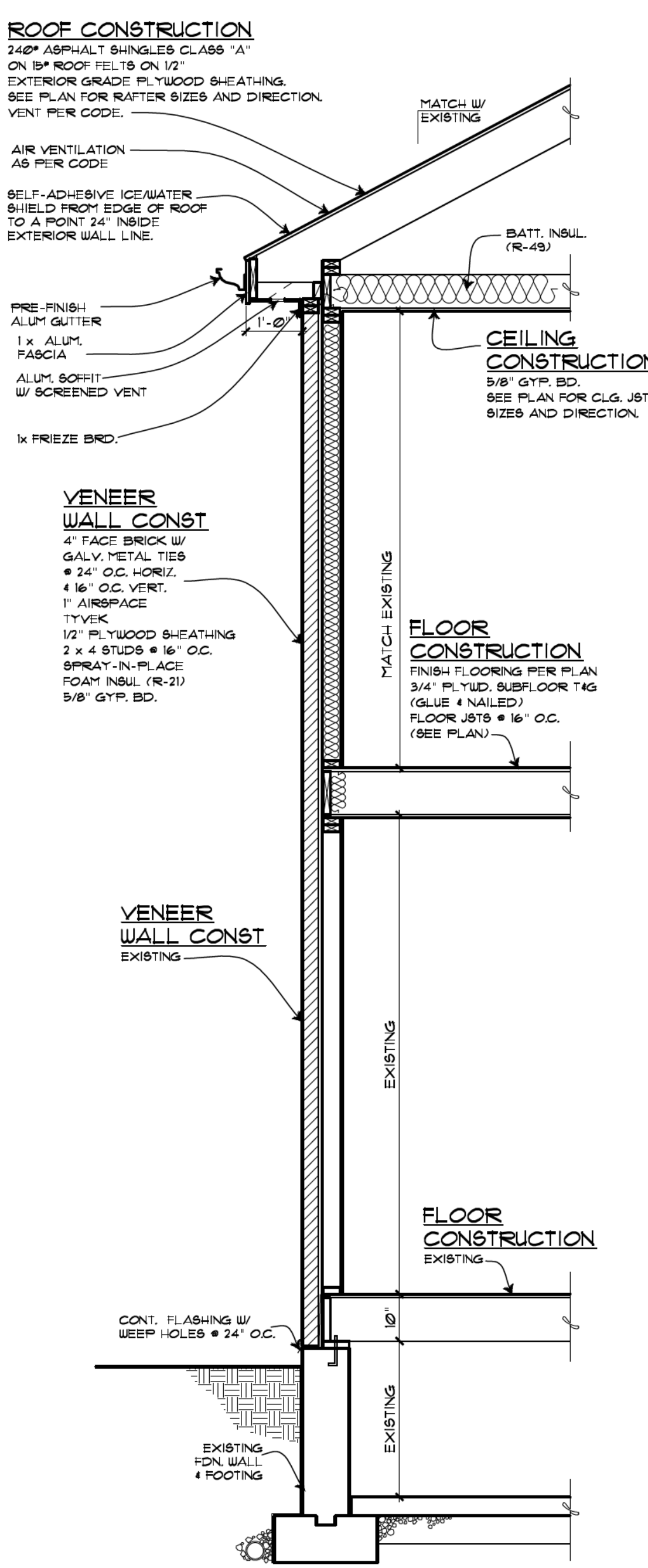
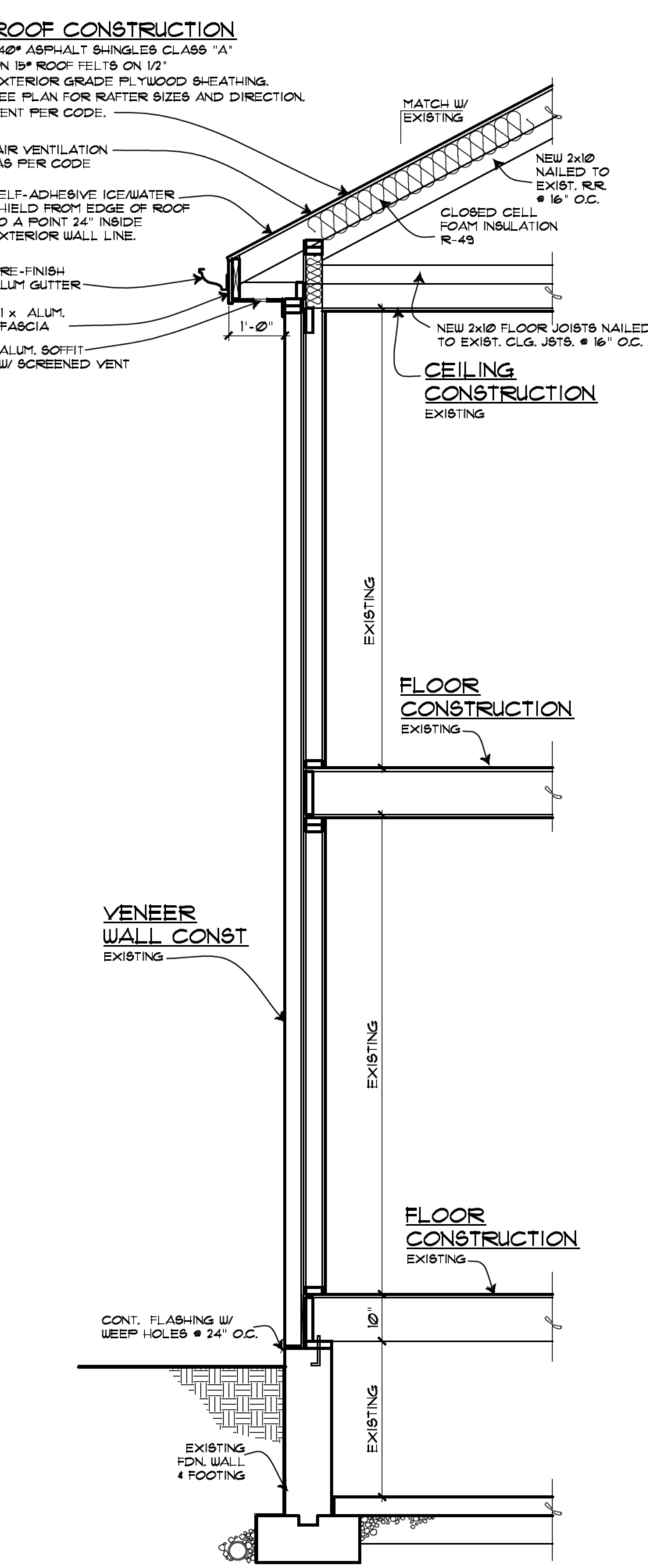
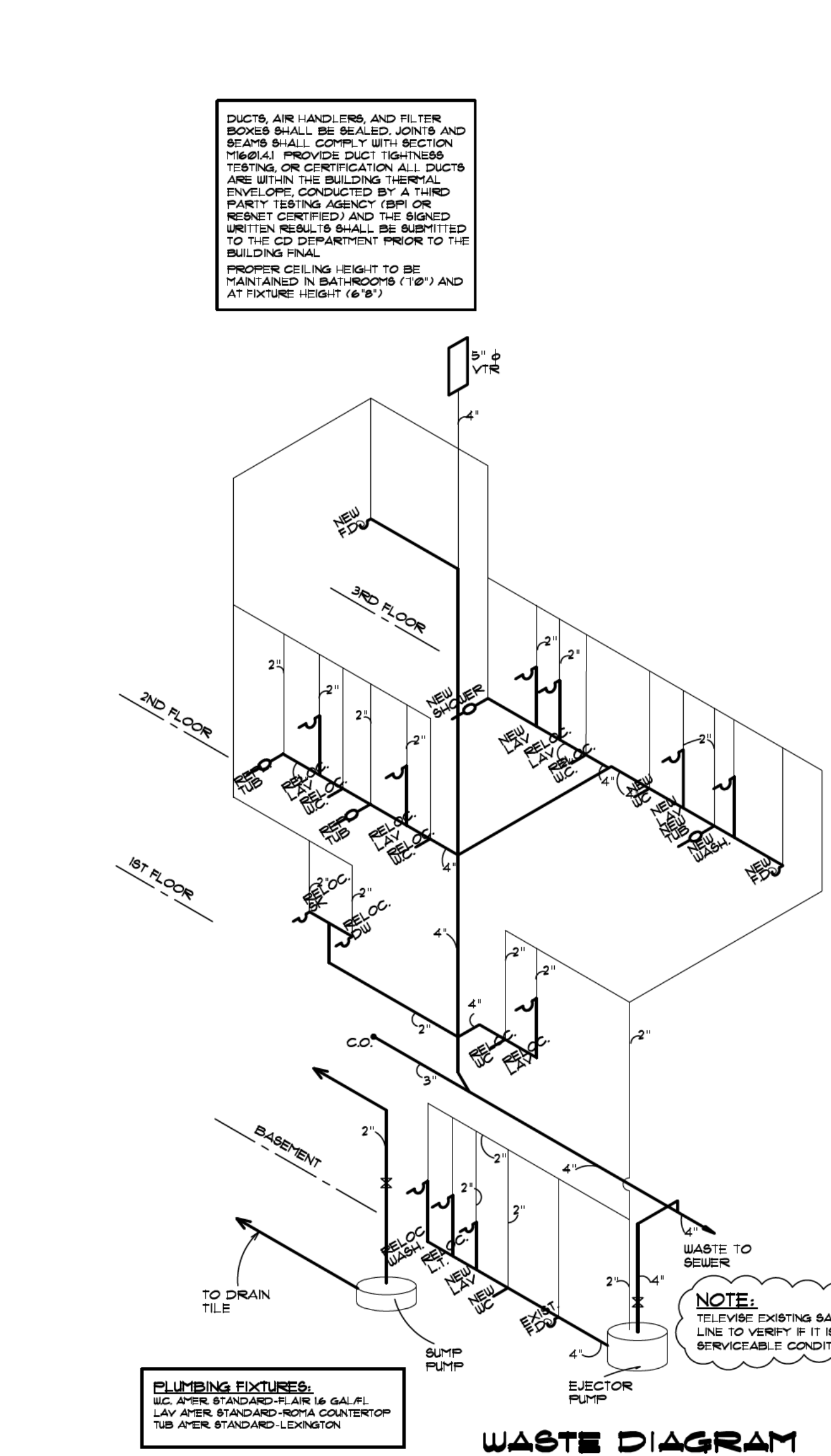
**INSULATION & AIR SEALING:**  
AIR BARRIER AND THERMAL BARRIER. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING THERMAL ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-IMPERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.  
CEILING / ATTIC. THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED SPACES SHALL BE SEALED.  
WALLS. CORNERS AND HEADERS SHALL BE INSTALLED AND THE JUNCTION OF THE FOUNDATION AND THE BILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH AIR BARRIER. KNEE WALLS SHALL BE SEALED ASHRAE R-6.  
WINDOWS, SKYLIGHTS AND DOORS. THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.  
REINFORCING. REINFORCING SHALL BE INSULATED AND INCLUDE AN AIR BARRIER.  
FLOORS (INCLUDING ABOVE GARAGE & CANTILEVERED FLOORS). INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.  
CRAWL SPACE WALLS. WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS. EXPOSED EARTH SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.  
SHAFTS AND PENETRATIONS. DUCT SHAFTS, UTILITY PENETRATIONS AND FLUE SHAFT OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.  
NARROW CAVITIES. BATTS IN NARROW CAVITY SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION READY TO CONFORM TO CAVITY SPACE.  
GARAGE SEPARATION. AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND UNCONDITIONED SPACE.  
RECESSED LIGHTING. RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED AND SEALED TO THE DRYWALL.  
PLUMBING AND WIRING. BATT INSULATION SHALL BE CUT TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE SPACE.  
SHOWER/TUB ON EXTERIOR WALL. EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.  
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS. THE AIR BARRIER SHALL BE INSTALLED BEHIND OUTLETS OR AIR SEALED BOXES SHALL BE INSTALLED.  
HVAC REGISTER BOOTS. HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.  
FIREPLACE. AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.

