



ZONING ADMINISTRATOR VIRTUAL MEETING AGENDA

MONDAY, JUNE 7, 2021 - 4:00 PM

In accordance with social distancing requirements and Governor Pritzker's Executive Order 2021-09 and Senate Bill 2135, the Winnetka Zoning Administrator meeting on Monday, June 7, 2021 **will be held virtually**. The meeting **will be livestreamed via the Zoom platform**. In accordance, with Public Act 101-0640, at least one representative from the Village will be present at Village Hall Council Chambers at 510 Green Bay Road, Winnetka, IL, and **the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location**. Pursuant to the Executive Order issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a "first-come, first-served" basis.**

The public has the following two options **for virtually observing and participating during this virtual Zoning Administrator meeting, including the ability to provide testimony or comments**. Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only)**. Call: 312-626-6799; when prompted enter the Webinar ID: 956 6015 4013 (Please note there is no additional passcode or attendee ID required.)
- 2) **Livestream (both audio and video feed)**. Download the Zoom meetings app to your smart phone, tablet, or computer, and then join Webinar ID: 956 6015 4013; Webinar Passcode: ZA060721

If you wish to **provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending **an email** to planning@winnetka.org;
- 2) By sending **a letter** to Community Development Department, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093; or
- 3) By leaving **a voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

Please be advised if, prior to the scheduled public hearing date, Governor Pritzker rescinds, or does not extend, his current disaster declaration allowing for remote meetings, the Village will be required to conduct public hearings in the traditional in-person format only, at Village Hall, 510 Green Bay Road, Winnetka Illinois in the Village Council Chambers. Please contact the Community Development Department at 847-716-3525 for confirmation of the meeting location.

All comments received prior to the posting of the agenda packet will be included in the agenda packet. All comments received after the agenda packet has been posted and received by 6:00 PM the day of the meeting will be read at the meeting by staff. Such public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable.

General comments for matters not on the agenda will be read at the end of the meeting under Public Comment. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

All emails received will be acknowledged either during or after the meeting, depending on when they are received.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

ZONING ADMINISTRATOR VIRTUAL MEETING AGENDA
MONDAY, JUNE 7, 2021 - 4:00 PM

AGENDA ITEMS

1. Call to Order.
2. Introductory Remarks Regarding Conduct of Virtual Meeting.
3. **Case No. 21-20-ZA: 904 Elm Street:** An application submitted by Leslie Pinsof and Hallie Pinsof seeking approval of a zoning variation to allow construction of a one-car detached garage at 904 Elm Street. The requested zoning variation would permit the detached garage to exceed the maximum permitted impermeable lot coverage; however, the proposed plan represents a reduction in the existing nonconforming impermeable lot coverage. The Zoning Administrator has final jurisdiction on this request.
4. **Case No. 21-18-ZA: 576 Elm Street:** An application submitted by Julie and Brad Ellis seeking approval of a zoning variation to allow the one-for-one replacement of the existing nonconforming screen porch at 576 Elm Street. The requested zoning variation would permit the screen porch to provide less than the minimum required corner (front) yard setback from Walnut Street. The Zoning Administrator has final jurisdiction on this request.
5. **Case No. 21-22-ZA: 982 Hill Road:** An application submitted by Pat and Mardi Hackett seeking approval of zoning variations to allow construction of additions to the existing residence at 982 Hill Road. The requested zoning variations would permit the additions to (i) provide less than the minimum required front yard setback from the east property line; and (ii) provide less than the minimum required total side yard setback. The Zoning Administrator has final jurisdiction on this request.
6. Public Comment.
7. Adjournment

Note: Public comment is permitted on all agenda items.

NOTICE

All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a virtual public hearing will be held by the Winnetka Zoning Administrator on **MONDAY, JUNE 7, 2021 AT 4:00 PM** for the purpose of considering the following:

CASE NO. 21-20-ZA

904 ELM STREET – DETACHED GARAGE

An application submitted by Leslie Pinsof and Hallie Pinsof (collectively, the “Applicant”), as the owners of the property located at 904 Elm Street (the “Subject Property”), **to allow construction of a one-car detached garage, which would replace the existing nonconforming detached garage on the Subject Property.** The Applicant has filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to exceed the maximum permitted impermeable lot coverage.

The Subject Property (Parcel Index Number 05-20-210-014-0000) is generally located on the south side of Elm Street, between Birch Street and Provident Avenue, and is zoned R-5 Single Family Residential. The Subject Property contains an existing one-story residence and a one-car detached garage.

VIRTUAL HEARING PUBLIC PARTICIPATION OPTIONS

In accordance with social distancing requirements and Governor Pritzker’s Executive Order 2021-09 and Senate Bill 2135, **the Winnetka Zoning Administrator meeting will be held virtually. The meeting will be livestreamed via the Zoom platform. In accordance with Public Act 101-0640, at least one representative from the Village will be present at Village Hall, and the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location.** Pursuant to the Executive Order issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a “first-come, first-served” basis.** The agenda and meeting materials for this meeting will be posted no later than the end of the day on Thursday, May 27, 2021 at www.villageofwinnetka.org/agendacenter.

The public has the following two options **for observing and participating during this virtual Zoning Administrator meeting, including the ability to provide testimony or comments.** Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

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- 2) **Livestream (both audio and video feed).** Download the Zoom meetings app to your smart phone, tablet or computer, and then join Webinar ID – 956 6015 4013, Webinar Passcode – ZA060721

Any changes to the above virtual meeting information will be included in the Zoning Administrator agenda posted at www.villageofwinnetka.org/agendacenter.

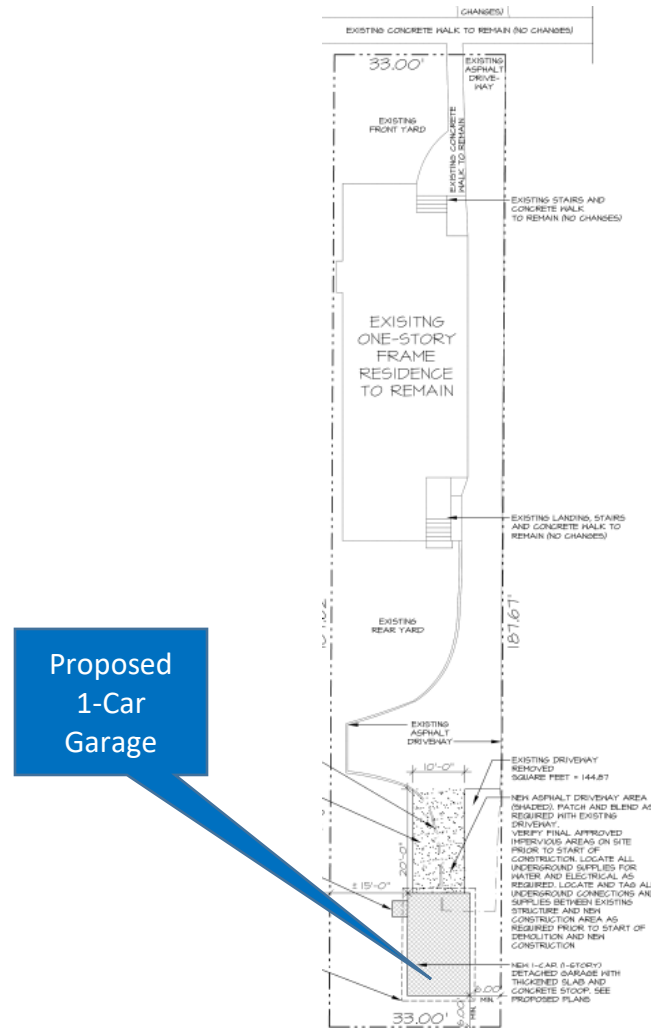
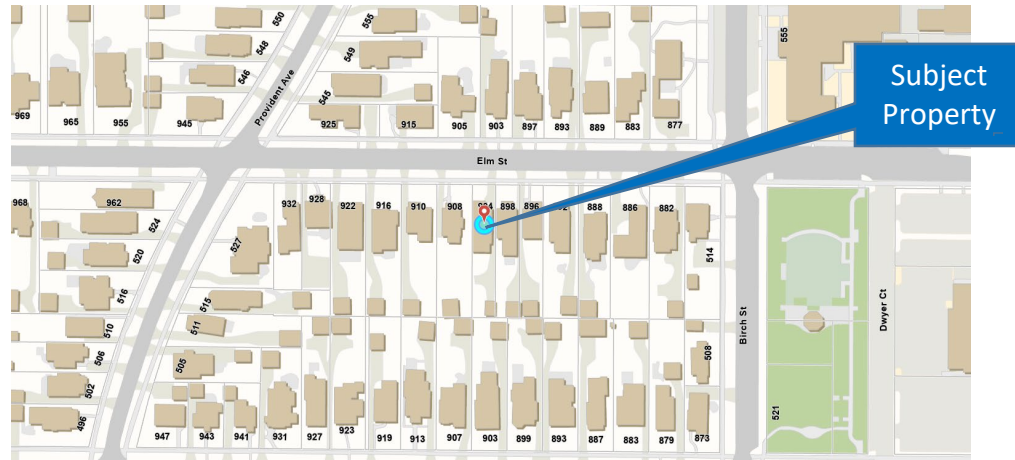
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- 1) By sending **an email** to planning@winnetka.org;
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The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093 [Telephone: (847) 716-3543; T.T.Y.: (847) 501-6041].



VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

RECEIVED
MAY - 7 2021
Case No. 21-20-2A

Property Information

Site Address: 904 ELM STREET

OSMA VA2001-486

Owner Information

Name: HALLIE PINSOFF / LESLIE PINSOFF

Primary Contact: LESLIE S. PINSOFF

Address: 25 INDIAN HILL RD

Phone No. 773-718-7155

City, State, ZIP: WINNETKA, IL 60093

Email: LSPINSOFF@GMAIL.COM

Date property acquired by owner: 6-19-2015

Architect Information

Name: ASPECT DESIGN, INC.

Attorney Information

Name: GARY SHULMAN

Primary Contact: JEFF LETZTER, PROJECT MGR.

Primary Contact: SAME

Address: 216575 COMMERCE DR. SUITE 607

Address: LEEVON, GOODMAN & COHEN, LLP

City, State, ZIP: Volo, IL 60073

City, State, Zip: 500 SIOUX BLVD. NORTHBROOK, IL 60062

Phone No. 847-457-2500

Phone No. 847-849-5111

Email: JLEZTER@ASPECTDESIGNINC.COM

Email:

Nature of any restrictions on property:

Brief explanation of variation(s) requested (attach separate sheet providing additional details):

CONTINUATION OF USE FOR NEW GARAGE DETACHED THAT HAS
IMPERMEABLE SURFACE LOT COVERAGE OVERAGE. PROPOSED WILL
DECREASE BY 47.92 SF OF CURRENT OVERAGE.

Property Owner Signature: (SEE ATTACHED)

Date: 3-9-21

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. _____

Property Information

Site Address: 904 ELM STREET

Owner Information

Name: Halie Pindot / Leslie Pindot
Address: 25 Linden Hill Rd
City, State, ZIP: Winnetka, IL 60093
Email: lpindot@qnyl.com

Primary Contact:

Leslie S. Pindot
Phone No. 773-718-7155

Date property acquired by owner: 6/19/15

Architect Information

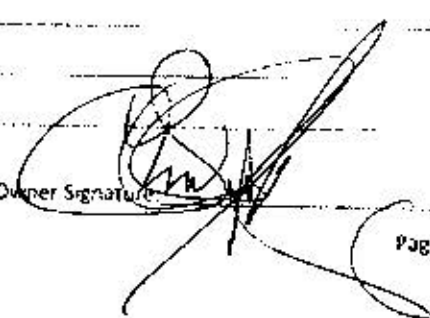
Name: ASPECT DESIGN, INC.
Primary Contact: JEFF LEITZER, PROJECT MGR.
Address: 26575 CONNOR DR SUITE 607
City, State, ZIP: NO. H. 60073
Phone No. 847-451-2300
Email: JLEITZER@ASPECTDESIGNINC.COM

Attorney Information

Name: GARY SHULMAN
Primary Contact: II
Address: LEAVIN, GOODMAN & CASHEN, LLP
City, State, Zip: 500 STOKIE BLVD. NORTHBRAKE
Phone No. 847-849-5111 IL 60062
Email: gshulman@qclaw.com

Nature of any restrictions on property: _____

Brief explanation of variation(s) requested (attach separate sheet providing additional details): _____

Property Owner Signature: 

Date 3/30/21





April 14, 2021

Village of Winnetka
Zoning Variation
Standards for Granting of Zoning Variations

Re: Pinsof residence / Project Location: 904 Elm Street Winnetka, IL

To: Ann Klaassen and Zoning Board of Appeals,

904 Elm Street is the home of Hallie Pinsof. Hallie and her father Leslie purchased the home on June 19th 2015. The current garage is in dire condition and their goal is to remove this garage and build a new garage similar in size and moved to meet current zoning setbacks for accessory structures. The current home and garage is existing non-conforming in regards to Impermeable Lot coverage. It currently is over by 538.5 square feet of the allowed 3096.50 square feet. The proposed plan would reduce this number by 46.62 square feet. No other variances are required.

1. Without a variance due to the size of the existing property the property cannot yield a reasonable return without a minimal garage.
2. The plight of owner is due to the size of the property and the proposed plan reduces the current amount of non-conformity.
3. The variation if granted will not change, will not alter, but improve the essential character of the neighborhood.
4. An adequate supply of light and air to adjacent property will improve by the proposed being moved from the current location to be located farther away from property lines.
5. The hazard from fire and other damages to the property will not be increased only diminish.
6. The taxable value of the land and buildings throughout the Village will not diminish, only improve.
7. The congestion in the public street will not increase staying the same.
8. The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired by this variation.



In conclusion by allowing a variance for the continued use of the non-conforming home and garage will allow the enhancement of the property while continuing the *essential character* of the neighborhood.

Aspect Design, Inc.

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM REG. 184-003023

7100 N. TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

TEL: (847) 675-3000
FAX: (847) 675-2167
e-mail: pa@professionalsassociated.com

PLAT OF SURVEY

OF



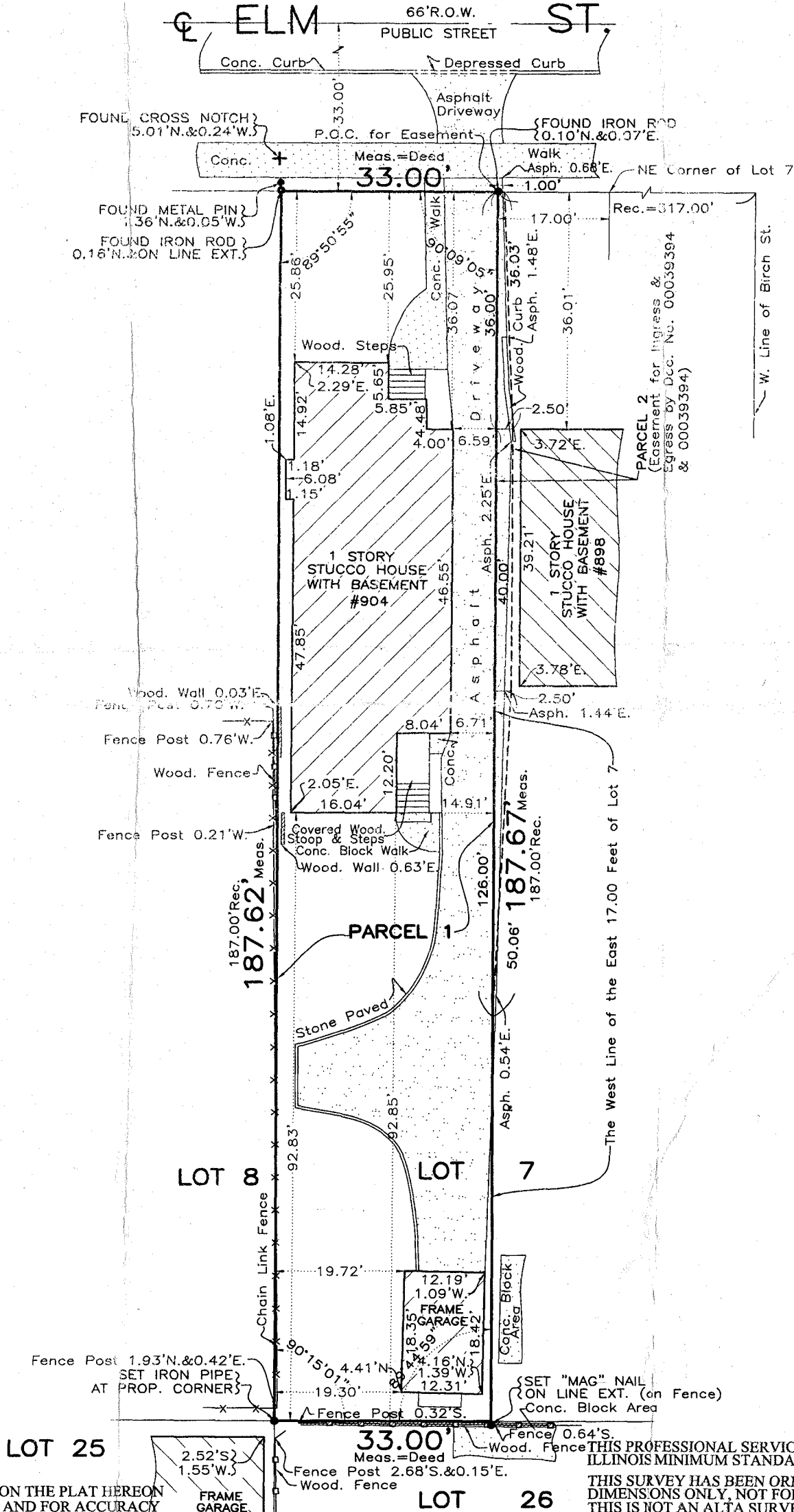
PARCEL 1: LOT 7 (EXCEPT THE EAST 17 FEET THEREOF) IN BLOCK 5 IN PROVIDENT MUTUAL LAND ASSOCIATION SUBDIVISION OF BLOCKS 7 TO 12, 28 TO 33 AND 54 TO 59 IN THE VILLAGE OF WINNETKA A SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
PARCEL 2: EASEMENT IN FAVOR OF PARCEL 1 AS CREATED BY GRANT OF EASEMENT MADE BY AND BETWEEN HOLLY RODGERS JORDAN, AS TRUSTEE OF THE HOLLY RODGERS JORDAN DECLARATION OF TRUST, DATED SEPTEMBER 2, 1998 AND HELEN A. DOEPEL, DATED JANUARY 10, 2000 AND RECORDED JANUARY 18, 2000 AS DOCUMENT 00039394, FOR PURPOSES OF VEHICULAR AND PEDESTRIAN INGRESS, EGRESS AND DRIVEWAY PURPOSES TO AND FROM SAID LOT 7, AND REPLACEMENT, MAINTENANCE AND REPAIR OF THE DRIVEWAY LOCATED ON THE EASEMENT PARCEL, AS DEFINED THEREIN AND FURTHER REFER TO THE GRANT OF EASEMENT RECORDED AS DOCUMENT 00039394.