**2018 IEC CODES:**  
R402.2.3 - EYE BATTLES REQUIRED IN EVERY BAY WHERE AIR PERMEABLE INSULATION IS INSTALLED.  
R402.2.4 - ATTIC ACCESS PANELS MUST BE WEATHER STRIPPED AND GASKETED.  
R402.4.1.1 - INSPECTION CHECKLIST - ALL AIR BARRIERS AND AIR SEALING IN PLACE.  
R402.4 - INFILTRATION TESTING - BLOWER DOOR TESTED TO ACHIEVE LESS 5ACH50.  
R402.4.2 - FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.  
R402.5.1 - PROGRAMMABLE T-STAT INSTALLED, INITIALLY PROGRAMMED TO 68°F HEATING AND 75°F COOLING.  
R402.5.1 - DUCT INSULATION - DUCTS OUTSIDE UNCONDITIONED SPACE INSULATED TO R-8 (PERFORMANCE R-6).  
R402.5.2 DUCT SEALING - ALL DUCTS, PLenums AND CABINETS SHALL BE SEALED (UL 181 TAPE OR MASTIC).  
R402.5.2.2 - DUCT TESTING - DUCTS (OUTSIDE THE BUILDING THERMAL ENVELOPE) SHALL BE TESTED TO HAVE LEAKAGE LESS THAN 4 CFM PER 100 SQ. FT. CFA.  
R402.5.2.2.1 - SEALED AIR HANDLER - AIR HANDLERS MUST BE SEALED TO ACHIEVE ASHRAE R-6.  
R402.5.2.3 - BUILDING CAVITIES - BUILDING CAVITIES SHALL NOT BE USED AS DUCTS (SUPPLY OR RETURN).  
R402.5.2.4 - ALL HOT WATER LINES INSULATED TO MINIMUM R-3 (NOT REQUIRED FOR PERFORMANCE PATH).  
R402.5.3 - MECHANICAL VENTILATION - THE HOME MUST HAVE MECHANICAL VENTILATION SYSTEM TO MEET ASHRAE 62.2.  
R402.6 EQUIPMENT MUST BE SIZED IN ACCORDANCE WITH ACCA MANUAL J AND INCLUDE B-AND S.  
R402.6.1 - LIGHTING - MINIMUM 90% OF PERMANENT FIXTURES TO HAVE HIGH EFFICACY BULBS INSTALLED.

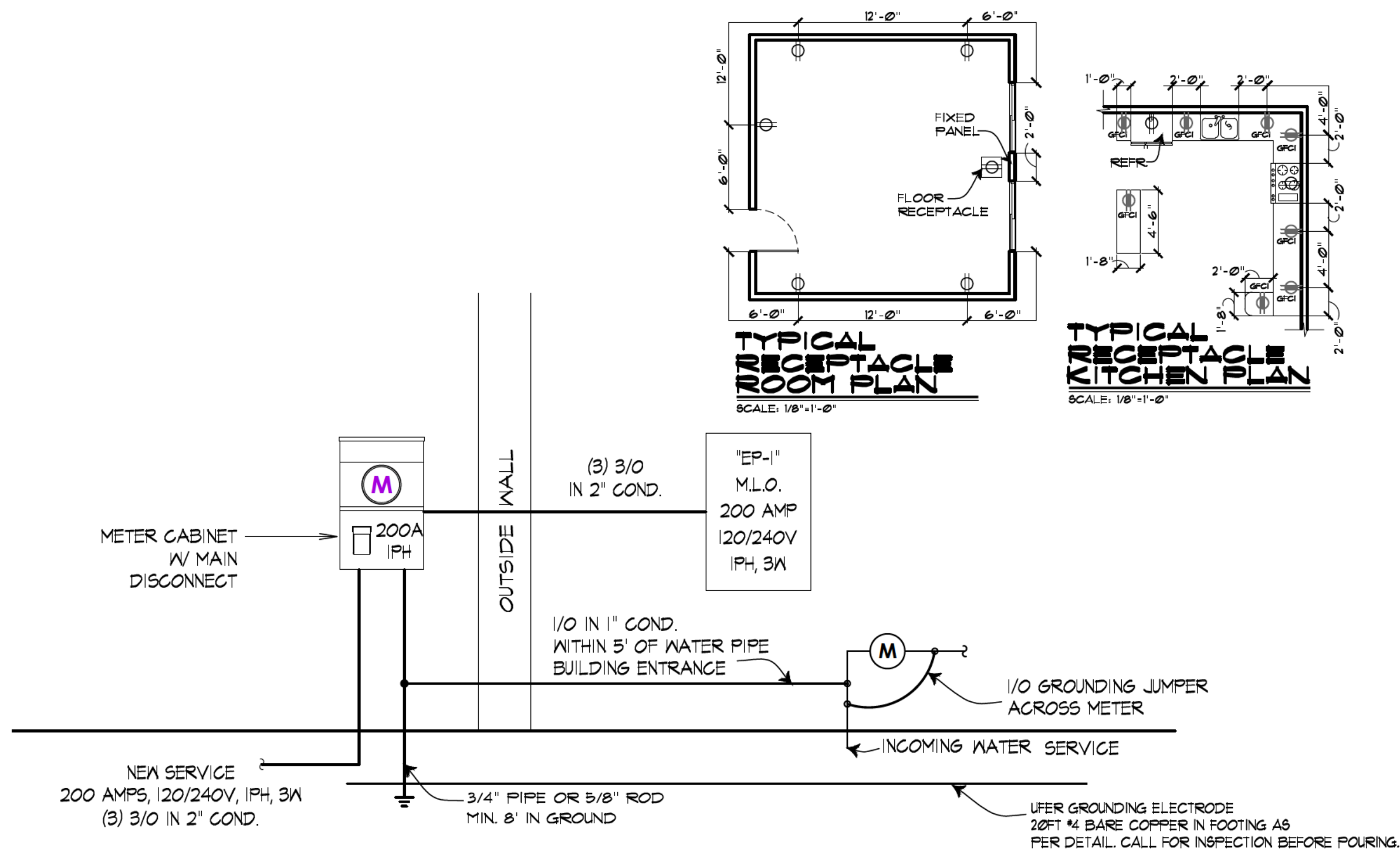
**2018 IECC ROUGH INSTALLATION:**  
SEAL ALL PENETRATIONS IN THE BUILDING THERMAL ENVELOPE WITH ROAM, CAULK, OR MASTIC.  
SEAL ALL DUCT WORK WITH MASTIC OR UL 181 TAPE, INCLUDING FACTORY SEAMS.  
FLEX DUCT CONNECTIONS MUST HAVE INNER LINER SEALED AND EXTERIOR LINER ZIP TIED AND SEALED.  
SEAL PLenum AND COIL BOX CONNECTIONS TO FURNACE CABINET.  
SEAL REGISTER BOOTS WHERE THEY PENETRATE THE SUB-FLOOR WITH MASTIC OR UL 181 TAPE.  
SEAL ALL CORNERS OF REGISTER BOOTS WITH MASTIC OR UL 181 TAPE.  
ENSURE ALL ATTIC DUCTS, DISTRIBUTION BOXES AND REGISTER BOOTS INSULATED TO MINIMUM R-6.  
ENSURE DUCTWORK LOCATED IN EXTERIOR WALLS, GARAGE COMMON WALLS AND FLOORS OVER GARAGE ARE INSULATED TO MINIMUM R-6.  
ENSURE FLEX DUCT PROPERLY SUPPORTED, 1 STRAP PER EVERY 5 FT.  
ALL SUPPLY AND RETURNS MUST BE HARD PIPED: NO BUILDING CAVITIES CAN BE USED AS RETURNS.  
ENSURE TOE KICK REGISTERS UNDER CABINETS ARE FULLY DUCTED TO THE DIFFUSER.  
ENSURE BATH FAN PIPING IN INSULATED TO MINIMUM R-6 AND ROUTED WITHOUT SHARP BENDS.

**2018 IECC FINAL INSTALLATION:**  
SEAL CEILING PENETRATIONS BETWEEN BOOT AND DRYWALL WITH CAULK OR MASTIC.  
INSTALL ALL DIFFUSERS BEFORE FINAL TEST OUT.  
INSTALL FILTER SLOT COVER.  
ENSURE VENTILATION SYSTEM IS INSTALLED (IF IN HVAC SCOPE).  
ENSURE T-STAT SET TO 68°F FOR HEATING AND 75°F FOR COOLING.  
SEAL ALL FURNACE CABINET "KNOCK-OUTS" AND COIL CONNECTIONS, WITH SILICONE, MASTIC OR APPROVED WRAP.