LAND TOTAL AREA: 6,192.26 SQ.FT. = 0.142 ACRE.

GRAPHIC SCALE COMMONLY KNOWN AS: 904 ELM STREET, WINNETKA, ILLINOIS.

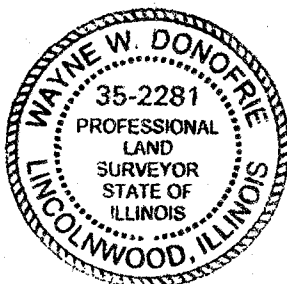


(IN FEET)
1 Inch = 20 Ft.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

Order No. 15-88877
Scale: 1 inch = 20 feet.
Date of Field Work: May 19, 2015.
Ordered by: Francis J. Zeman, Jr.
Attorney at Law



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

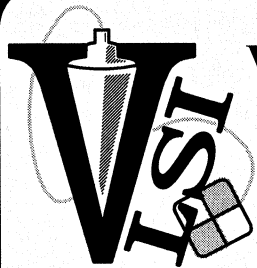
THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
County of Cook

We, PROFESSIONALS ASSOCIATED SURVEY, INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

Date: May 16, 2015
IL. PROF. LAND SURVEYOR LICENSE EXP. DATE NOV. 30, 2016.
Drawn by: J.V.



Vanderstappen
Land Surveying, Inc.
www.vandersinc.com
1316 N. Madison St.
Woodstock, Illinois 60098
ph. 815-337-8310 fax 815-337-8314
"Always faithful to the property line"

BOUNDARY AND TOPOGRAPHIC SURVEY

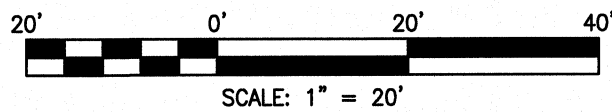
PARCEL 1:

Lot 7 (except the East 17 feet thereof) in Block 5 in Provident Mutual Land Association Subdivision of Blocks 7 to 12, 28 to 33 and 54 to 59 in the Village of Winnetka a Subdivision of the West Half of the Northeast Quarter of Section 20, Township 42 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois.

PARCEL 2:

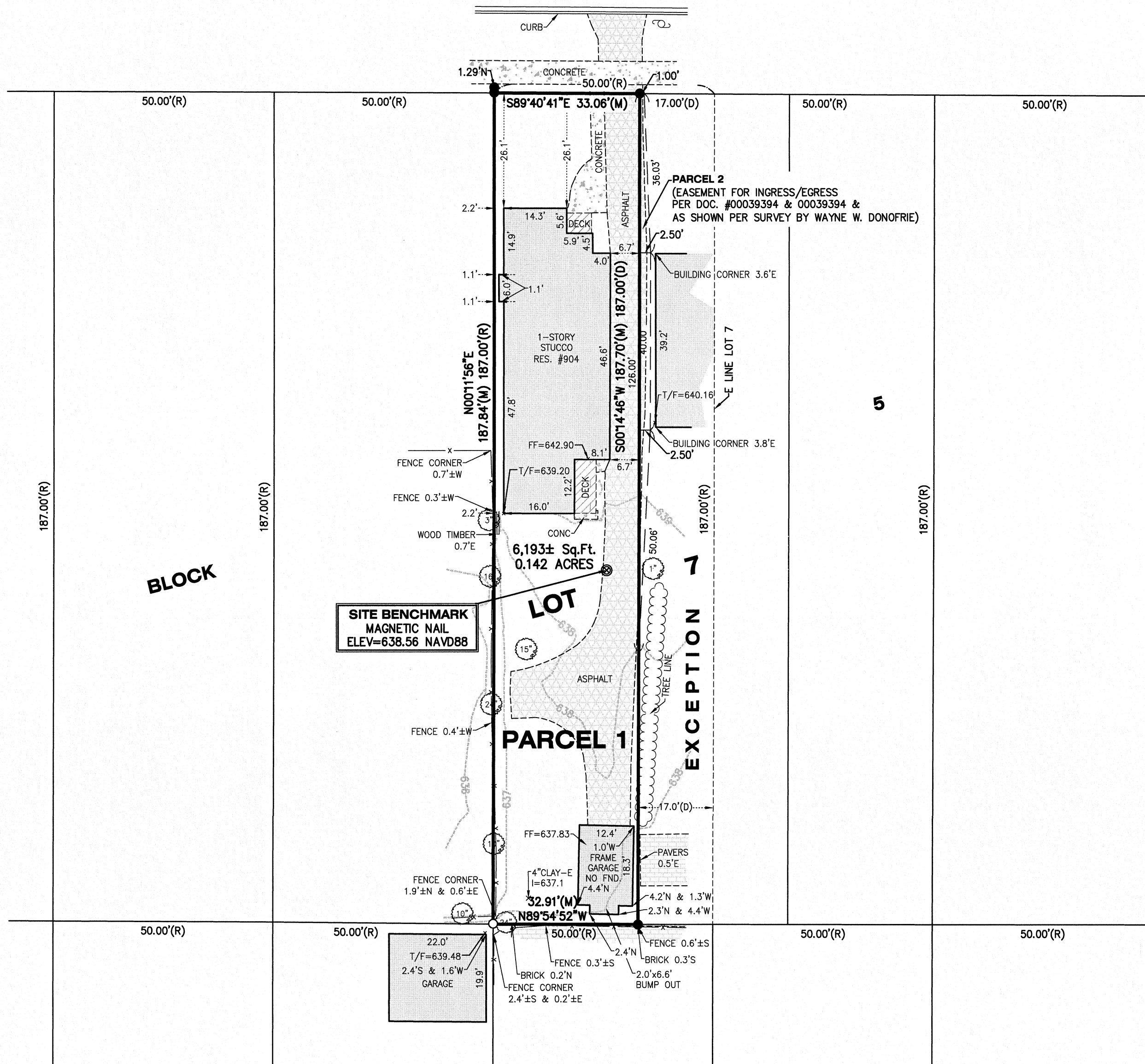
Easement in favor of Parcel 1 as created by Grant of Easement made by and between Holly Rodgers Jordan, as trustee of the Holly Rodgers Jordan declaration of Trust, dated September 2, 1998 and Helen A. Doepel, dated January 10, 2000 and recorded January 18, 2000 as Document No. 00039394, for purposes of vehicular and pedestrian ingress, egress and driveway purposes to and from said Lot 7, and replacement, maintenance and repair of the driveway located on the easement parcel, as defined therein and further refer to the grant of easement recorded as Document No. 00039394.

PROJECT BENCHMARK
VILLAGE OF WINNETKA
MARK "17-SC"
ELEV=653.26 NAVD88



ELM

STREET



LEGEND

●	FOUND IRON BAR
○	FOUND IRON PIPE
⊠	FOUND MONUMENT
⊙	SET MAG NAIL
⊗	TREE
⊕	UTILITY POLE
(M)	MEASURED
(R)	RECORD
(D)	DEED

SURFACE TABLE

	IMPERVIOUS (Sq.Ft.)	PERVIOUS (Sq.Ft.)
EXISTING	3,635	2,558

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.

- * No distance should be assumed by scaling.
- * No underground improvements have been located unless shown and noted.
- * No representation as to ownership, use, or possession should be hereon implied.
- * This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

05/06/21 - ADDED SURFACE TABLE PER CLIENT REQUEST - CKV

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

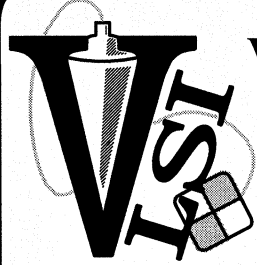
In my professional opinion, and based on my observations, I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of the said survey. This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.

Dated at Woodstock, McHenry County, Illinois 12/23 A.D., 20 20.

Vanderstappen Land Surveying Inc.
Design Firm No. 184-002792

By:
Illinois Professional Land Surveyor No. 2709

CLIENT: NELSON CONSTRUCTION & REMODELING
DRAWN BY: CKV CHECKED BY: WJV
SCALE: 1"=30' SEC. 20 T. 43 R. 13 E.
BASIS OF BEARING: ASSUMED
P.I.N.: 05-20-210-014
JOB NO.: 201143 I.D. TPB
FIELDWORK COMP.: 12/21/20 BK. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL
PARTS THEREOF CORRECTED TO 68° F.



Vanderstappen
Land Surveying, Inc.

www.vandersinc.com
1316 N. Madison St.
Woodstock, Illinois 60098
ph. 815-337-8310 fax 815-337-8314
"Always faithful to the property line"

SITE PLAN

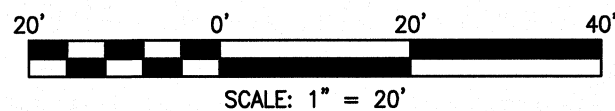
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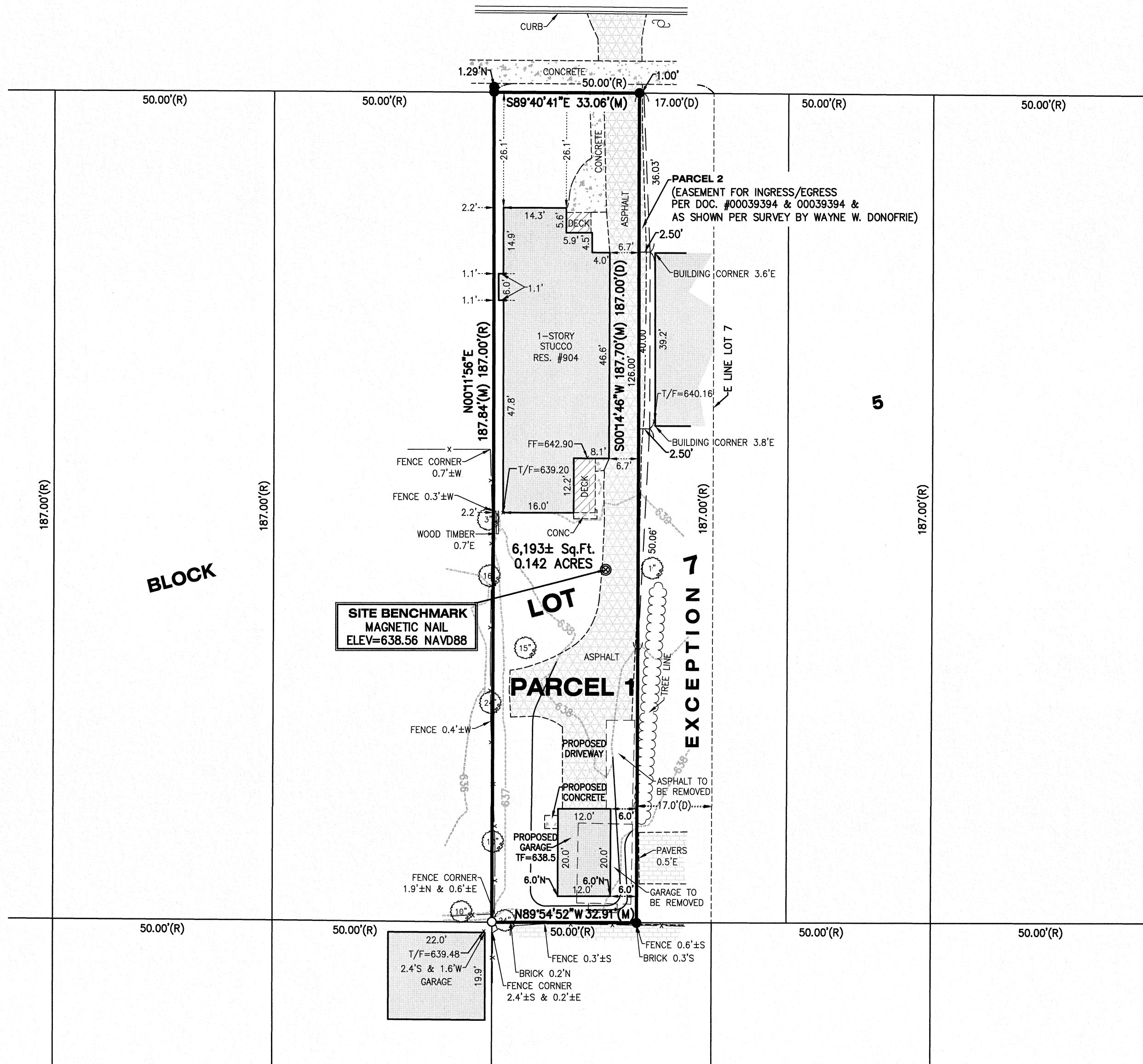
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PROJECT BENCHMARK
VILLAGE OF WINNETKA
MARK "17-SC"
ELEV=653.26 NAVD88



ELM

STREET



SITE BENCHMARK
MAGNETIC NAIL
ELEV=638.56 NAVD88

LOT

PARCEL 1

EXCEPTION 7

LEGEND

●	FOUND IRON BAR
○	FOUND IRON PIPE
⊗	FOUND MONUMENT
⊙	SET MAG NAIL
○	TREE
⊕	UTILITY POLE
(M)	MEASURED
(R)	RECORD
(D)	DEED

SURFACE TABLE

	IMPERVIOUS (Sq.Ft.)	PERVIOUS (Sq.Ft.)
PROPOSED	3,582	2,611

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.

- * No distance should be assumed by scaling.
- * No underground improvements have been located unless shown and noted.
- * No representation as to ownership, use, or possession should be hereon implied.
- * This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

REVISED 5/07/2021 - REVISED PER CLIENT REQUEST - CKV

REVISED 5/06/2021 - REVISED PER CLIENT REQUEST - CKV

REVISED 1/11/2021 - ADDED SURFACE TABLE PER CLIENT REQUEST - SES

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

In my professional opinion, and based on my observations, I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of the said survey. This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.

Dated at Woodstock, McHenry County, Illinois 12/23 A.D., 20 20.

Vanderstappen Land Surveying Inc.
Design Firm No. 184-002792

By: *Wm. A. Vanderstappen*
Illinois Professional Land Surveyor No. 2709

CLIENT: NELSON CONSTRUCTION & REMODELING
DRAWN BY: CKV CHECKED BY: WJV
SCALE: 1"=30' SEC. 20 T. 43 R. 13 E.
BASIS OF BEARING: ASSUMED
P.I.N.: 05-20-210-014
JOB NO.: 201143-A I.D. SPR
FIELDWORK COMP.: 12/21/20 BK. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL REF:
PARTS THEREOF CORRECTED TO 68° F.

PROJECT:
DETACHED
1-CAR GARAGE

904 ELM STREET
WINNETKA, IL 60093
COOK COUNTY

DETACHED
2-CAR GARAGE

NEW CONSTRUCTION
904 ELM STREET
WINNETKA, IL 60093

NELSON
CONSTRUCTION, INC.

4912 N. RICHMOND ROAD
RINGWOOD, IL 60072
PHONE: (815) 243-3720

REVIEW	11/09/2020
ISSUE FOR ZONING REVIEW	03/01/2021
REVISED ZONING REVIEW SET	03/25/2021
REVISED	05/03/2021
REVISED	05/17/2021

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 184-004354

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD20196
DRAWN BY:	COM/ NH
904 ELM STREET TITLE SHEET & GEN. NOTES	

A 01

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO ALL APPLICABLE LOCAL AND NATIONAL CODES.