**TESTING:**  
DUCT TESTING IS RECOMMENDED PRIOR TO ROUGH INSPECTION IN ORDER TO CORRECT LEAKAGE PROBLEMS.  
DUCT TESTING AND BLOWER DOOR TEST RESULTS WILL BE REQUIRED TO BE SUBMITTED FOR COMPLIANCE PRIOR TO APPROVAL OF FINAL INSPECTION.  
TESTING AND REPORTS MUST BE VERIFIED BY A CERTIFIED DIAGNOSTIC ENERGY TESTER INDEPENDENT OF CONTRACTED WORK FOR THE PROJECT.



**NOTE:**  
ALL INTERIOR AND STAIRS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE RATED FOR A MINIMUM OF 800 LUMENS LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. THE CONTROL FOR ACTIVATION OF THE REQUIRED INTERIOR STAIRWAY LIGHTING SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIR WITHOUT TRAVERSING ANY STEP OF THE STAIR.

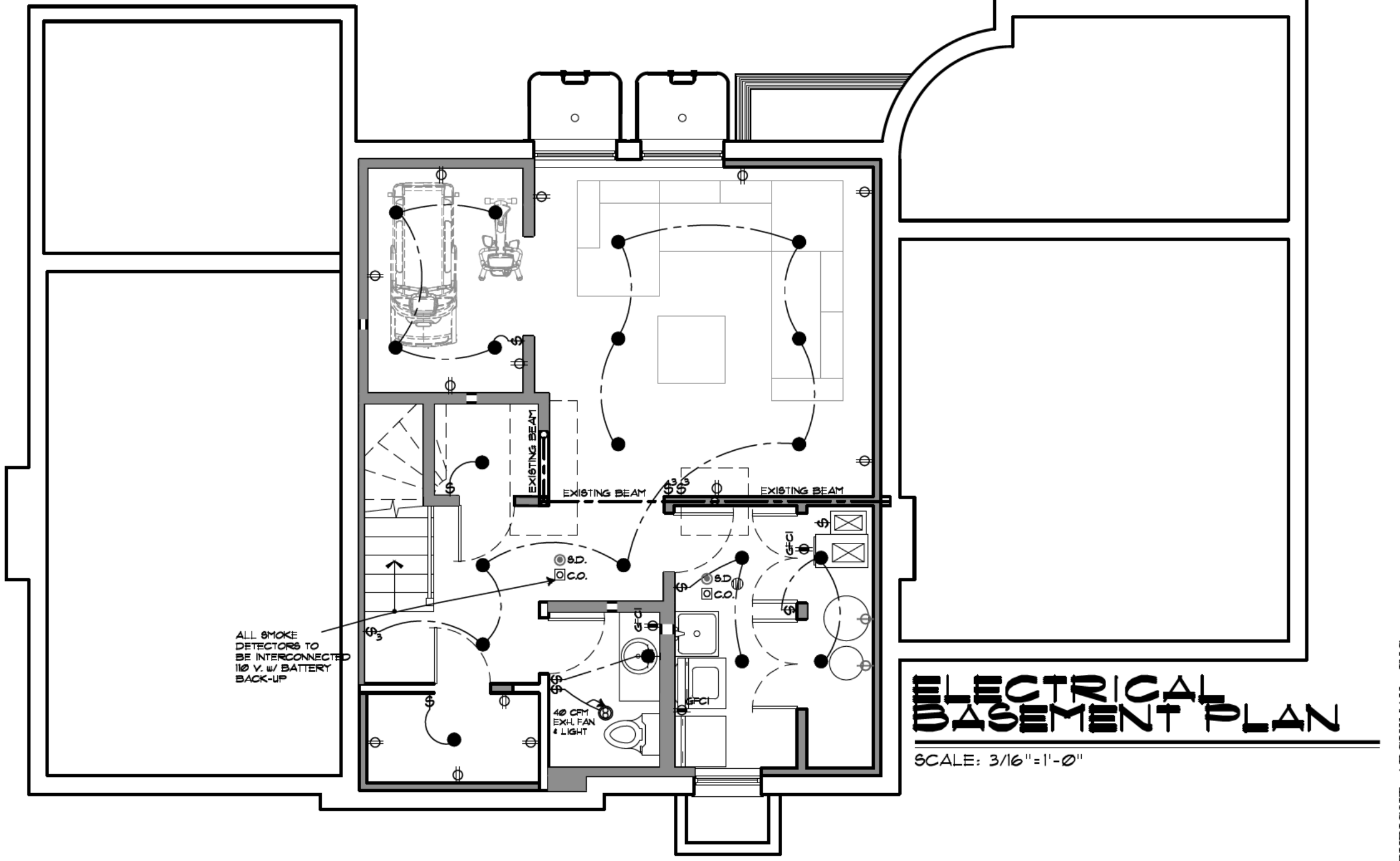
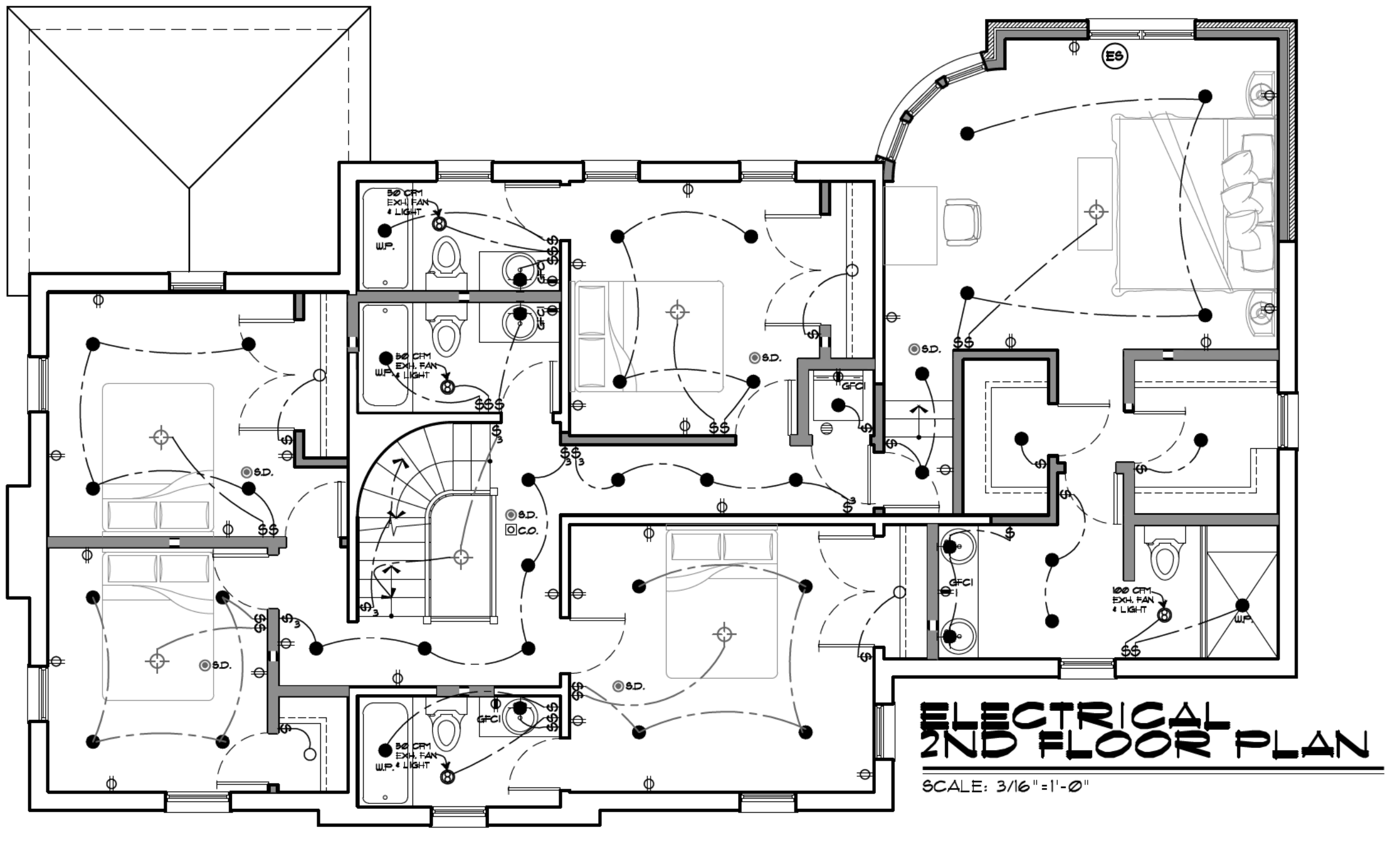
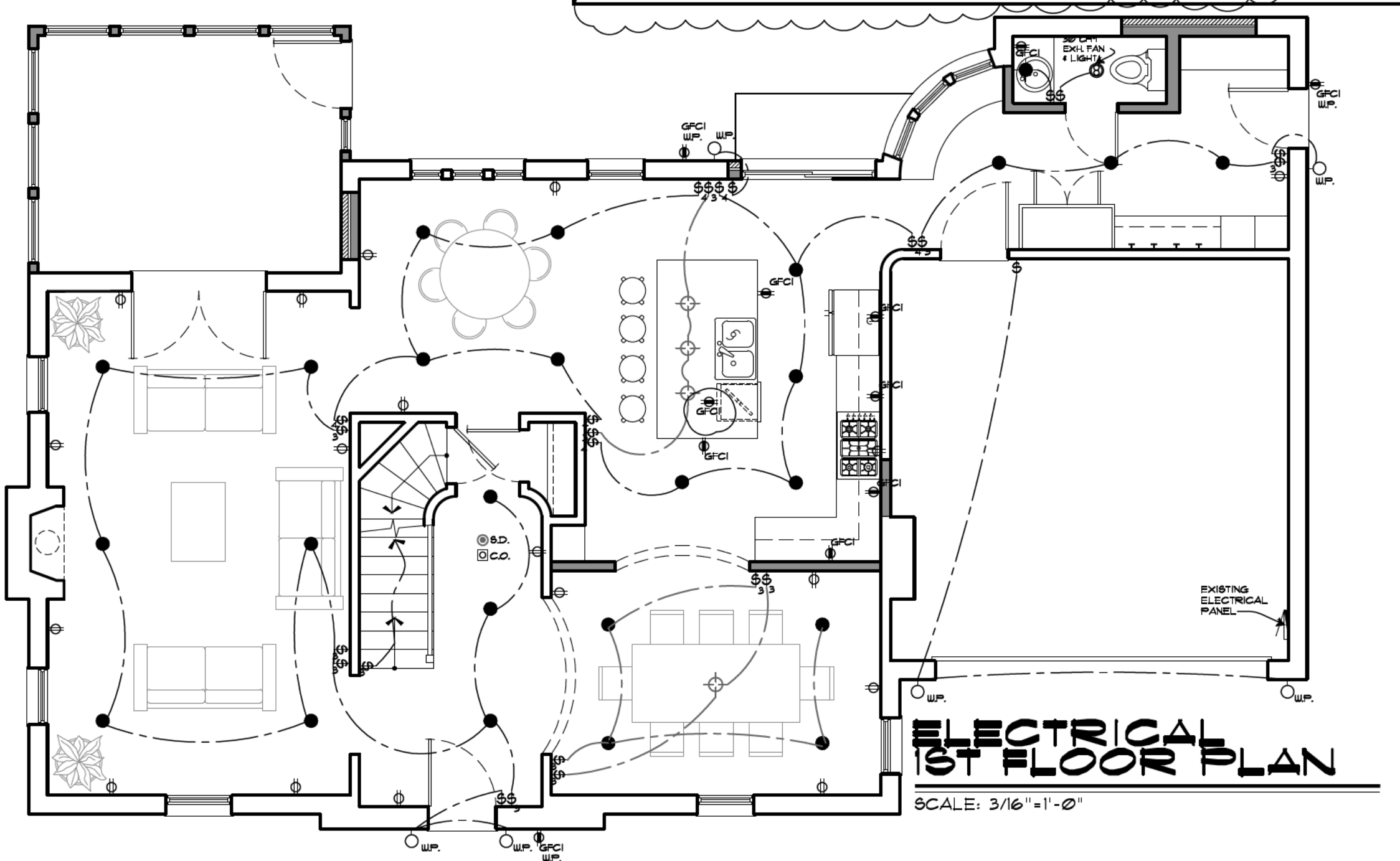
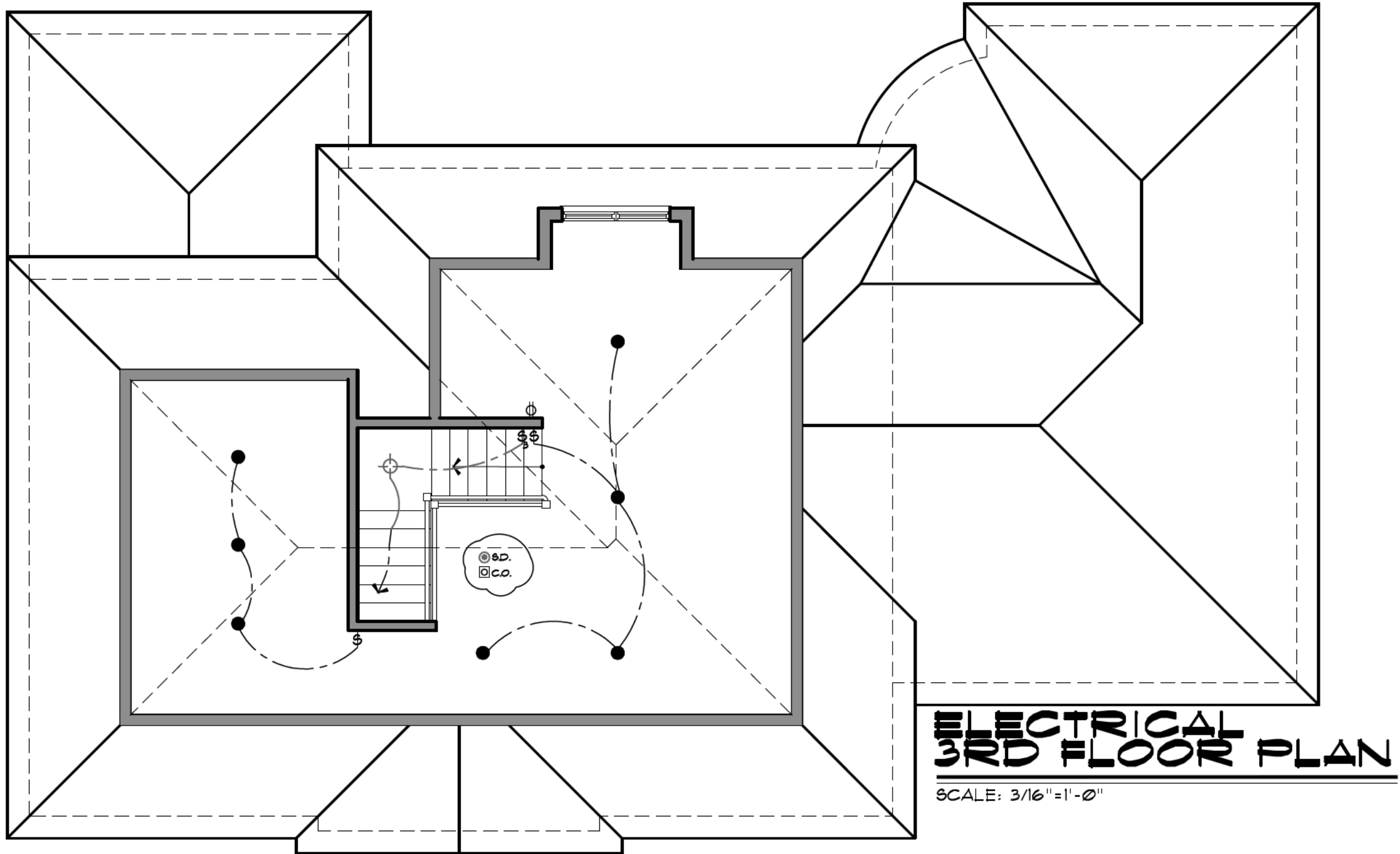


**SERVICE LINE DIAGRAM**  
N.T.S.

| SYMBOL LEGEND                                                               |                                                       |
|-----------------------------------------------------------------------------|-------------------------------------------------------|
| 1 SINGLE POLE SWITCH                                                        | 10 SURFACE MTD. LIGHT FIXTURE                         |
| 2 THREE-WAY SWITCH                                                          | 11 RECESSED CAN                                       |
| 3 DIMMER SWITCH                                                             | 12 FLUORESCENT-SIZE VARIES                            |
| 4 DUPLEX RECEPTACLE                                                         | 13 EYEBALL FIXTURE                                    |
| 5 DUPLEX RECEPTACLE CROSS LINE DENOTES 6" ABOVE COUNTER OR BACKSPLASH       | 14 UP RECESSED CAN                                    |
| 6 DUPLEX RECEPTACLE SHADING DENOTES GROUND FAULT CIRCUIT INTERRUPTER (GFCI) | 15 WALL MTD EXT. FIXTURE                              |
| 7 SMOKE DETECTION 100V BATT. BACK-UP                                        | 16 WALL MTD SCORCE (16'-0" AFF)                       |
| 8 CARBON MONOXIDE DETECTOR                                                  | 17 SECURITY LIGHT                                     |
| 9 CENTRAL VEC                                                               | 18 FAN/LIGHT 60W/500CM BY ELEC CTR                    |
| 10 THERMOSTAT                                                               | 19 EXHAUST FAN 230 CFM                                |
| 11 MOTOR                                                                    | 20 CEILING FAN                                        |
| 12 PHONE                                                                    | NOTE: ALL CLOSET LIGHTS TO BE RECESSED FLOOR PER CODE |
| 13 TV/CABLE                                                                 |                                                       |
| 14 TIMER                                                                    |                                                       |
| 15 FLOOR OUTLET (FINAL POSITION BY OWNER)                                   |                                                       |

- ELECTRICAL NOTES:**
1. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS. REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER-CURRENT PROTECTION.
  2. ALL BRANCH CIRCUITS SUPPLYING 125 VOLT, 15 AND 20 AMPERE OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
  3. ALL LOW VOLTAGE TO BE IN CONDUIT IN WALLS TO ACCESSIBLE LOCATIONS.
  4. ALL EQUIPMENT TO BE UL APPROVED OR ANY OTHER NATIONALLY RECOGNIZED TESTING COMPANY.
  5. ALL RECEPTACLES TO BE GROUNDING.
  6. ALL OUTSIDE LIGHTS TO BE UL APPROVED FOR WET OR DAMP LOCATIONS.
  7. ALL CEILING BOXES TO BE FAN RATED
  8. ANY ATTIC ACCESS PANELS PROVIDED TO REQUIRE ACCESSIBLE AREAS UNDER ROOF SHALL BE PROVIDED A SWITCHED LIGHT PER NEC 210.10 (A)(3).
  9. ALL SWITCHES AND RECEPTACLES IN BATHROOMS SHALL BE LOCATED A MINIMUM 30" FROM THE INSIDE EDGE OF A TUB OR SHOWER MEASURED HORIZONTALLY AT THE FLOOR LINE PER NEC 200.11.
  10. RECESSED LIGHTING INSTALLED WITHIN THE THERMAL ENVELOPE SHALL BE IC RATED AND SEALED PER NEC 410.16 AND IECC R402.4.4.2.
  11. GARAGE RECEPTACLE SHALL BE LOCATED NOT LESS THAN 42" AFF. NEC 200.10.
  12. DETACHED GARAGE SHALL HAVE DISCONNECT AND BE PERMITTED TO HAVE SNAP SWITCHES OR SETS OF 3-WAY OR 4-WAY SNAP SWITCHES PROVIDED AS MEANS OF DISCONNECT.
  13. LIGHT FIXTURES OVER TUBS AND SHOWERS TO BE LISTED AND LABELED FOR USE IN WET/DAMP LOCATION.
  14. RECEPTACLE PROVIDED NEAR BASEMENT WET BAR SHALL BE GFCI PROTECTED WHERE WITHIN 6'-0" OF THE OUTSIDE EDGE OF THE SINK.
  15. ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
  16. A SMOKE DETECTOR, INTERCONNECTED AND HARDWIRED, SHALL BE INSTALLED IN EVERY MECH. RM.
  17. ALL LIGHTS ABOVE OR WITHIN 24" OF TUB OR SHOWER SHALL BE GFCI PROTECTED.
  18. DISHWASHERS AND DISPOSALS SHALL HAVE SEPARATE DISCONNECTS LOCATED UNDER THE KITCHEN SINK.