2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE
2014 STATE OF ILLINOIS PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL FIRE CODE
2016 STATE OF ILLINOIS ENERGY CONSERVATION CODE

EACH CONTRACTOR SHALL REVIEW AND VERIFY THE PLANS AND FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE GENERAL CONTRACTOR. ALL DISCREPANCIES SHALL BE RESOLVED BEFORE THE START OF CONSTRUCTION.

ALL CONTRACTORS SHALL COORDINATE WITH ALL OTHER CONTRACTORS PRIOR TO AND DURING CONSTRUCTION.

DO NOT SCALE DRAWINGS.

ALL MATERIALS, EQUIPMENT, STRUCTURAL ELEMENTS, FINISHES, WINDOWS, DOORS, ETC., WHETHER PRE-MANUFACTURED OR SITE BUILT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE ON SITE DURING CONSTRUCTION AND SHALL LEAVE THE WORK AREA "BROOM CLEAN" DAILY, REMOVE WASTE BUILDING MATERIAL WEEKLY.

THE ARCHITECT IS NOT ENGAGED FOR SUPERVISION AND ASSUMES NO SUCH RESPONSIBILITY.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, TECHNIQUES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

THE OWNER / CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROPRIATE PERMITS AND INSURANCE FOR CONSTRUCTION AND OCCUPANCY.

THE OWNER / GENERAL CONTRACTOR TO CHOOSE FIXTURES, APPLIANCES, FINISHES (PAINT, WALL COVERINGS, TILE, LAMINATES, CABINETRY COLORS, HARDWARE, FURNITURE ETC., UNLESS NOTED OTHERWISE, SUB - CONTRACTORS TO SUPPLY SAMPLES TO THE OWNER/ GENERAL CONTRACTOR FOR FINAL APPROVAL PRIOR TO START OF CONSTRUCTION.

ALL SURFACES AND CONSTRUCTION SHALL BE ADEQUATELY BRACED AND PROTECTED.

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

WHERE THE TERM "APPROVED EQUAL" IS USED IN THE DRAWINGS OR SPECIFICATIONS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMIT ACTUAL SAMPLES AND ANY NECESSARY TECHNICAL DATA OR INFORMATION OF ALL PROPOSED SUBSTITUTIONS.

THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND HIS AGENTS FOR AND AGAINST ALL SUITS, CLAIMS OR LIABILITY ON ACCOUNT OF PERSONAL INJURIES OR PROPERTY DAMAGES ARISING OUT OF NEGLIGENT ACTS OF THE CONTRACTOR IN THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.

ALL SOIL BORINGS OR SOIL REPORTS ARE BY OTHERS AND NOT INCLUDED IN THIS SET.

SITE WORK

(AS APPLICABLE)

THE CONTRACTOR SHALL VERIFY SITE AND EXISTING CONSTRUCTION CONDITIONS ESPECIALLY UNDERGROUND AND OVERHEAD UTILITY SERVICES.

THE THICKENED SLAB DESIGN TO BEAR ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 3000 P.S.F.

IF THE EXISTING UNDISTURBED SOIL CONDITIONS ARE DETERMINED, BY THE GENERAL CONTRACTOR AND OWNERS AGENT, TO BE OF INADEQUATE BEARING CAPACITY AT THE DESIGN DEPTH AT THE TIME OF EXCAVATION, THEN AN ILLINOIS LICENSED GEOTECHNICAL ENGINEER SHALL REVIEW THE EXISTING CONDITIONS AND PREPARE A WRITTEN REPORT TO BE SUBMITTED TO THE ARCHITECT AND THE BUILDING DEPARTMENT. THE REPORT SHALL INCLUDE THE DEPTH AND CAPACITY OF THE EXISTING SOIL BEARING CONDITIONS AND INCLUDE RECOMMENDATIONS FOR FOOTING DESIGN. THE REPORT SHALL BE SUBMITTED TO THE ARCHITECT AND BUILDING DEPARTMENT PRIOR TO THE START OF FOOTING FORM WORK.

THE FOUNDATION WALL HAS BEEN DESIGNED BASED ON SOIL CLASSIFICATIONS SC.ML-CL AND MORGANIC CL AND A LATERAL SOIL DESIGN LOAD OF 60 PSF PER FOOT OF DEPTH PER THE INTERNATIONAL RESIDENTIAL CODE.

THICKENED SLAB SHALL BE MIN. 12" BELOW THE TOP OF APPROVED FINISHED FINAL GRADE.

VERIFY FOOTING STEPS WITH FINAL APPROVED FINISH GRADE.

STOOP CONCRETE ARMS SHALL BE PLACED ON UNDISTURBED SOIL.

THICKENED SLAB OVER EXISTING DEBRIS AREA OR EXCAVATED AREA SHALL BE INSTALLED ON EITHER COMPACTED ENGINEERED FILL OR STEPPED FOOTINGS SHALL BE PROVIDED.

CONCRETE WORK

(AS APPLICABLE)

ALL CONCRETE WORK SHALL CONFORM TO ACI 318 OF THE AMERICAN CONCRETE INSTITUTE FOR UNREINFORCED CONCRETE.

ALL CONCRETE WORK SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.

ALL CONCRETE WORK SHALL COMPLY TO THE ACI STANDARDS FOR HOT AND COLD WEATHER CONCRETING.

METALS

(AS APPLICABLE)

ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM WITH THE APPROPRIATE ASTM SPECIFICATIONS AND STANDARDS AS FOLLOWS: ASTM A36, ASTM A572, ASTM A501, ASTM A307 AND ASTM A322 FOR BEAMS.

ALL STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.

STEEL CONNECTIONS SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH STANDARD AISC CONNECTIONS (BOLTED OR WELDED, UNLESS OTHERWISE NOTED ON THE DRAWINGS) BY THE STEEL CONTRACTOR AND SHALL BE SUBMITTED TO THE ARCHITECT / ENGINEER FOR REVIEW.

MASONRY

N/A

PLUMBING

N/A

MECHANICAL

N/A

GENERAL NOTES

CARPENTRY NOTES

(AS APPLICABLE)

ALL INTERIOR PARTITIONS ARE BASED ON 3 1/2" UNLESS OTHERWISE NOTED.

ALL UNSUPPORTED FRAME WALLS 12'-0" OR TALLER SHALL BE FRAMED WITH 2x6 STUDS AT 16" ON CENTER UNLESS NOTED OTHERWISE.

PROVIDE 2x6 STUDS IN LIEU OF 2x4 FOR FOR FRAME WALLS DRILLED FOR PLUMBING PIPES .

ALL CANTILEVERS TO BE A MINIMUM 2:1 RATIO PER THE CURRENT CODE.

PROVIDE CROSS BRIDGING FOR ALL FLOOR JOISTS SPANNING 15'-0" OR GREATER. MINIMUM 8'-0" ON CENTER OR PER ENGINEERED JOIST MANUFACTURER'S SPECIFICATIONS.

ALL LOAD BEARING HEADERS SHALL BE (2) 2x12 WITH 1/2" PLYWOOD SPACER UNLESS OTHER WISE NOTED. INSTALL DOUBLE CRIPPLES EACH SIDE FOR ALL SPANS OVER 6'-0" OR AS OTHERWISE NOTED ON THE PLANS.

SEE FIREBLOCKING NOTES FOR ALL FIREBLOCKING MATERIALS AND LOCATIONS.

INSTALL SQUASH BLOCKING AT ALL JOIST BAYS BELOW CONCENTRATED BEAM AND POST LOADS.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR ANCHORAGE FOR ALL SHELVING, CABINETRY AND TOILET ACCESSORIES. VERIFY LOCATIONS WITH OWNER.

ALL FLOOR JOISTS FRAMED TO FLUSH HEADERS SHALL BE CONNECTED WITH APPROPRIATE METAL JOIST HANGERS.

ALL ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE SHALL BE PROTECTED WITH MINIMUM 1/2" DRYNALL.

ALL EXTERIOR DECK FRAMING, DECKING MATERIAL, RAILS, TREADS, ETC. SHALL BE APPROVED PRESSURE PRESERVATIVE TREATED.

ALL METAL CONNECTORS, HANGERS, BRACKETS, NAILS, SCREWS, ETC., IN CONTACT WITH TREATED LUMBER SHALL BE APPROVED TO BE COMPATIBLE WITH THE TREATED LUMBER AND/ OR SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER, AND COMPLY WITH THE CODE.

PROVIDE CONCEALED GALVANIZED OR ALUMINUM SHEET METAL FLASHING AT ALL WALL/ ROOF JUNCTIONS AND AS REQUIRED FOR WATERPROOF CONSTRUCTION.

DOORS AND WINDOWS

(AS APPLICABLE)

ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE CODE.

A MINIMUM OF ONE WINDOW PER SLEEPING AREA SHALL COMPLY WITH THE FOLLOWING MINIMUM EGRESS REQUIREMENTS:

MINIMUM OPENING AREA	5.7 SQ. FT. (5.0 SQ. FT. FOR WINDOWS AT GRADE LEVEL)
MINIMUM OPENING WIDTH	20" CLEAR
MINIMUM OPENING HEIGHT	24" CLEAR

THE OPENING OF AN OPERABLE WINDOWS LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED, OR THE WINDOW SHALL BE PROVIDED WITH A FIXED WINDOW HAVE AN OPENING THROUGH WHICH A 4" DIAMETER SPHERE CAN NOT PASS, OR HAVE AN APPROVED FALL PREVENTION DEVICE.

ELECTRICAL

(AS APPLICABLE)

ELECTRICAL PLANS AND NOTES

THERMAL AND MOISTURE PROTECTION

N/A

FIREBLOCKING NOTES

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVEL.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC..
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RIM.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NON COMBUSTIBLE MATERIALS.
- ALL FURRING, PARTITIONS, EXTERIOR WALLS AT EACH FLOOR AND CEILING LEVEL, AND AT THE JUNCTURE OF THE ROOF RAFTERS AND WALL.
- ALL OPEN SOFFIT AREAS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" DRYNALL.

EXCEPT AS PROVIDED IN ITEMS 4 AND 6 ABOVE, FIREBLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, OR TWO THICKNESSES OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE THICKNESS OF .25/32 INCH 0.5B. WITH JOINTS BACKED BY .25/32 INCH 0.5B, OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD, OR OTHER APPROVED MATERIALS.

THE INTEGRITY OF ALL FIRE STOPS SHALL BE MAINTAINED.

NOTES:

ALL FIREBLOCKINGS AND DRAFT STOPPINGS SHALL MEET REQUIREMENTS OF IRC R602.8 AND RELATED SECTIONS, AND TABLES AND IRC R502.12 AND RELATED SECTIONS.

PROVIDE 5/8" FIRE-RESISTANT DRYWALL TO UNDERSIDE OF ALL 1 JOIST FLOOR CONSTRUCTION AND PROVIDE APPROVED DRAFTSTOPPING FOR EVERY 1000 SQ. FT. OF FLOOR AREA

ENERGY CODE

THE NEW CONSTRUCTION HAS BEEN DESIGNED TO COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS FOLLOWS:

RESIDENCE (CONDITIONED SPACES) MIN. VALUES:

WALLS:	R-20 BATT INSULATION
ATTIC:	R-48 BATT INSULATION WITH VAPOR BARRIER
FLOORS:	R-30 BATT INSULATION WITH VAPOR BARRIER
SLOPED CEILING:	R-48 CLOSED CELL SPRAY FOAM OR RIGID INSULATION
BASEMENT WALLS:	R-13 BATT INSULATION CAVITY WALL INSULATION
CONCRETE SLAB ON GRADE:	R-10 RIGID FOAM INSULATION AND MIN 2'-0" DEEP AT FOUNDATION WALLS

(ALL NON-CONDITIONED SPACES / STRUCTURES / DETACHED FROM CONDITIONED STRUCTURES SHALL NOT BE REQUIRED FOR VALUES LISTED ABOVE.)

ALL VALUES LISTED ABOVE ARE FOR OWNER APPROVED / GC VERIFIED AND LISTED AS OPTIONAL UPGRADES IN THIS SET BASED UPON FINAL OWNER / GC APPROVAL FOLLOWING FINAL PRICING APPROVALS FOR ENTIRE SCOPE OF WORK AND SHALL BE CONFIRMED PRIOR TO START OF NEW CONSTRUCTION.

WINDOWS:	U-0.30 (MAXIMUM)
DOORS:	U-0.30 (MAXIMUM)
GARAGE OVERHEAD DOORS:	U-0.35 (MAXIMUM)

HVAC DUCTS INSTALLED IN UNCONDITIONED SPACE:
(ATTICS ETC.) R-8

MAXIMUM ALLOWABLE AIR LEAKAGE PER SECTION R402.4.3:
WINDOWS 0.3 CFM PER SQ. FT.
SNING DOORS 0.5 CFM PER SQ. FT.

ALL EXPOSED RIGID OR SPRAY FOAM INSULATION INSTALLED IN THE ATTIC SHALL BE COMPLETELY ENCLOSED OR PROVIDED WITH AN APPROVED THERMAL BARRIER

ALL AIR BARRIERS AND INSULATION SHALL BE INSTALLED IN COMPLIANCE WITH TABLE R402.4.1.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.

ALL FOUNDATION WALLS SHALL BE INSULATED FROM THE TOP OF THE WALL TO THE TOP OF THE BASEMENT FLOOR BELOW.

THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE SHALL BE APPLIED TO THE ENTIRE PROJECT USING CLIMATE ZONE 5.

THE DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT TO EXCEED 4 AIR CHANGES PER HOUR, IN ACCORDANCE WITH ASTM E 1191 OR ASTM E 1821. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASGALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE BUILDER OR REGISTERED DESIGN PROFESSIONAL SHALL COMPLETE THE CERTIFICATE. THE CERTIFICATE SHALL LIST ALL PREDOMINANT R VALUES, PENETRATION U-FACTORS AND THE SOLAR HEAT GAIN COEFFICIENTS. THIS CERTIFICATE SHALL ALSO LIST THE TYPE AND EFFICIENCY RATINGS OF THE HEATING, COOLING AND WATER HEATING EQUIPMENT.

THE MAINTENANCE INSTRUCTIONS AND EQUIPMENT MANUALS SHALL BE FURNISHED WITH ALL MECHANICAL EQUIPMENT OUTLINING REQUIRED REGULAR PREVENTATIVE MAINTENANCE.

NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTINGS FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

INSULATE ALL HOT WATER PIPING IN ACCORDANCE WITH THE 2018 IECC.

ALL FIREPLACES SHALL HAVE TIGHT FITTING DAMPERS AND OUTSIDE AIR INTAKE.

PROVIDE MINIMUM R-12 RIGID FOAM OR SPRAY FOAM INSULATION BETWEEN THE EXTERIOR WALL SHEATHING AND ALL ELECTRICAL PIPES, BOXES, DEVICES ETC AND ALL PLUMBING PIPES LOCATED IN EXTERIOR WALLS.

STRUCTURAL DESIGN CRITERIA

	DESIGN LOADS	
FLOOR	40 P.S.F.-LL.	10 P.S.F.-DL. LIVING SPACE
ATTIC	20 P.S.F.-LL.	10 P.S.F.-DL. ATTIC STORAGE
ROOF	30 P.S.F.-LL.	10 P.S.F.-DL. SNOW LOAD
CATHEDRAL CEILING	30 P.S.F.-LL.	15 P.S.F.-DL. SNOW LOAD
DECKS	40 P.S.F.-LL.	10 P.S.F.-DL.
WIND LOAD	40 P.S.F.	

ALL FLOOR AND CEILING JOISTS, ROOF RAFTERS, BEAMS AND HEADERS SHALL BE DOMESTIC HEM FIR #2 UNLESS OTHERWISE NOTED. MINIMUM E = 1,300,000 P.S.I. AND MINIMUM BASE FB = 850 OR BETTER.

ALL STRUCTURAL WOOD POSTS SHALL BE S-P-F STRUCTURAL GRADE OR BETTER.

PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, BATHTUBS, WASHER, DRYER, AND OTHER STATIONARY APPLIANCES.

MINIMUM IN GRADE BASE VALUES FOR STUDS:

FIRST FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,400,000	Fc = 825
FIRST FLOOR INTERIOR LOAD BEARING WALLS	E = 1,200,000	Fc = 800
SECOND FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,200,000	Fc = 800
SECOND FLOOR INTERIOR LOAD BEARING WALLS	E = 1,000,000	Fc = 600
ALL NON LOAD BEARING WALLS	E = 1,000,000	Fc = 600

EXTERIOR DECK STRUCTURAL FRAMING LUMBER:

ALL DECK STRUCTURAL FRAMING HAS BEEN DESIGNED BASED UPON #2 SOUTHERN YELLOW PINE OF U.S. ORIGIN AS CLASSIFIED BY THE SOUTHERN PINE MARKETING COUNCIL.

Fb: 2x8 = 1380 P.S.I. / 2x10 = 1210 P.S.I. / 2x12 = 1120 P.S.I. / E = 1,600,000

ENGINEERED WOOD PRODUCTS:

MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLAMBS AND PARALLAMBS AS MANUFACTURED BY TRUS-JOIST.