- SMOKE DETECTORS NOTES:**
- SMOKE DETECTORS TO COMPLY WITH 425 ILC8602/ SMOKE DETECTOR ACT 4 VILLAGE OF WINNETKA BUILDING CODES:
- A. A DEDICATED CIRCUIT SHALL BE PROVIDED, WHICH SHALL BE PERMANENTLY WIRED INTO A DWELLING UNITS SERVICE.
  - B. A "LOCKOUT" SHALL BE INSTALLED ON THE SYSTEMS CIRCUIT PROTECTION DEVICE TO MAINTAIN POWER TO THE EQUIPMENT.
  - C. A SEPARATE RACEWAY SHALL BE PROVIDED FOR SYSTEMS CIRCUIT 4 DETECTOR CONTROL WIRING, THEREBY ELIMINATING THE INTERFERENCE OF CIRCUIT CONDUCTORS 4 RACEWAYS, WHICH MAY BE INSTALLED FOR OTHER EQUIPMENT OR OUTLETS.
  - D. ATTICS AND/OR CLOSETS, WHICH CONTAIN MECHANICAL EQUIPMENT, I.E. HEATING, VENTILATING OR COOLING, SHALL CONTAIN AN APPROVED SMOKE DETECTOR.
  - E. AN AUTOMATIC FAN SHUTDOWN DEVICE SHALL BE INSTALLED IN CEILING HOUSE FAN AND ATTIC FAN. THIS SHALL INTERCONNECT THE SMOKE DETECTOR SYSTEM AND DE-ENERGIZE THE POWER TO THE FAN THEREBY DISCONTINUING THE INDUCED AIR FLOW FROM ONE ROOM TO ANOTHER
19. SEPARATE CIRCUITS SHALL BE PROVIDED FOR EACH HEATING AND AIR CONDITIONING UNIT.
  20. S.D. 4 C.O. SHALL BE LOCATED WITHIN 15' OF EVERY BEDROOM.
  21. ALL NEW CIRCUIT WIRING TO BE RUN IN CONDUIT WITH LIMITED USE OF FLEX UNLESS OTHERWISE APPROVED IN ADVANCE.
  22. 75% OF ALL PERMANENTLY INSTALLED LIGHTING SHALL BE HIGH EFFICACY.
  23. AT LEAST ONE ADDITIONAL 20-AMP CIRCUIT SHALL BE PROVIDED TO SUPPLY A LAUNDRY CONVENIENCE RECEPTACLE. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
  24. THE TEMPORARY ELECTRICAL SERVICE SHALL BE APPROVED 4 ENERGIZED PRIOR TO THE FOOTING INSPECTION
  25. THE ELECTRICAL METER SHALL BE PLACED 48" ABOVE FINISHED GRADE.
  26. THE LOCATION OF THE METER PEDESTAL SHALL BE APPROVED BY WINNETKA WATER 4 ELECTRIC DEPARTMENT PRIOR TO INSTALLING THE PEDESTAL.
  27. RUN RACEWAY FROM WATER METER NEXT TO ELECTRICAL PEDESTAL 42" ABOVE GRADE.
  28. ALL NEW OR MODIFIED APPLICABLE CIRCUITS SHALL BE AFCI PROTECTED. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, RECREATION ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, BATHROOMS, LIVING ROOMS, CLOSETS, HALLWAYS, KITCHENS, AND LAUNDRY ROOMS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. NEC 210.12(A) RECEPTACLES AND LIGHTING OUTLETS



- MECHANICAL NOTES:**
1. THE 2012 INTERNATIONAL MECHANICAL CODE WITH ALL VILLAGE OF WINNETKA AMENDMENTS SHALL BE FOLLOWED.
  2. MAXIMUM 14 FT. FLEXIBLE DUCT.
  3. PRODUCT INFORMATION SHEET FOR HEATING COOLING SHALL BE ON SITE AT TIME OF INSPECTION.
  4. ALL RETURNS TO BE DUCTED.
  5. ELECTRICAL LINE FOR HVAC EQUIPMENT SHALL BE DEDICATED TO THAT USE ONLY.
  6. PROVIDE PROPER CLEARANCE FOR B-VENT CHIMNEY PER MANUFACTURER'S SPECIFICATION.
  7. PROVIDE ENERGY RECOVERY VENTILATOR (ERV).
  8. NO DUCT SHALL BE TERMINATED ON ONE-HOUR FIRE RATED ENCLOSURE OF MECHANICAL ROOMS WITHOUT A FIRE DAMPER INSTALLED IN COMPLIANCE WITH THE CODE.
  9. BATHROOM EXHAUST DUCTS SHALL NOT TERMINATE IN ATTIC OF AT EAVES.
  10. CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE TO BE 90 CFM.
  11. EXHAUST FANS PROVIDING LOCAL EXHAUST SHALL HAVE A MINIMUM FAN FLOW RATING NOT LESS THAN 50 CFM AT 0.25 INCHES WATER GAUGE FOR BATHROOMS, LAUNDRIES, OR SIMILAR ROOMS

| MECHANICAL EQUIPMENT SCHEDULE                                                                                                                                                                            |                                                                                                                                                                                                          |                                                                                                                                                                                                                                |                                                                                                                                                                                                                                |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FU-1 HEATING<br>SYSTEM TYPE: NATURAL GAS FURNACE<br>MODEL: R85PA02031MBA<br>TRADENAME: RHEEM<br>MANUFACTURER: RHEEM<br>DESCRIPTION: MULTI POSITION GAS FURNACE<br>CAPACITY: 80040<br>EFFICIENCY: 95 AFUE | FU-2 HEATING<br>SYSTEM TYPE: NATURAL GAS FURNACE<br>MODEL: R85PA02031MBA<br>TRADENAME: RHEEM<br>MANUFACTURER: RHEEM<br>DESCRIPTION: MULTI POSITION GAS FURNACE<br>CAPACITY: 80040<br>EFFICIENCY: 95 AFUE | CU-1 COOLING<br>SYSTEM TYPE: STANDARD AIR CONDITIONER<br>OUTDOOR MODEL: 18AUN3601<br>INDOOR MODEL: RCE-LH3611AC<br>OUTDOOR MANUFACTURER: RHEEM<br>INDOOR MANUFACTURER: RHEEM<br>NOMINAL CAPACITY: 34200<br>EFFICIENCY: 13 SEER | CU-2 COOLING<br>SYSTEM TYPE: STANDARD AIR CONDITIONER<br>OUTDOOR MODEL: 18AUN3601<br>INDOOR MODEL: RCE-LH3611AC<br>OUTDOOR MANUFACTURER: RHEEM<br>INDOOR MANUFACTURER: RHEEM<br>NOMINAL CAPACITY: 34200<br>EFFICIENCY: 13 SEER |
| HWH: RHEEM OR EQUAL HIGH EFF. HOT WATER HEATER 15000 MBTUH                                                                                                                                               |                                                                                                                                                                                                          |                                                                                                                                                                                                                                |                                                                                                                                                                                                                                |

| TABLE R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY |                             |                             |                             |
|-----------------------------------------------------------------------|-----------------------------|-----------------------------|-----------------------------|
| FAN LOCATION                                                          | AIR FLOW RATE MINIMUM (CFM) | MINIMUM EFFICACY (CFM/WATT) | AIR FLOW RATE MAXIMUM (CFM) |
| RANGE HOODS                                                           | ANY                         | 2.0 CFM/WATT                | ANY                         |
| IN-LINE FAN                                                           | ANY                         | 2.0 CFM/WATT                | ANY                         |
| BATHROOM / UTILITY RM.                                                | 10                          | 1.4 CFM/WATT                | <90                         |
| BATHROOM / UTILITY RM.                                                | 90                          | 2.0 CFM/WATT                | ANY                         |

A. WHEN TESTED IN ACCORDANCE WITH HVAC STANDARD 916

| HVAC NOTES:                                                                                                  |  |
|--------------------------------------------------------------------------------------------------------------|--|
| 1) ALL DUCTS TO BE SHEET METAL PER S.M.A.C.N.A. W/ LOCK-TYPE DAMPERS                                         |  |
| 2) PROVIDE HUMIDIFYING DEVICE                                                                                |  |
| 3) FLOOR REGISTERS: NOT MORE THAN 9" FROM WALL                                                               |  |
| 4) HEATING SYSTEM WILL MAINTAIN 70 DEG. F INDOOR @ -10 DEG. F OUTDOOR @ 10 DEG. F INDOOR @ 95 DEG. F OUTDOOR |  |
| 5) SD DETECTOR 3 FT. FROM FLOOR OR CEILING @ MAX 15' FROM BEDROOM                                            |  |
| 6) PROVIDE CO DETECTOR - MAX 40 FT. FROM BEDROOM                                                             |  |
| 7) ATTIC FAN MUST BE DRAINED AND HAVE A FLOAT SWITCH                                                         |  |

| TITUS REGISTER (WALL OR CLG. MOUNT) |                                    | NET FREE AREA |
|-------------------------------------|------------------------------------|---------------|
| 3'x6"                               | ( AT TOILETS - 50CFM )             | 14 S.I.       |
| 3'x9"                               | ( FOR 150 CFM ) SUPPLY             | 24 S.I.       |
| 4'x12"                              | ( FOR 200 & 300 CFM ) SUPPLY       | 44 S.I.       |
| 6'x12"                              | ( FOR 650 CFM - 800 CFM ) RETURN   | 58 S.I.       |
| 8'x14"                              | ( FOR 800 CFM - 1000 CFM ) RETURN  | 68 S.I.       |
| 8'x18"                              | ( FOR 1000 CFM - 1300 CFM ) RETURN | 86 S.I.       |

REFRIGERATION SCHEDULE

| ITEM NO. | MANUF. | TYPE/AMOUNT OF FREON | H.P. | TON | NO. OF UNITS & AMOUNT OF COMP. EACH | S/C | REMOTE | DIA. OF LL | DIA. OF SL | UNIT SERVING    | WATER COOLED/ AIR COOLED | UNIT LOCATION |
|----------|--------|----------------------|------|-----|-------------------------------------|-----|--------|------------|------------|-----------------|--------------------------|---------------|
| CU-1     | RHEEM  | R-410A               | 3.0  | 3.0 | ONE UNIT W/ 1 SINGLE COMP.          |     | X      | 3/8"       | 7/8"       | 1ST FLR & BSMT. | AIR                      | AT GRADE      |
| CU-2     | RHEEM  | R-410A               | 2.0  | 2.0 | ONE UNIT W/ 1 SINGLE COMP.          |     | X      | 3/8"       | 7/8"       | 2ND FLOOR       | AIR                      | AT GRADE      |

LIGHT & VENTILATION DATA SCHEDULE

| ROOM                                  | AREA  | LIGHT |          | VENT  |          | BTUH LOSS | SUPPLY |      | EXHAUST  |         | REMARKS     |
|---------------------------------------|-------|-------|----------|-------|----------|-----------|--------|------|----------|---------|-------------|
|                                       |       | REQ'D | ACT      | REQ'D | ACT      |           | REQ'D  | ACT  | REQ'D    | ACT     |             |
| ALTERED KITCHEN / BREAKFAST AREA      | 330.0 | 26.4  | EXISTING | 13.2  | EXISTING | 13200     |        | 400  |          | 400     | FU-1 SUPPLY |
| EXISTING LIVING RM.                   | 298.0 | 23.8  | EXISTING | 11.9  | EXISTING | 11920     |        | 300  |          | 300     | FU-1 SUPPLY |
| NEW DINING RM.                        | 147.0 | 11.8  | EXISTING | 5.9   | EXISTING | 5880      |        | 150  |          | 150     | FU-1 SUPPLY |
| NEW PORCH                             | 21.0  | N.R.  |          | 31.5  | 50 CFM   | 840       |        | 50   | 31.5 CFM | 50 CFM  | EF-1 SUPPLY |
| TOTAL:                                |       |       |          |       |          | 31840     |        | 900  |          | 850     |             |
| ALTERED RECREATION RM. / EXERCISE RM. | 295.0 | 5.9   | EXISTING | 5.9   | EXISTING | 10800     |        | 300  |          | 300     | FU-1 SUPPLY |
| NEW PORCH                             | 35.0  | N.R.  |          | 52.5  | 50 CFM   | 1400      |        | 100  | 52.5 CFM | 50 CFM  | EF-1 SUPPLY |
| TOTAL:                                |       |       |          |       |          | 13200     |        | 400  |          | 300     |             |
| NEW MASTER BEDROOM                    | 233.0 | 18.6  | EXISTING | 9.3   | EXISTING | 9320      |        | 300  |          | 300     | FU-2 SUPPLY |
| EXISTING BEDROOM #2                   | 163.0 | 13.2  | EXISTING | 6.6   | EXISTING | 6600      |        | 200  |          | 200     | FU-2 SUPPLY |
| ALTERED BEDROOM #3                    | 126.0 | 10.1  | EXISTING | 5.0   | EXISTING | 5040      |        | 150  |          | 150     | FU-2 SUPPLY |
| ALTERED BEDROOM #4                    | 130.0 | 10.4  | EXISTING | 5.2   | EXISTING | 5200      |        | 150  |          | 150     | FU-2 SUPPLY |
| NEW BEDROOM #5                        | 110.0 | 8.8   | EXISTING | 4.4   | EXISTING | 4400      |        | 150  |          | 150     | FU-2 SUPPLY |
| NEW MASTER BATH                       | 93.0  | N.R.  | EXISTING | 13.5  | 100 CFM  | 3720      |        | 150  | 35.5 CFM | 100 CFM | EF-2 SUPPLY |
| ALTERED BATH #2                       | 46.0  | N.R.  | EXISTING | 6.9   | 50 CFM   | 1840      |        | 100  | 6.9 CFM  | 50 CFM  | EF-1 SUPPLY |
| ALTERED BATH #3                       | 46.0  | N.R.  | EXISTING | 6.9   | 50 CFM   | 1840      |        | 100  | 6.9 CFM  | 50 CFM  | EF-1 SUPPLY |
| NEW BATH #4                           | 46.0  | N.R.  |          | 6.9   | 50 CFM   | 1840      |        | 100  | 6.9 CFM  | 50 CFM  | EF-1 SUPPLY |
| TOTAL:                                |       |       |          |       |          | 39800     |        | 1400 |          | 950     |             |