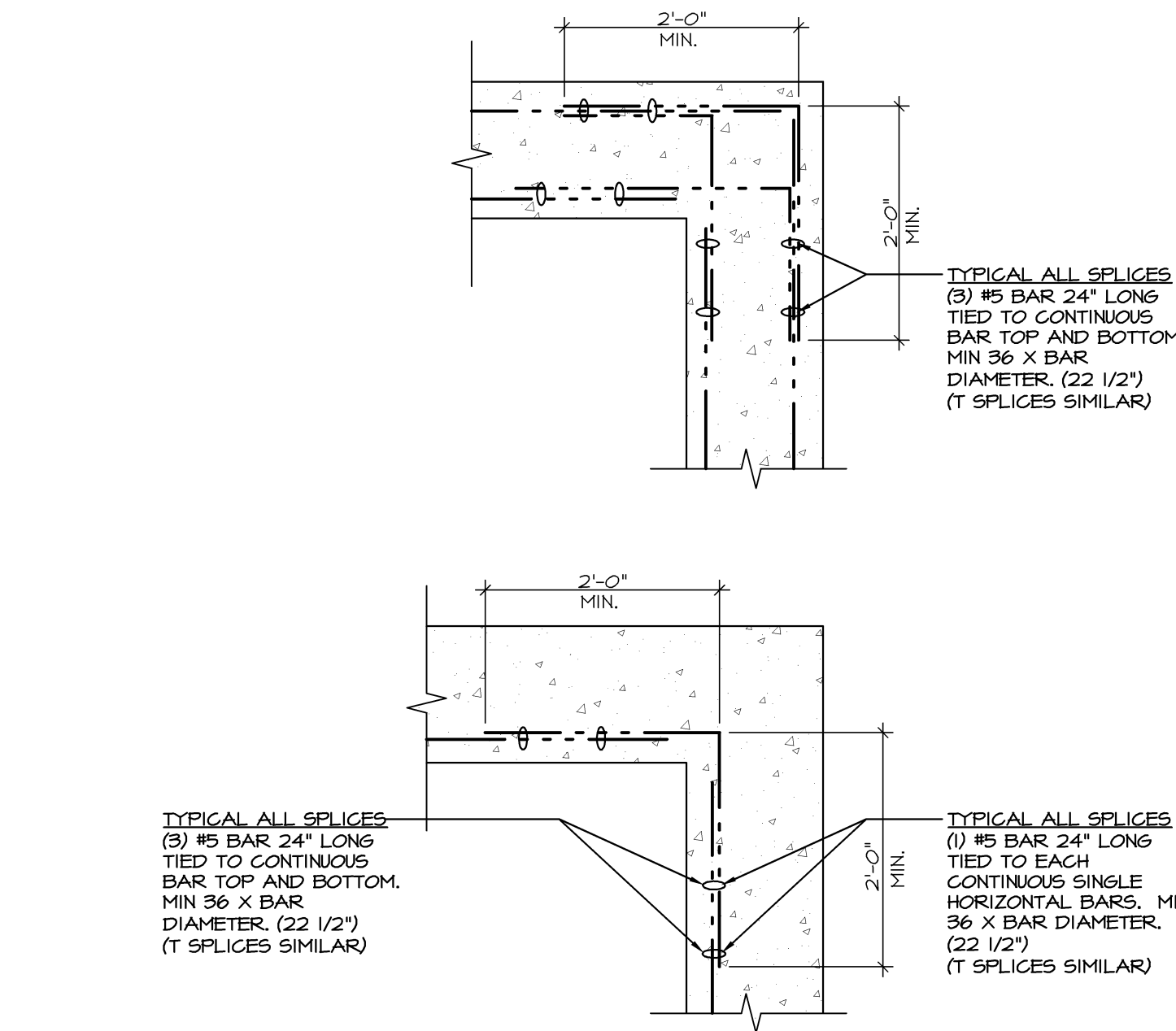
1.9 MICROLAMBS	Fb = 2600 P.S.I.	E = 1,900,000 P.S.I.
2.0 PARALLAMBS	Fb = 2400 P.S.I.	E = 2,000,000 P.S.I.
1.5 TIMBERSTRAND	Fb = 2250 P.S.I.	E = 1,500,000 P.S.I.

STRUCTURAL WOOD I-JOISTS:

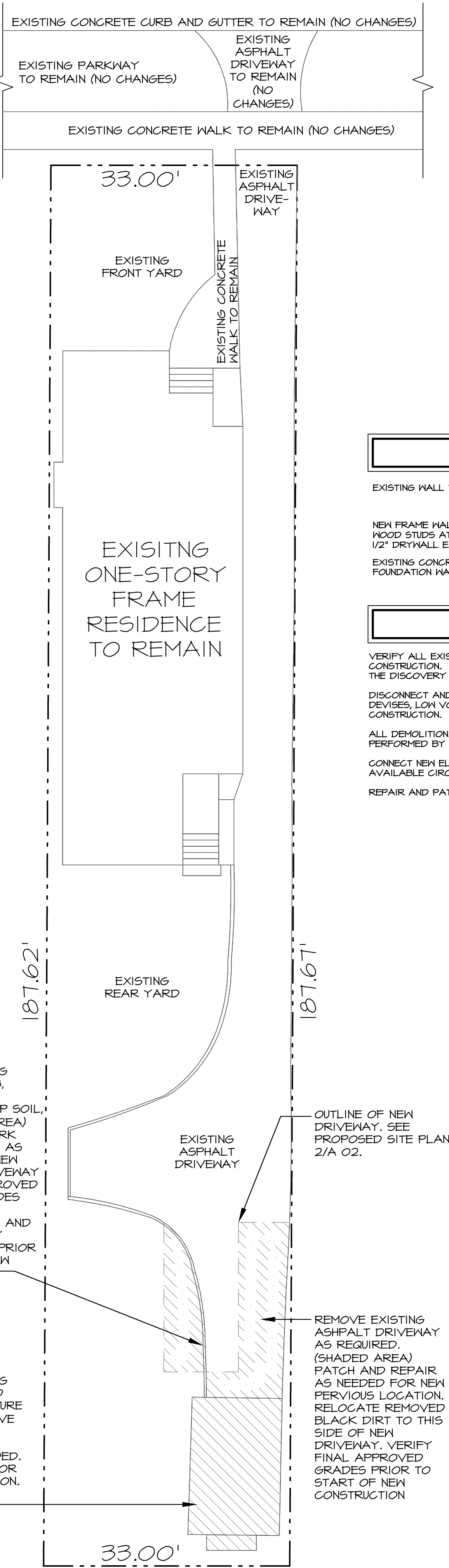
MANUFACTURED STRUCTURAL WOOD I-JOISTS ARE BASED UPON I-JOIST AS MANUFACTURED BY INTERNATIONAL BEAM OR APPROVED EQUAL. ALL SUBSTITUTIONS SHALL BE REVIEWED BY THE ARCHITECT. I JOISTS SHALL BE INSTALLED AS PER THE MANUFACTURERS ALLOWABLE FLOOR SPAN CHART (LIVE LOAD = L/480), INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

ELM STREET

ELM STREET



TYPICAL CONCRETE
CORNER DETAILS

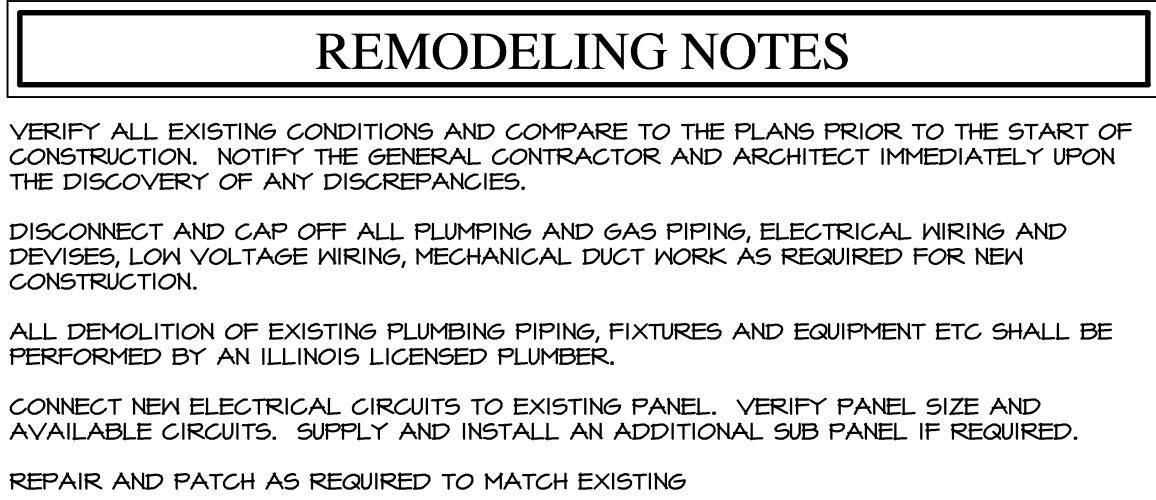
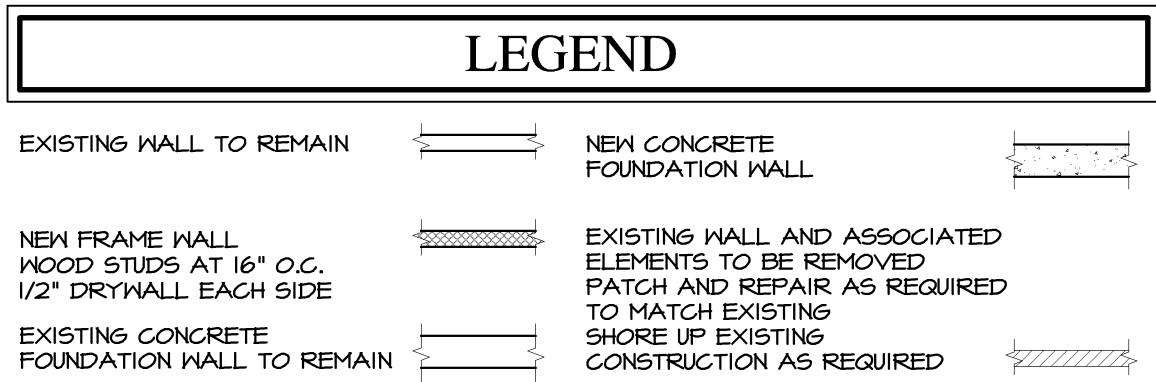


1 EXISTING SITE PLAN

A 02

DEMOLITION
1- CAR DETACHED GARAGE
(SHADED AREA)

SCALE: 1" = 10'-0"

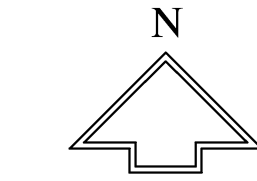
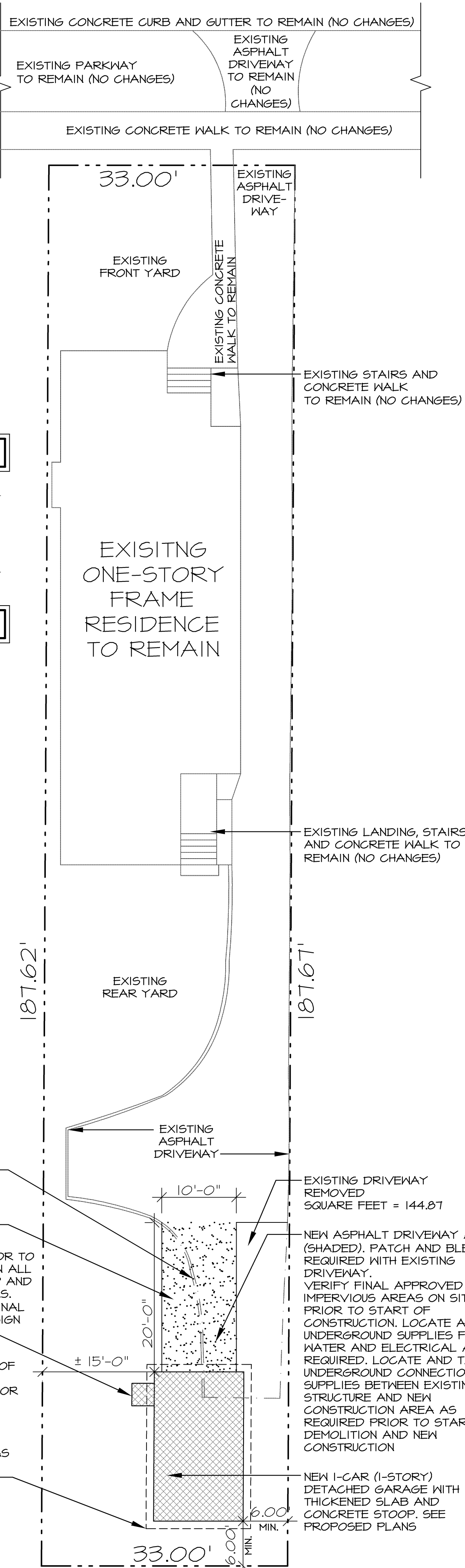


2 SITE PLAN

A 02

PROPOSED
NEW CONSTRUCTION 2- CAR DETACHED GARAGE
(SHADED AREA)

SCALE: 1" = 10'-0"



NOTE: ALL SCALE DESIGNATIONS
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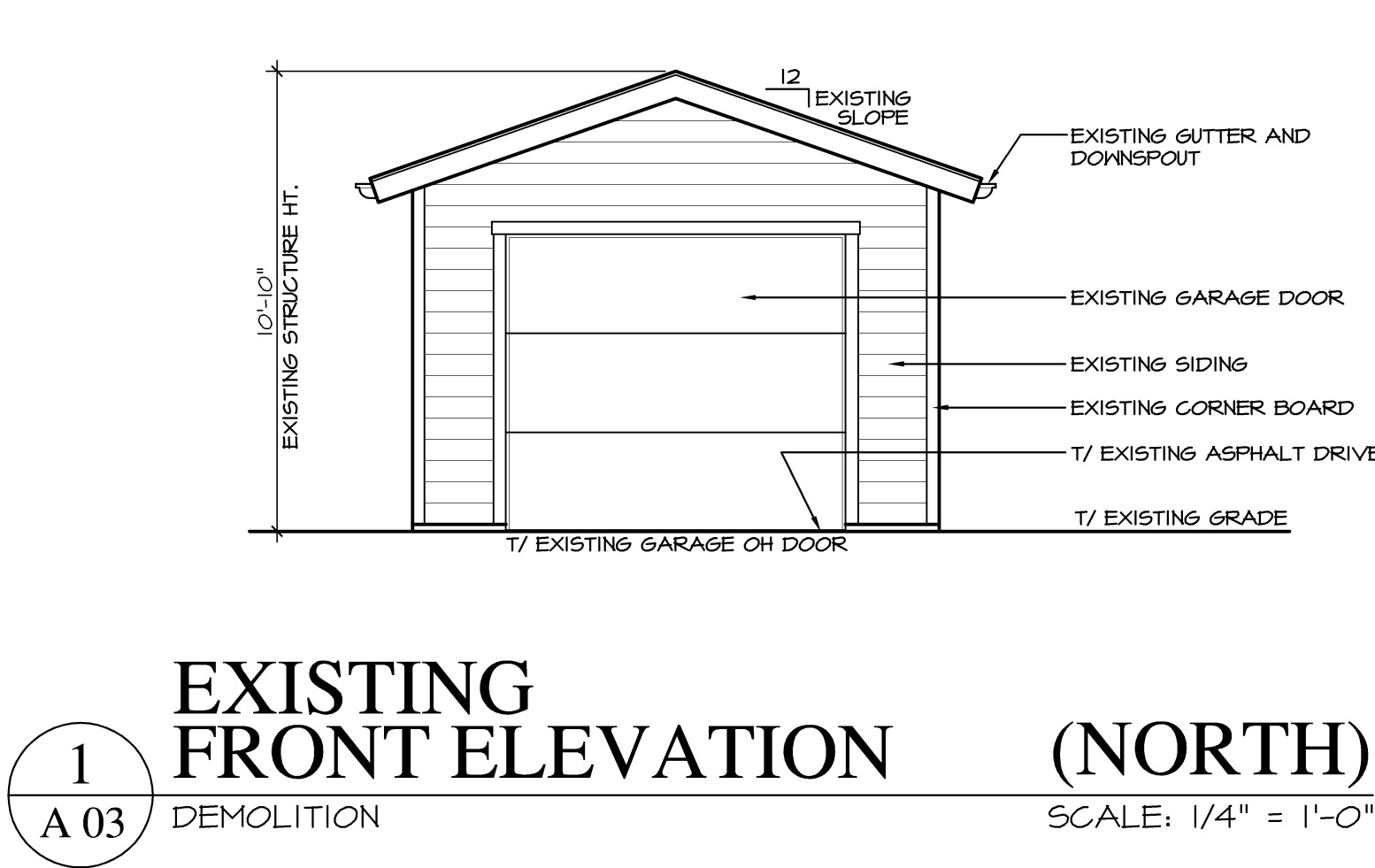
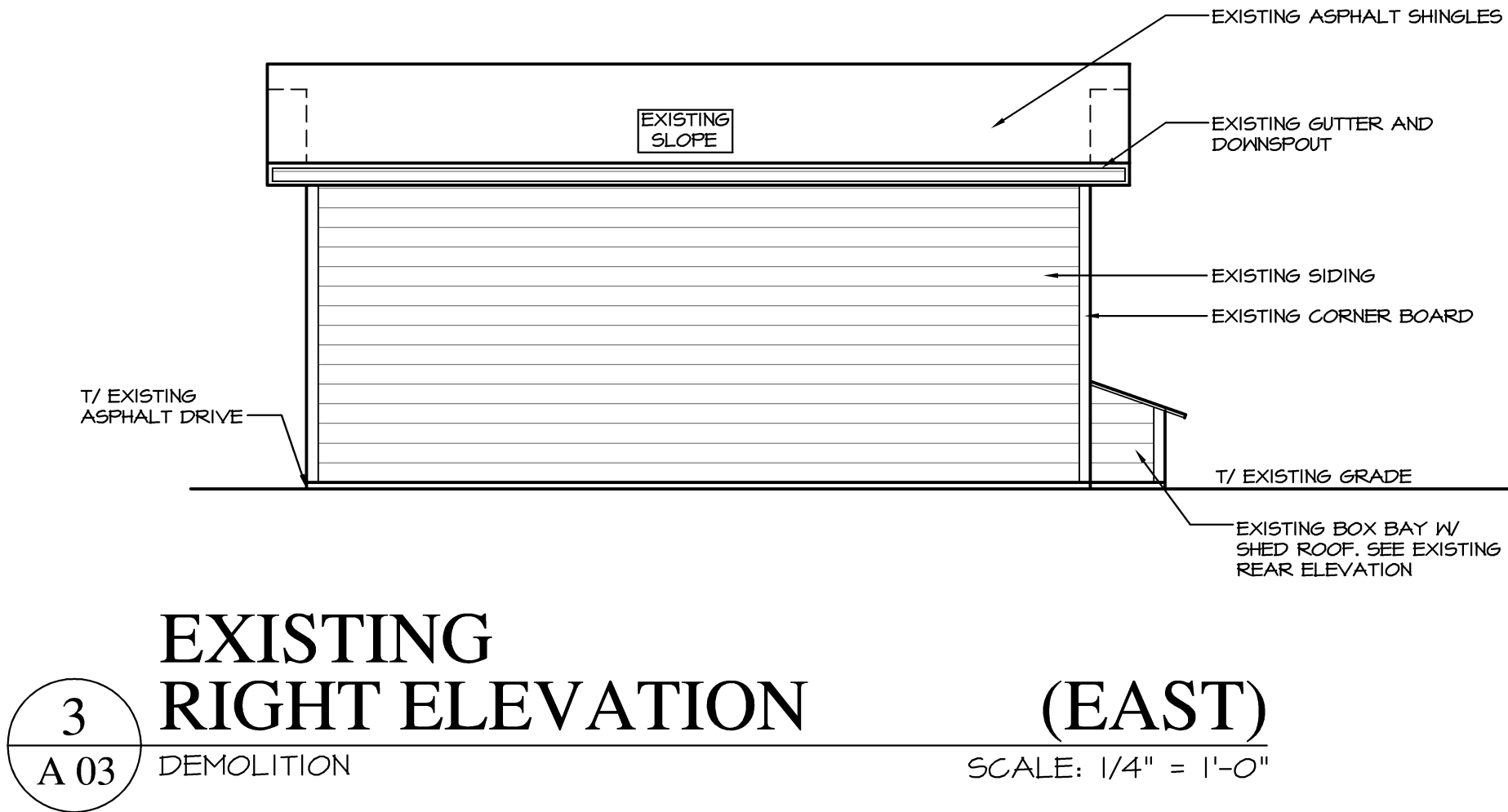
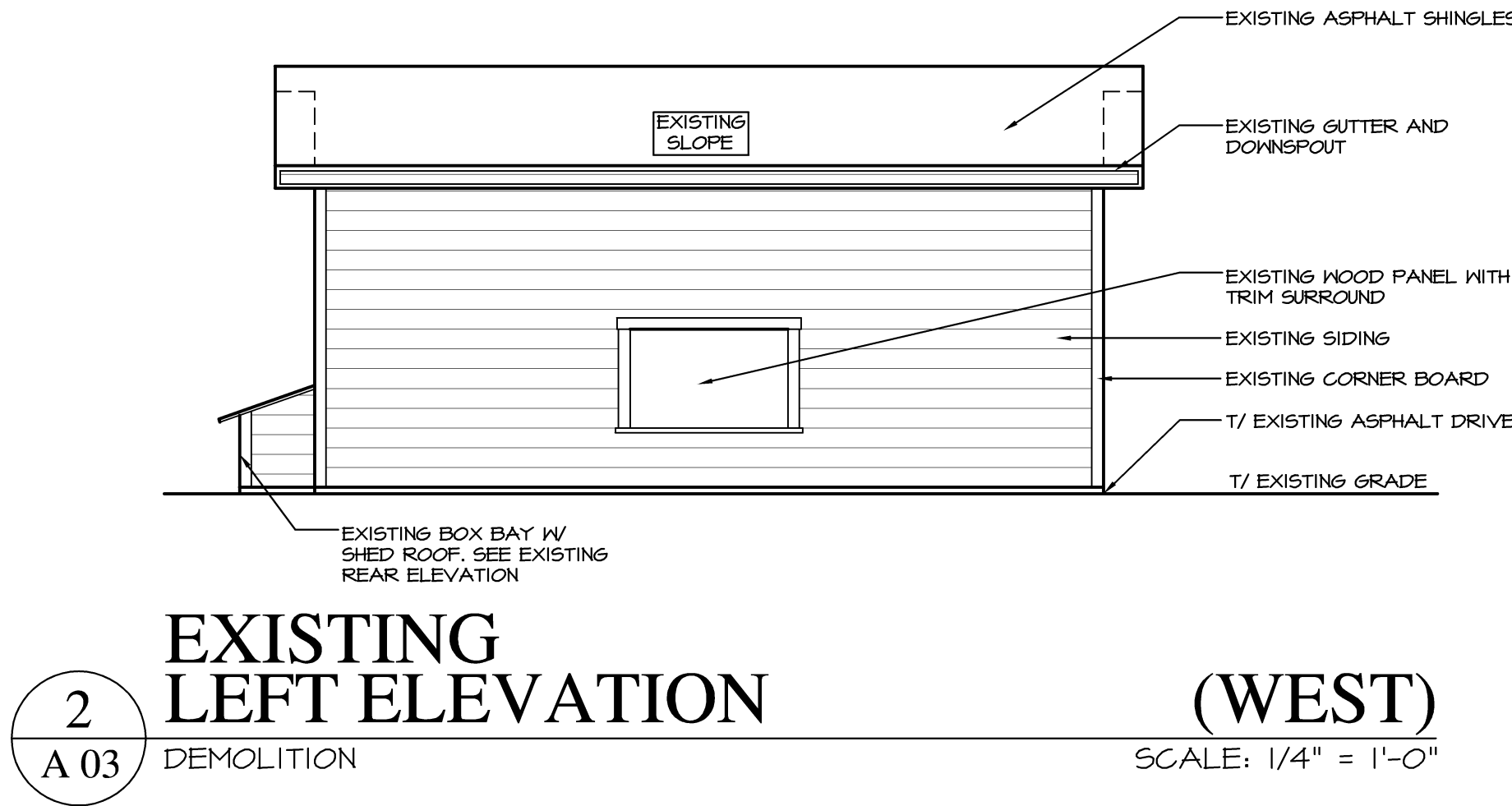
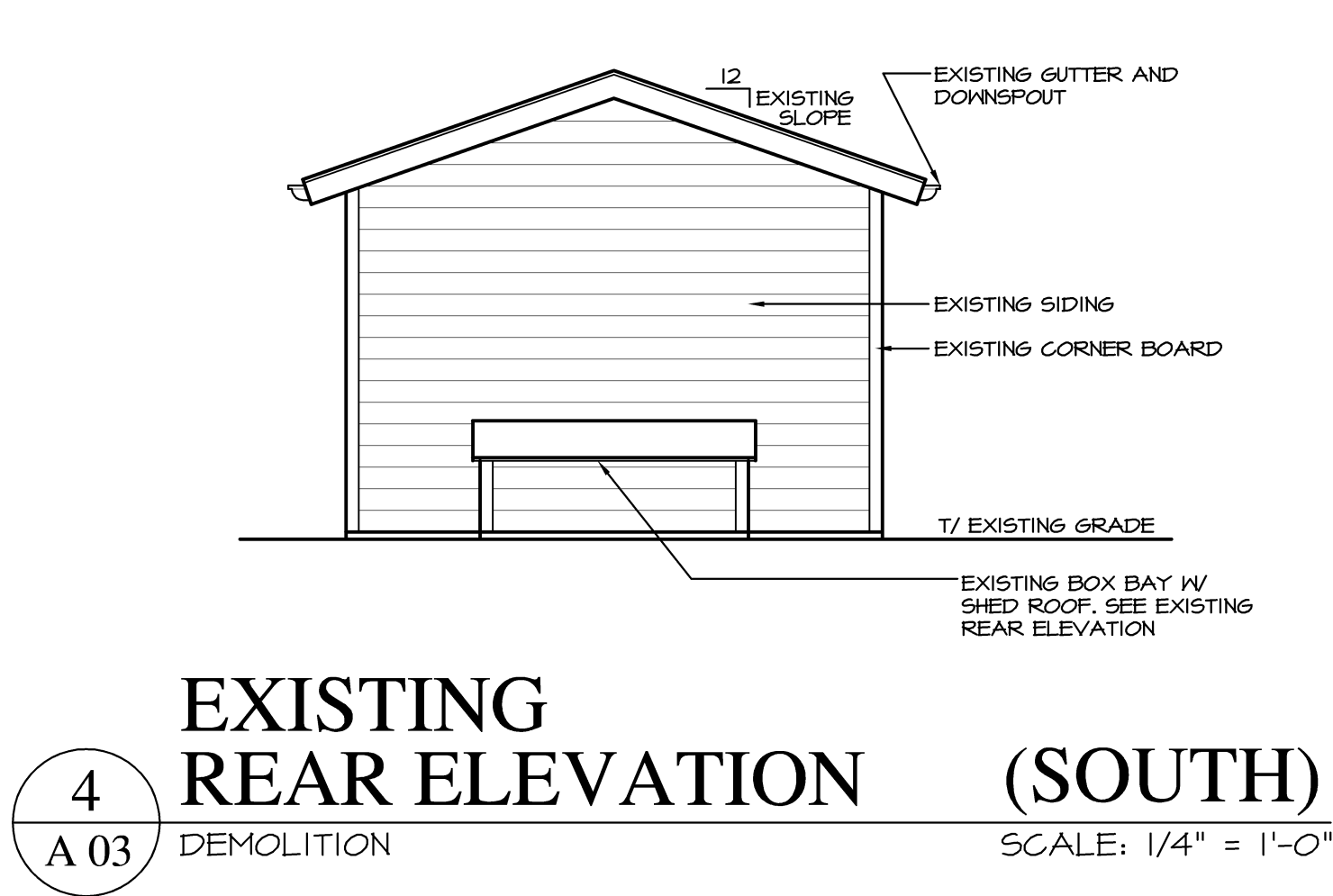
PROJECT # AD20196	
DRAWN BY: COM/ NH	
904 ELM STREET SITE PLANS & TYP. DETAILS	
A 02	
# 2 OF 4 TOTAL SHEETS	

ASPECT DESIGN INC. ARCHITECTS	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE #184-00454	

REVIEW	11/09/2020
ISSUE FOR ZONING REVIEW	03/01/2021
REVISED ZONING REVIEW SET	03/25/2021
REVISED	05/03/2021
REVISED	05/17/2021

NELSON CONSTRUCTION, INC.	
4912 N. RICHMOND ROAD RINGWOOD, IL 60072 PHONE: (815) 243-3720	

DETACHED 2-CAR GARAGE	
NEW CONSTRUCTION 904 ELM STREET WINNETKA, IL 60093	



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PROJECT # AD20196	
DRAWN BY: COM/ NH	
904 ELM STREET EXIST. ELEV. / DEMO.	
A 03	
# 3 OF 4 TOTAL SHEETS	

26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 184-00434	
ASPECT DESIGN INC. ARCHITECTS	

REVIEW	11/09/2020
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NELSON CONSTRUCTION, INC.	DETACHED 2-CAR GARAGE
4912 N. RICHMOND ROAD RINGWOOD, IL 60072 PHONE: (815) 243-3720	NEW CONSTRUCTION 904 ELM STREET WINNETKA, IL 60093

ELECTRICAL NOTES

ALL ELECTRICAL WORK, INSTALLATION, MATERIALS, DEVICES, LIGHTING EQUIPMENT, ETC. SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND AMENDMENTS.

THE ELECTRICAL CIRCUITS AND PANEL LAYOUT ARE TO BE DESIGNED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES

PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND IN EACH SLEEPING AREA. ALL SMOKE DETECTORS SHALL BE 110V WITH BATTERY BACK-UP AND WIRED IN SERIES.

ALL CONVENIENCE ELECTRICAL OUTLETS IN HABITABLE AREAS SHALL BE PLACED 12" ABOVE THE FINISHED FLOOR AND BE SPACED PER THE 6/12 RULE.

RECEPTACLE OUTLETS ARE REQUIRED TO BE LOCATED PER THE NATIONAL ELECTRICAL CODE.

ALL BATHROOM, GARAGE, UNFINISHED BASEMENTS AND EXTERIOR ELECTRICAL OUTLETS SHALL BE GFCI PROTECTED

ALL CONVENIENCE OUTLETS, SWITCHES, AND LIGHTS WITHIN 6'-0" OF A SINK OR LAUNDRY TUB SHALL BE GFCI PROTECTED

ALL OUTLETS, LIGHT FIXTURES, AND SWITCHES WITHIN 5'-0" OF A SHOWER OR BATH TUB SHALL BE GFCI PROTECTED

ALL LIGHT FIXTURES WITHIN A 24" OR SMALLER CLOSET SHALL BE RECESSED FLUORESCENT WITH SOLID LENS AND APPROVED FOR CLOSET USE

DISHWASHER, RANGE HOOD, AND GARBAGE DISPOSAL SHALL BE HARDWIRED.

BRANCH CIRCUIT WIRING TO BE PER THE NATIONAL ELECTRIC CODE

DISHWASHERS AND IN-SINK GARBAGE DISPOSALS SHALL HAVE SEPARATE DISCONNECTING MEANS UNDER THE SINK CABINET EACH WIRED TO A SEPARATE 20 AMP CIRCUIT.

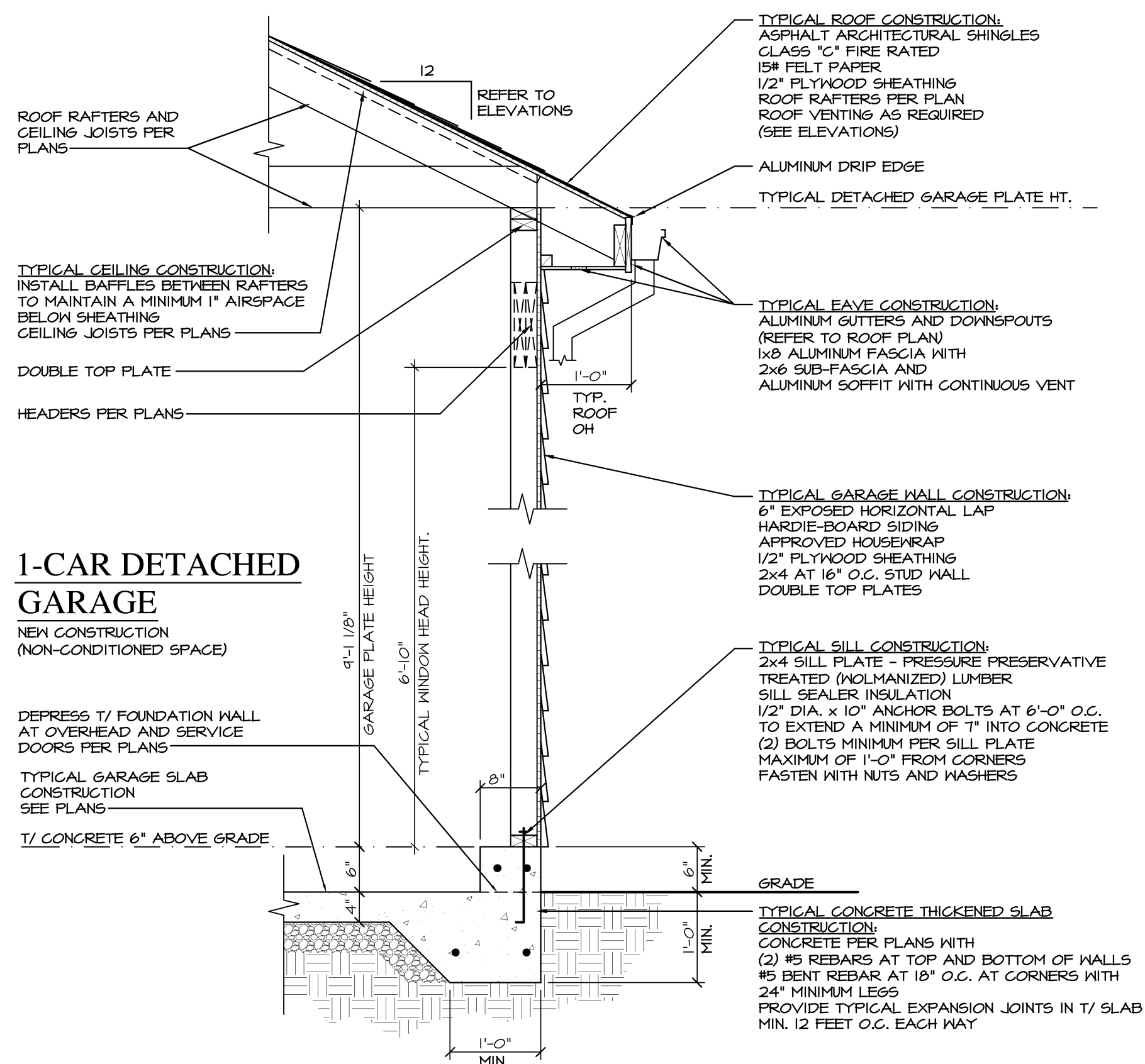
ALL LIGHTING FIXTURES ABOVE OR WITHIN TWO FEET OF THE INSIDE EDGE OF A BATH TUB SHALL HAVE GFCI PROTECTION

ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER NEC, (EXCEPT GFI OUTLETS).

NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS OR NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICIENCY LAMPS.

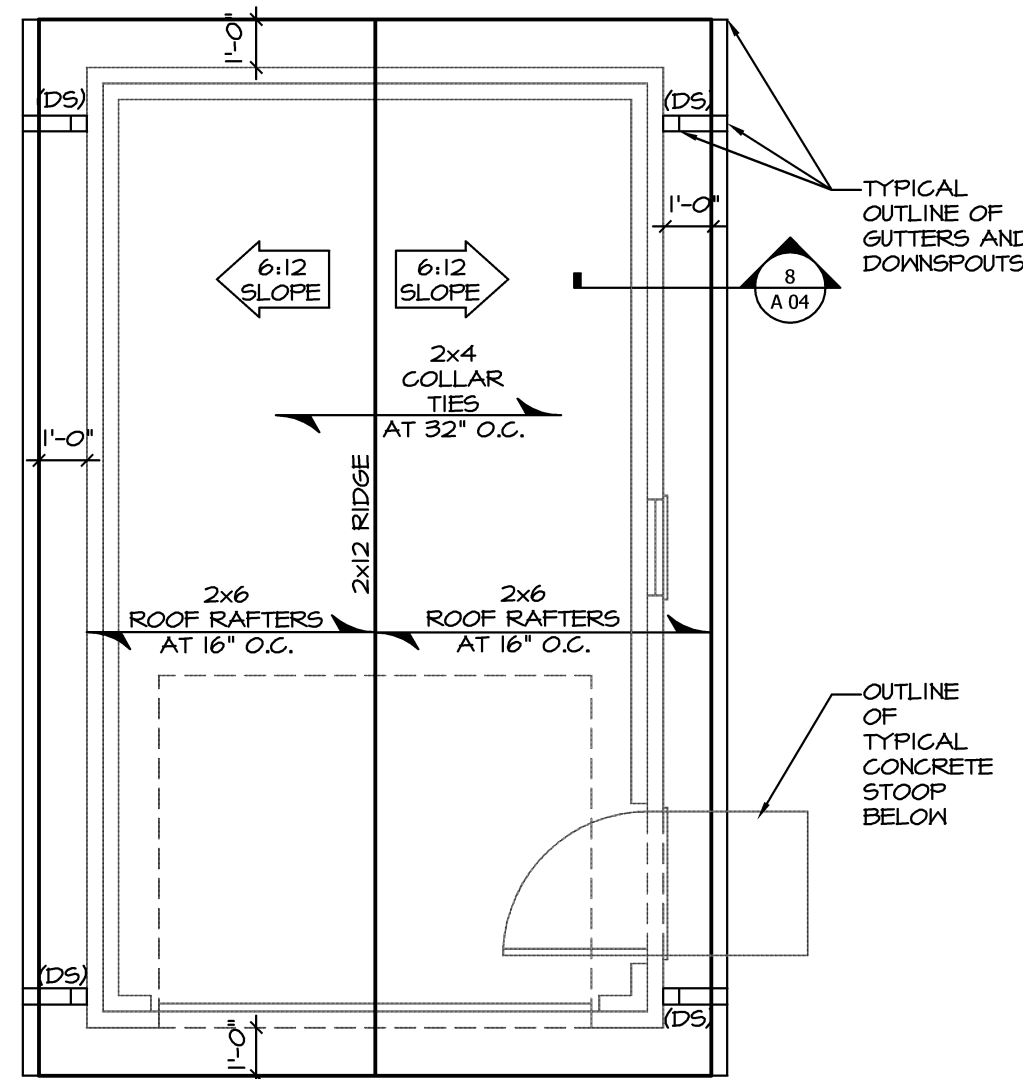
ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE		TELEPHONE JACK
	DUPLEX RECEPTACLE SPLIT WIRED TO SWITCH		FAX LINE
	GROUND FALT INTERRUPTER RECEPTACLE		COMPUTER MODEM HOOK-UP
	RECESSED PICTURE LIGHT RECEPTACLE SPLIT WIRED TO SWITCH (VERIFY HEIGHT W/ OWNER)		BUNDLED CABLE - TV, DSL, FIBER OPTICS, PHONE
	QUAD RECEPTACLE		TELEVISION / CABLE JACK
	DIRECT CONNECT SPECIAL PURPOSE OUTLET/ J-BOX		ALARM CONTROL PANEL
	RECESSED FLOOR RECEPTACLE SPLIT WIRED TO SWITCH		DOORBELL CHIME
	FLUSH MOLD		VOLUME CONTROL
	SINGLE POLE SWITCH		SMOKE DETECTOR
	3-WAY SWITCH		GAS SUPPLY W/ VALVE
	DIMMER - Lutron Maestro Series (Verify Voltage Req.)		EXTERIOR FLOOD LIGHT
	CEILING FAN SWITCH BY FAN MANUFACTURER		COMBINATION FAN LIGHT
	TIMER SWITCH INTERMOTIC		EXHAUST FAN - CEILING MOUNTED
	RECESSED LIGHT FIXTURE		MOTOR CONNECTION
	RECESSED HALL WASHES LIGHT FIXTURE		PROGRAMMABLE THERMOSTAT
	LIGHT FIXTURE - CEILING MOUNTED		AUDIO SPEAKER (FLUSH CEILING MOUNTED)
	LIGHT FIXTURE - MALL MOUNTED		
	UNDERCABINET MTD. LIGHT FIXTURE		
NOTE: ALL ELECTRICAL BRANCH CIRCUITS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER.			



8 TYPICAL WALL SECTION

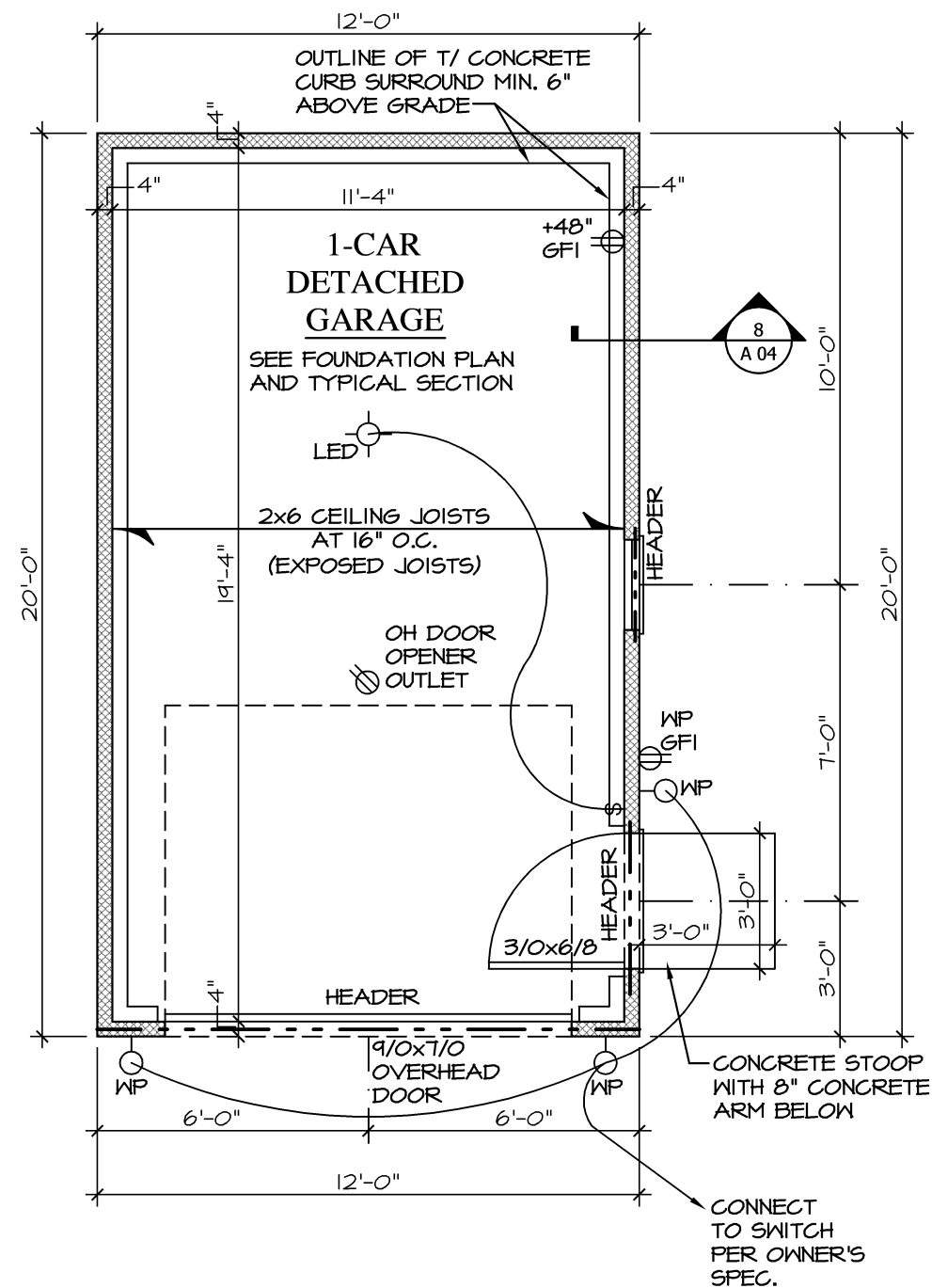
A 04 1-CAR DETACHED GARAGE WITH THICKENED SLAB SCALE: 3/4" = 1'-0"



7
A 04

ROOF PLAN

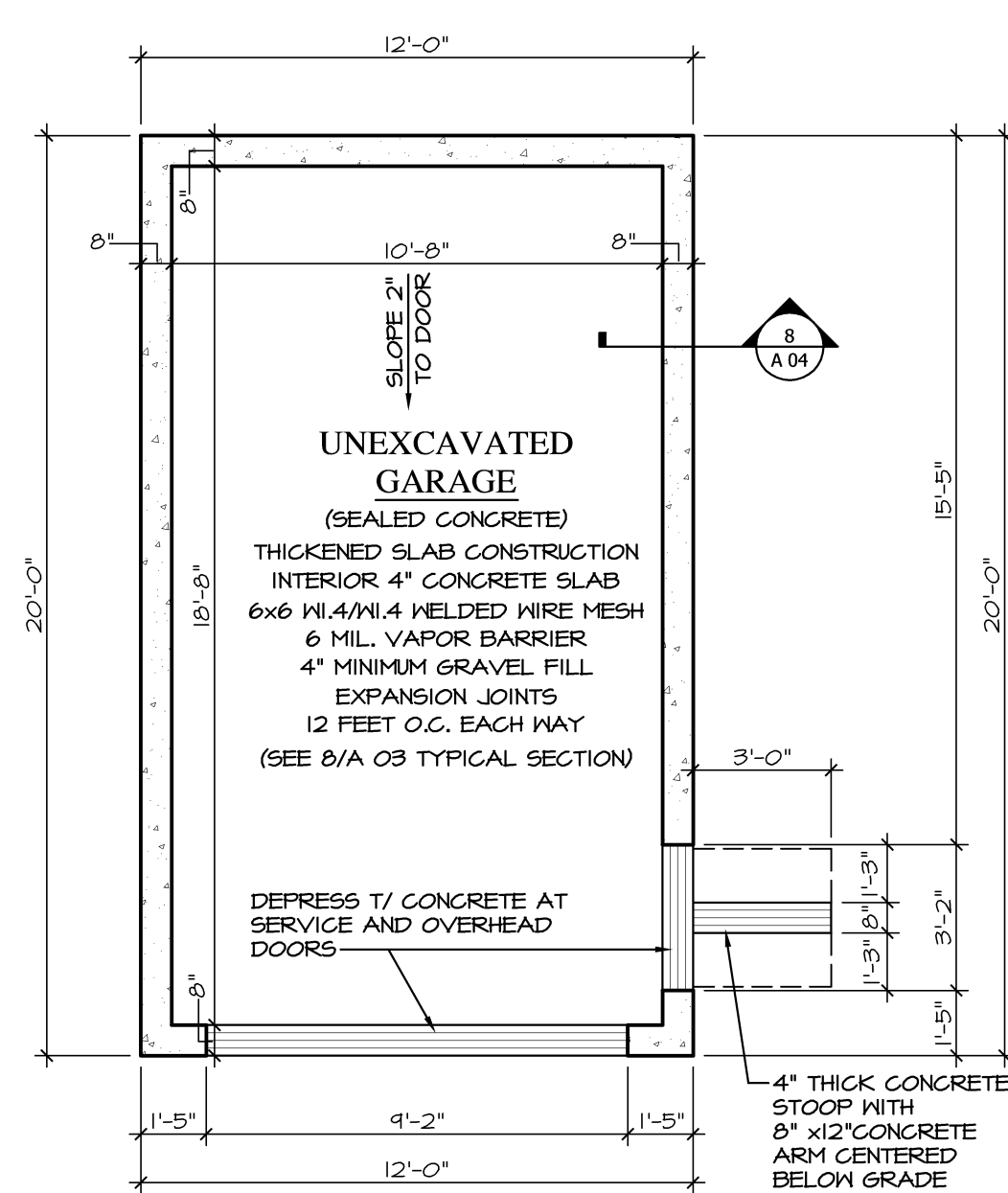
1-CAR DETACHED GARAGE
CONVENTIONAL FRAME
SCALE: 1/4" = 1'-0"



6
A 04

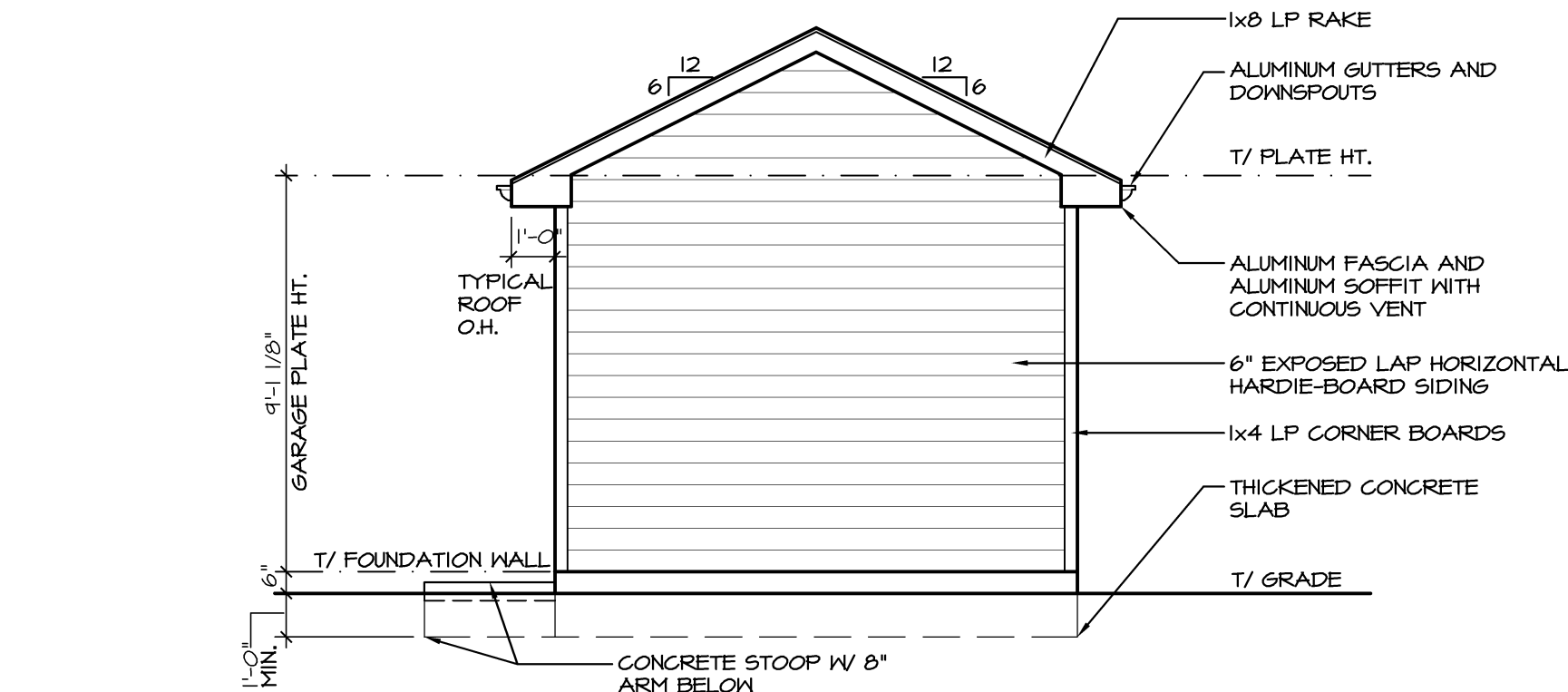
FIRST FLOOR PLAN

1-CAR DETACHED GARAGE
ELECTRICAL PLAN SHOWN
SCALE: 1/4" = 1'-0"



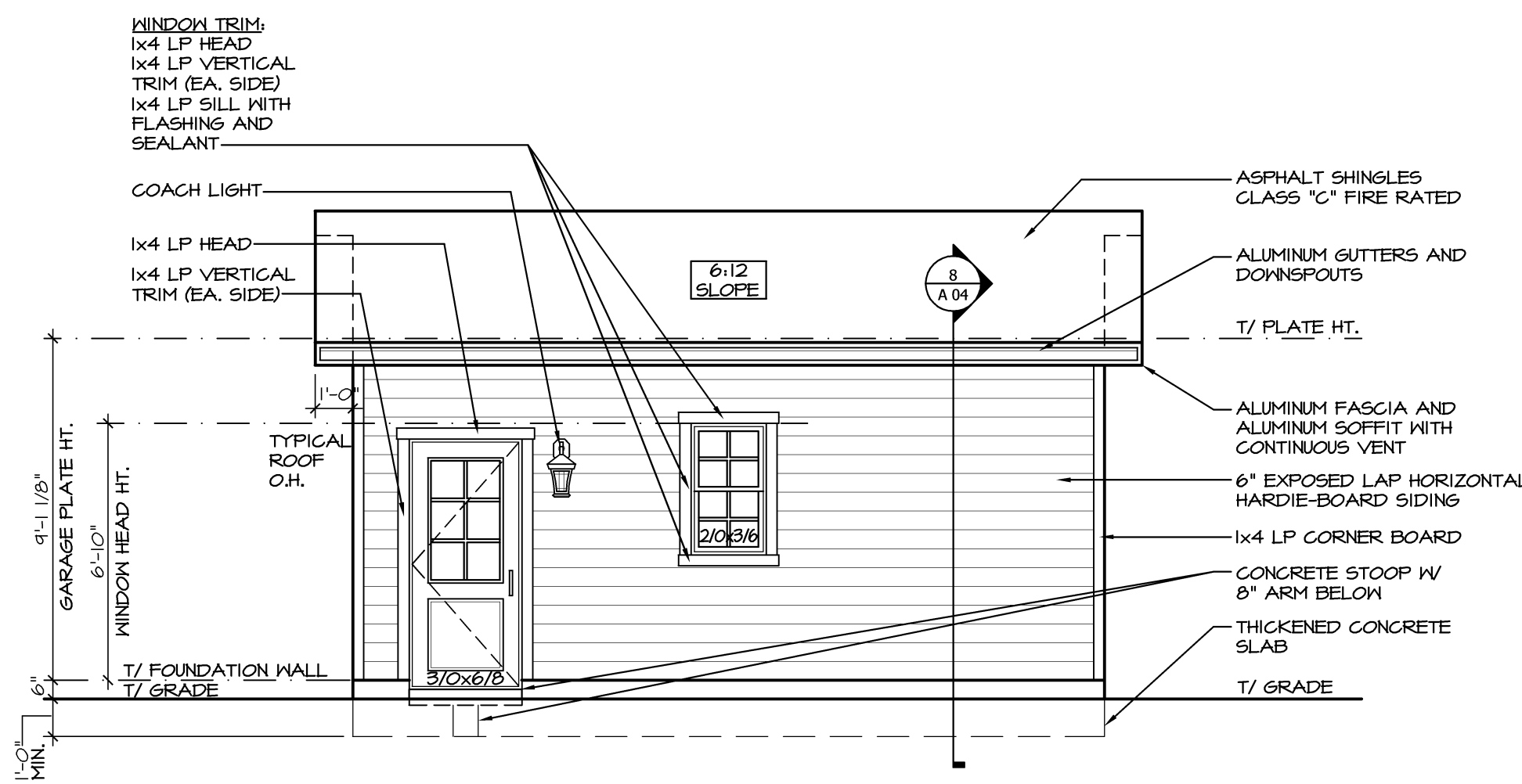
5 FOUNDATION PLAN

A 04 1-CAR DETACHED GARAGE SCALE: 1/4" = 1'-0"

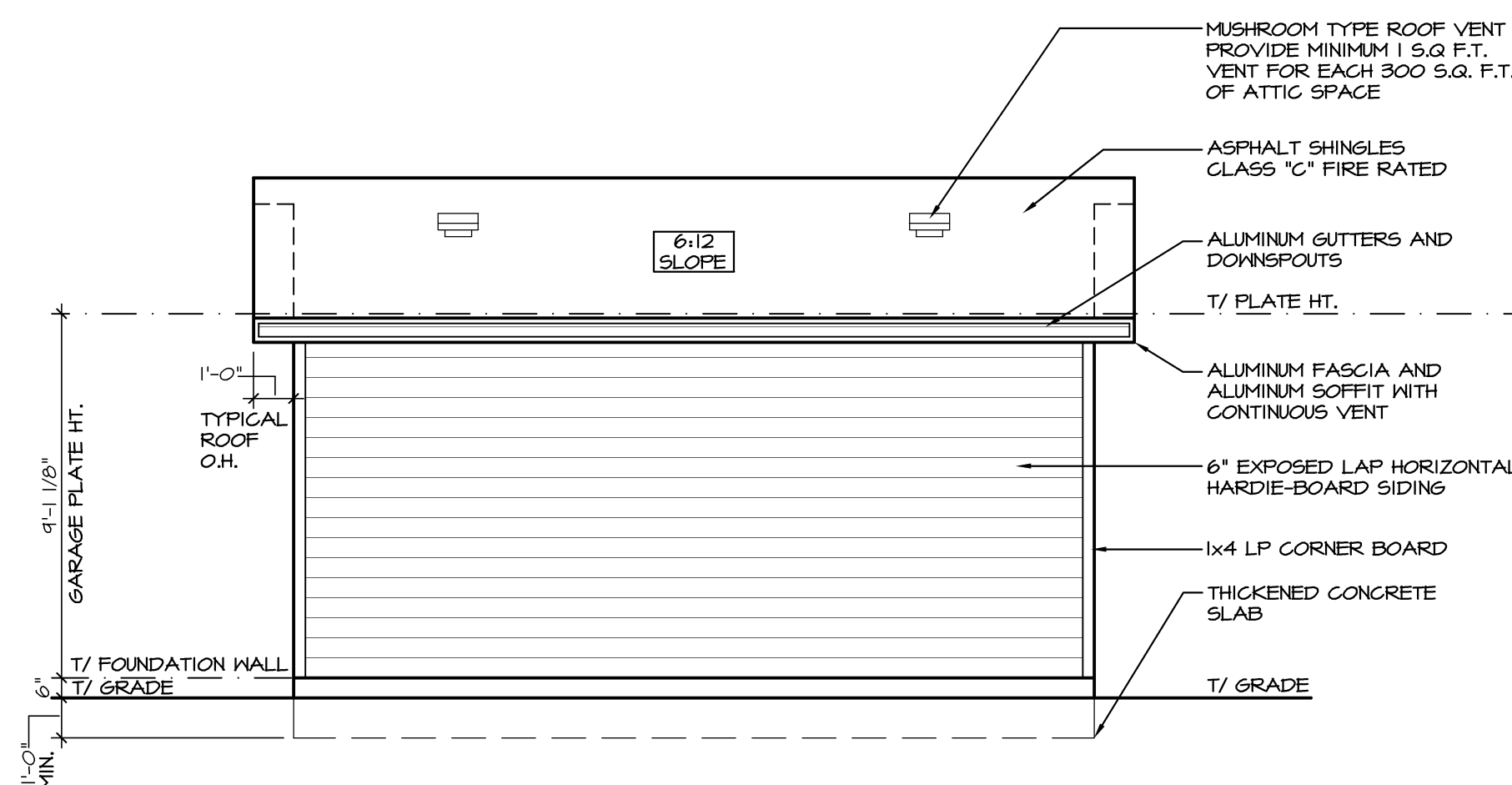


4
REAR ELEVATION
(SOUTH)

A 04
1-CAR DETACHED GARAGE
SCALE: 1/4" = 1'-0"

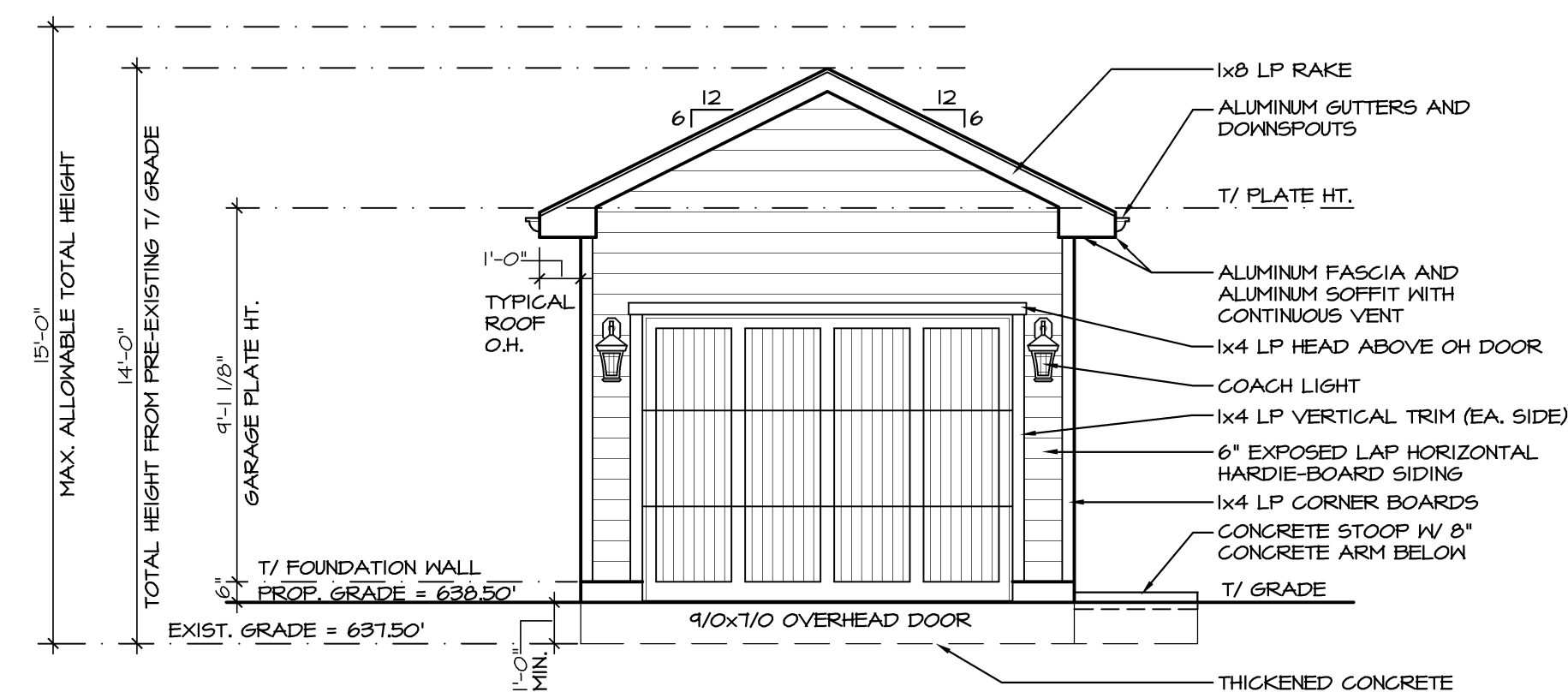


3 RIGHT ELEVATION (EAST)
A 04 1-CAR DETACHED GARAGE SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION (WEST)

A 04 1-CAR DETACHED GARAGE SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION (NORTH)
A 04 1-CAR DETACHED GARAGE SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT MMXXI

REVIEW ONLY-Y-NOT FOR CONSTRUCTION

DETACHED
2-CAR GARAGE

**NELSON
CONSTRUCTION, INC.**

NEW CONSTRUCTION
904 ELM STREET
WINNETKA, IL 60093

REVIEW	11/09/2020
ISSUE FOR ZONING REVIEW	03/01/2021
REVISED ZONING REVIEW SET	03/25/2021
REVISED	05/03/2021
REVISED	05/17/2021

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 184-004354

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD20190
-----------	---------

DRAWN BY:	COM/M
904 ELM STREET DETACHED GARAGE	

A 04

4 OF 4 TOTAL SHEETS







NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a virtual public hearing will be held by the Winnetka Zoning Administrator on **MONDAY, JUNE 7, 2021 AT 4:00 PM** for the purpose of considering the following:

CASE NO. 21-18-ZA

576 ELM STREET – REPLACEMENT OF SCREEN PORCH

An application submitted by Julie and Brad Ellis (collectively, the “Applicant”), as the owners of the property located at 576 Elm Street (the “Subject Property”), **to allow the one-for-one replacement of the existing nonconforming screen porch on the Subject Property.** The Applicant has filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to provide less than the minimum required corner (front) yard setback of 30 feet from Walnut Street.

The Subject Property (Parcel Index Number 05-21-112-001-0000) is generally located on the southeast corner of the intersection of Elm and Walnut Streets and is zoned R-4 Single Family Residential. The Subject Property contains an existing two-story residence and attached garage.

VIRTUAL HEARING PUBLIC PARTICIPATION OPTIONS

In accordance with social distancing requirements and Governor Pritzker’s Executive Order 2021-09 and Senate Bill 2135, **the Zoning Administrator meeting will be held virtually. The meeting will be livestreamed via the Zoom platform, and the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location.** The number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a “first-come, first-served” basis.**

The public has the following two options **for observing and participating during this virtual Zoning Administrator meeting, including the ability to provide testimony or comments.** Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only).** Call: 312-626-6799; when prompted enter the Webinar ID – 956 6015 4013 (Please note there is no additional password or attendee ID required.)
- 2) **Livestream (both audio and video feed).** Download the Zoom meetings app to your smart phone, tablet or computer, and then join Webinar ID – 956 6015 4013, Webinar Passcode – ZA060721

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending **an email** to planning@winnetka.org;
- 2) By sending **a letter** to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093; or
- 3) By leaving **a voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

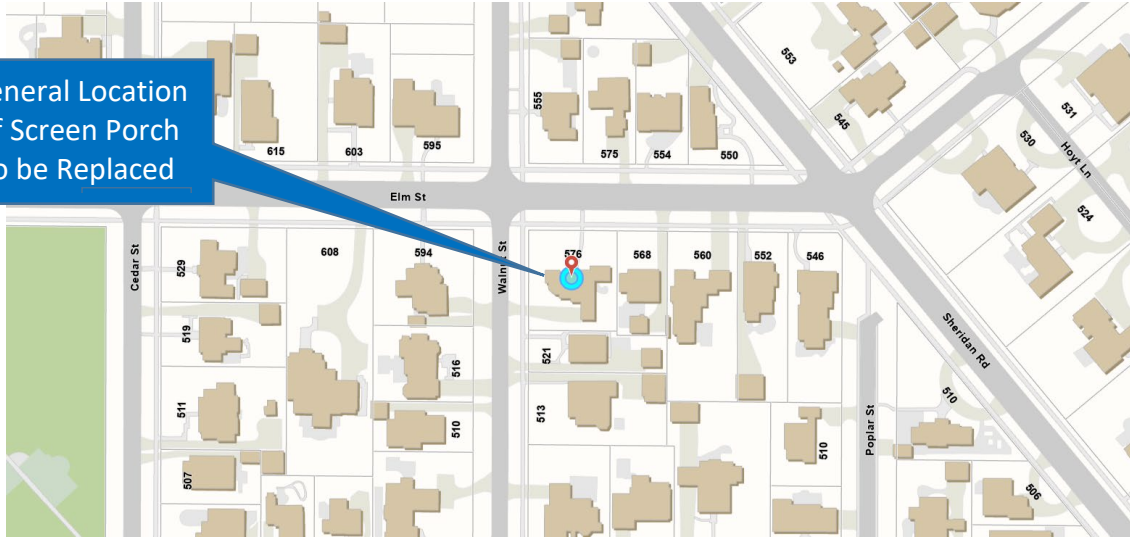
Please be advised if, prior to the scheduled public hearing date, Governor Pritzker rescinds, or does not extend, his current disaster declaration allowing for remote meetings, the Village will be required to conduct public hearings in the traditional in-person format only, at Village Hall, 510 Green Bay Road, Winnetka Illinois in the Village Council Chambers. No further notice of this hearing, or of its location or manner in which it will be conducted, will be provided. Information regarding the location of the public hearing and any changes to instructions for participating in the public hearing will be included on the meeting agenda posted on the Village’s website - www.villageofwinnetka.org/agendacenter - no later than Thursday, May 27, 2021. Please contact the Community Development Department at 847-716-3525 for confirmation of the meeting location.

All comments received prior to the posting of the agenda packet will be included in the agenda packet. All comments received after the agenda packet has been posted and received by 6:00 PM the day of the meeting will be read at the meeting by staff. Such public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

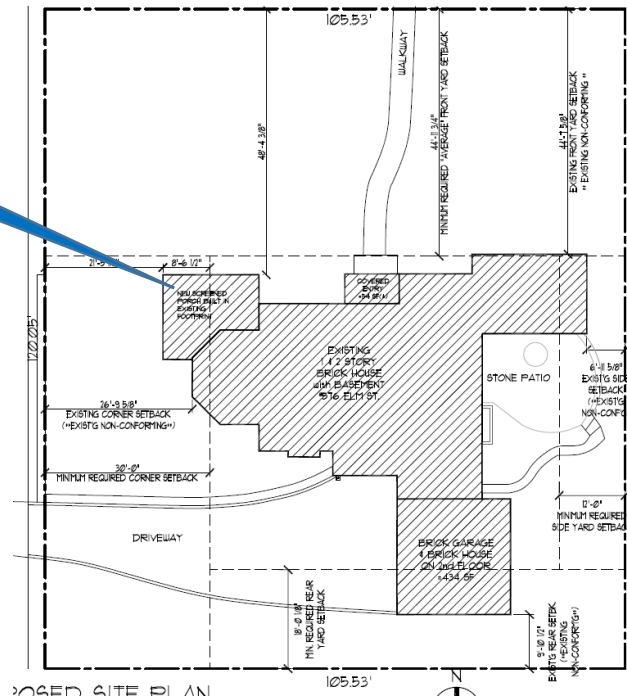
Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093 [Telephone: (847) 716-3543; T.T.Y.: (847) 501-6041.

General Location
of Screen Porch
to be Replaced



Screen Porch to
be Replaced



Proposed Site Plan
(Note: Details may change through review process)



VILLAGE OF WINNETKA, ILLINOIS

DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 21-18-2A
VA2021-360

Property Information

Site Address: 576 ELM ST.

Owner Information

Name: JULIE & BRAD ELLIS

Primary Contact: JULIE ELLIS

Address: 576 ELM ST.

Phone No. [REDACTED]

City, State, ZIP: WINNETKA, IL

Email: [REDACTED]

Date property acquired by owner: AUGUST 2020

Architect Information

Name: MORGIANTE WILSON ARCHITECTS

Attorney Information

Name: _____

Primary Contact: KAREN STROMHOLM

Primary Contact: _____

Address: 2834 CENTRAL ST.

Address: _____

City, State, ZIP: EVANSTON, IL

City, State, Zip: _____

Phone No. 847. 332. 1001

Phone No. _____

Email: KSTROMHOLM@MORGIANTEWILSON.COM

Email: _____

Nature of any restrictions on property: NONE

Brief explanation of variation(s) requested (attach separate sheet providing additional details): THE EXISTING SCREEN PORCH IS AN EXISTING LEGAL NONCONFORMITY OF A MINIMAL DEGREE WHICH WE ARE REQUESTING TO REBUILD IN THE EXACT SAME LOCATION.

Property Owner Signature [REDACTED]

Date: 4-15-2021

April 6, 2021

Village of Winnetka
510 Green Bay Road
Winnetka, IL 60093

Re.: 576 Elm - Screen Porch Minor Variance

Dear Village of Winnetka,

The existing screen porch is an existing legal nonconformity of a minimal degree which we are requesting to rebuild in the exact same location. The proposed improvement requires formalizing the existing nonconformity without increasing the degree of nonconformity.

Standards for Granting of Zoning Variation:

- 1. The property in question can not yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.**

The existing single-family residence currently has an existing screened porch which is attached and is non-conforming regarding the required corner yard setback. It encroaches into the corner yard setback by 8'-6 1/2". Denial of the request to rebuild the screened porch would prohibit the Owner from bringing the attached structure, and failing roof, into conformance with current building code and general safety.

- 2. The plight of the owner is due to a unique circumstance. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.**

Options to address the integrity of the screened porch are limited due to the configuration of the existing structure and corner lot which it sits on - none of which were the result of any actions taken by the current Owners.

- The portion of the existing porch structure became non-conforming due to changes that were made to the Zoning Ordinance regarding required corner yard setbacks prior to the current ownership.*
- Since the existing property is a corner lot, this also results in a requirement for larger setbacks from either street.*

- 3. The variation, if granted, will not alter the essential character of the locality.**

The variation, if granted, would not significantly alter the essential character of the neighborhood. Nor would the proposed rebuild alter the existing character of the house, only enhance that, and keep in line with the existing architectural style of the building.

2834 CENTRAL ST., EVANSTON, IL 60201
TEL. 847.332.1001 FAX. 847.332.2388

MORGANTE•WILSON ARCHITECTS, LTD.

4. An adequate supply of light and air to the adjacent property will not be impaired.

The non-conforming portion of the screened porch will not be changed in any way that increases the extent of the existing non-conformity. For example, no addition to or extension of the non-conforming walls is proposed. Thus, there would be no change to the existing supply of light, and since the porch is screened, there would not be any loss of air supply.

5. The hazard from fire and other damages to the property will not be increased.

The hazard from fire will be reduced because the extent of the rebuild will bring the existing structure up to current building codes. Additionally, the current location of the screened porch keeps it the furthest from the primary structures on the adjacent lots to the South and East, and least likely to impair the supply of light and air to adjacent properties.

6. The taxable value of the land and buildings throughout the Village will not diminish.

The change to the nonconforming portion of the building is consistent with the allowed use and will not affect the taxable values. Indeed, the property will be enhanced with the rebuild of the existing screened porch.

7. The congestion in the public street will not increase.

There will be no affect from the proposed changes to the building that will increase traffic congestion because the use and occupancy of the building will remain unchanged.

8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

There will be no affect from the proposed changes to the building that will impair the public health, safety, comfort, morals, and welfare of the inhabitants of the Village because the use of the building will remain unchanged and the rebuild of the screened porch on the property will bring the property into conformance with the standards of the neighboring single-family residences.

Sincerely,
Morgante•Wilson Architects, Ltd.



Fred Wilson

HYLTON E. DONALDSON
PROFESSIONAL LAND SURVEYOR

603 S. Howard St., Gary, In 46403 Tel: (219) 588-2599 Fax: (219) 939-1103
www.hyltondonaldson.com e-mail: hdonaldsonassoc@gmail.com

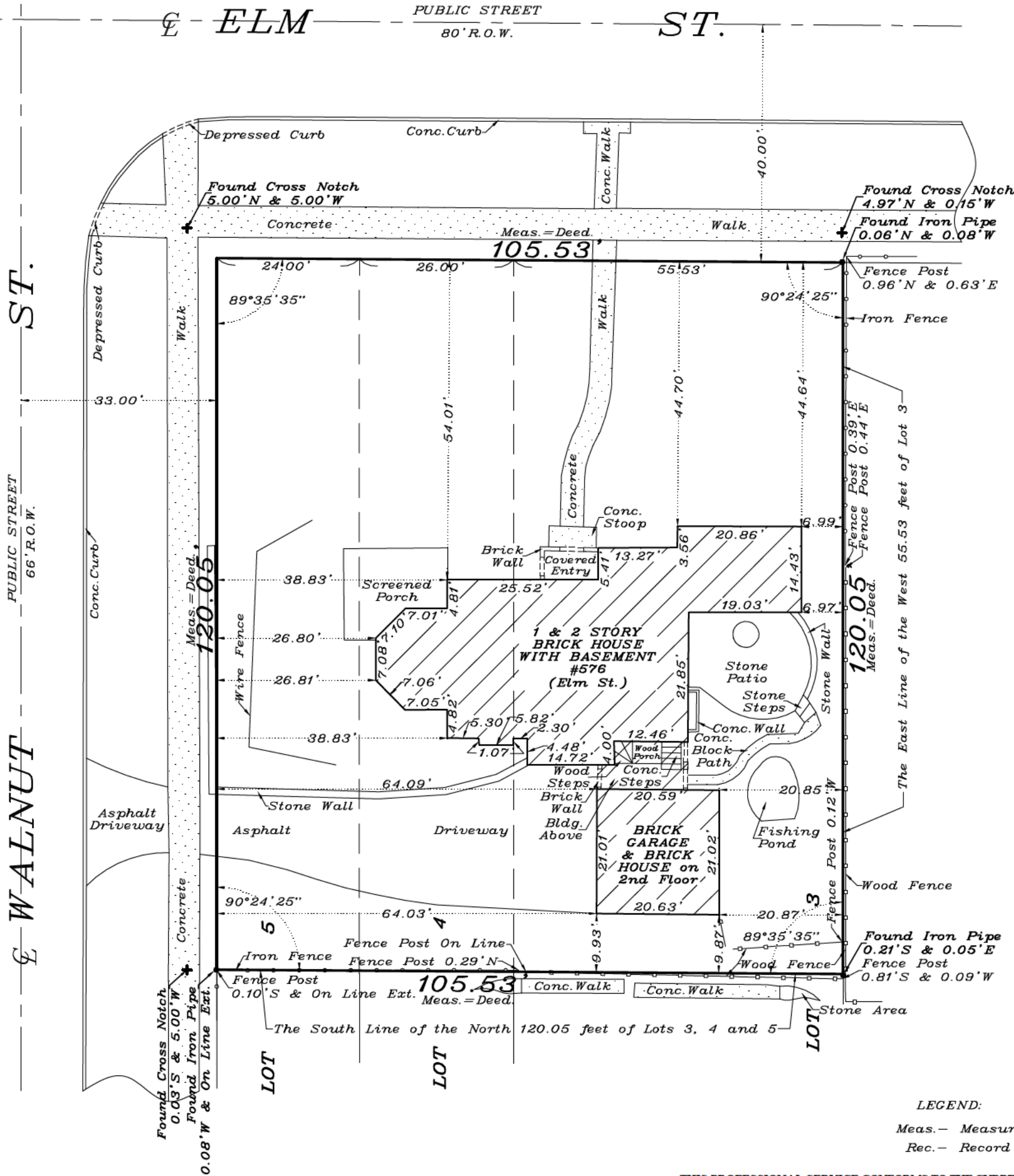
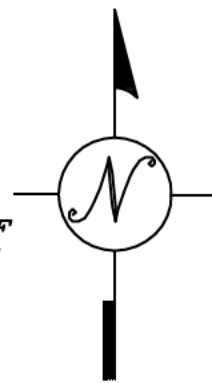
PLAT OF SURVEY

OF

THE NORTH 120.05 FEET OF LOTS 4 AND 5 AND THE NORTH 120.05 FEET OF
THE WEST 55.53 FEET OF LOT 3 IN COUNTY CLERK'S DIVISION OF BLOCK 21
IN VILLAGE OF WINNETKA IN THE NORTH FRACTIONAL 1/2 OF SECTION 21,
TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 12,668.87 SQ.FT. = 0.2908 ACRE.

COMMONLY KNOWN AS: 576 ELM STREET WINNETKA, ILLINOIS.



LEGEND:

Meas. - Measured
Rec. - Recorded

FOR BUILDING LINES, EASEMENTS AND OTHER
RESTRICTIONS NOT SHOWN HEREON, REFER TO
YOUR DEED, TITLE POLICY AND LOCAL ZONING
ORDINANCE, ETC.

NO CURRENT TITLE INSURANCE POLICY
PROVIDED FOR SURVEYOR.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

Order No. 2020-3288

Scale: 1 inch = 20 feet.

Date of Completion of Field Work: August 15, 2020

Ordered by: Donald Leventhal
Attorney at Law



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY

STATE OF INDIANA) SS
COUNTY OF LAKE)

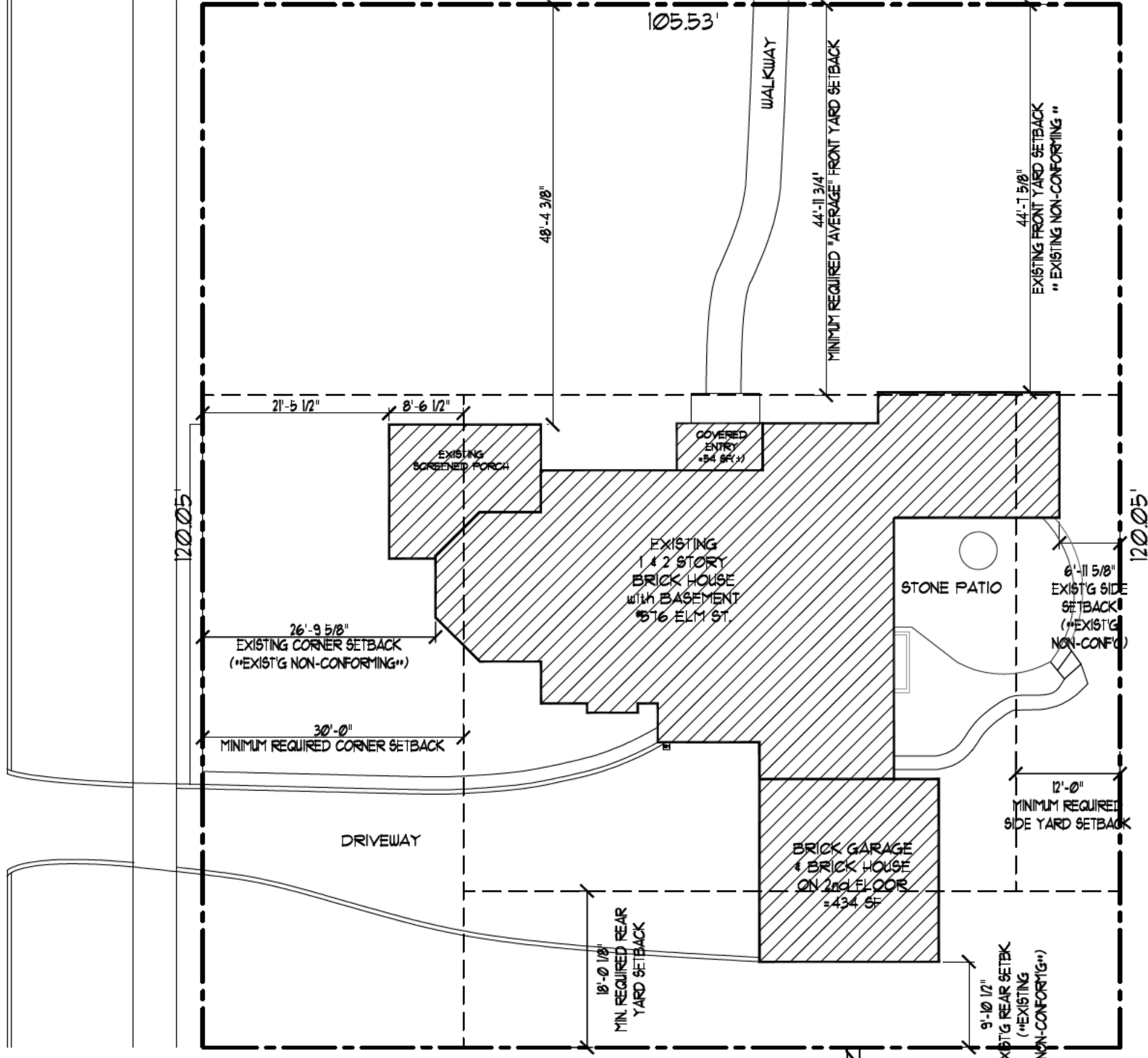
I, HYLTON E. DONALDSON, HEREBY CERTIFY THAT ON THE DATE
SHOWN I MADE A SURVEY OF THE HEREIN DESCRIBED PROPERTY
AND, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND
BELIEF, THE PLAT HEREON DRAWN IS A TRUE AND ACCURATE
REPRESENTATION OF SAID SURVEY

Date: August 15, 2020

Hylton E. Donaldson

Hylton E. Donaldson, Professional Land
Surveyor No. 035-002819, State of Illinois
My License Expires on November 30, 2020.

WALNUT STREET



EXISTING SITE PLAN

1/16" = 1' - 0"



THE ELLIS RESIDENCE

576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY:	DW
CHECKED BY:	JJP
JOB NO.:	2035
PLOT DATE:	4/5/21

MORGANTE · WILSON ARCHITECTS, LTD.

2834 CENTRAL STREET, EVANSTON, IL 60201
PH: 847.332.1001 FX: 847.332.2388

SITE PLAN

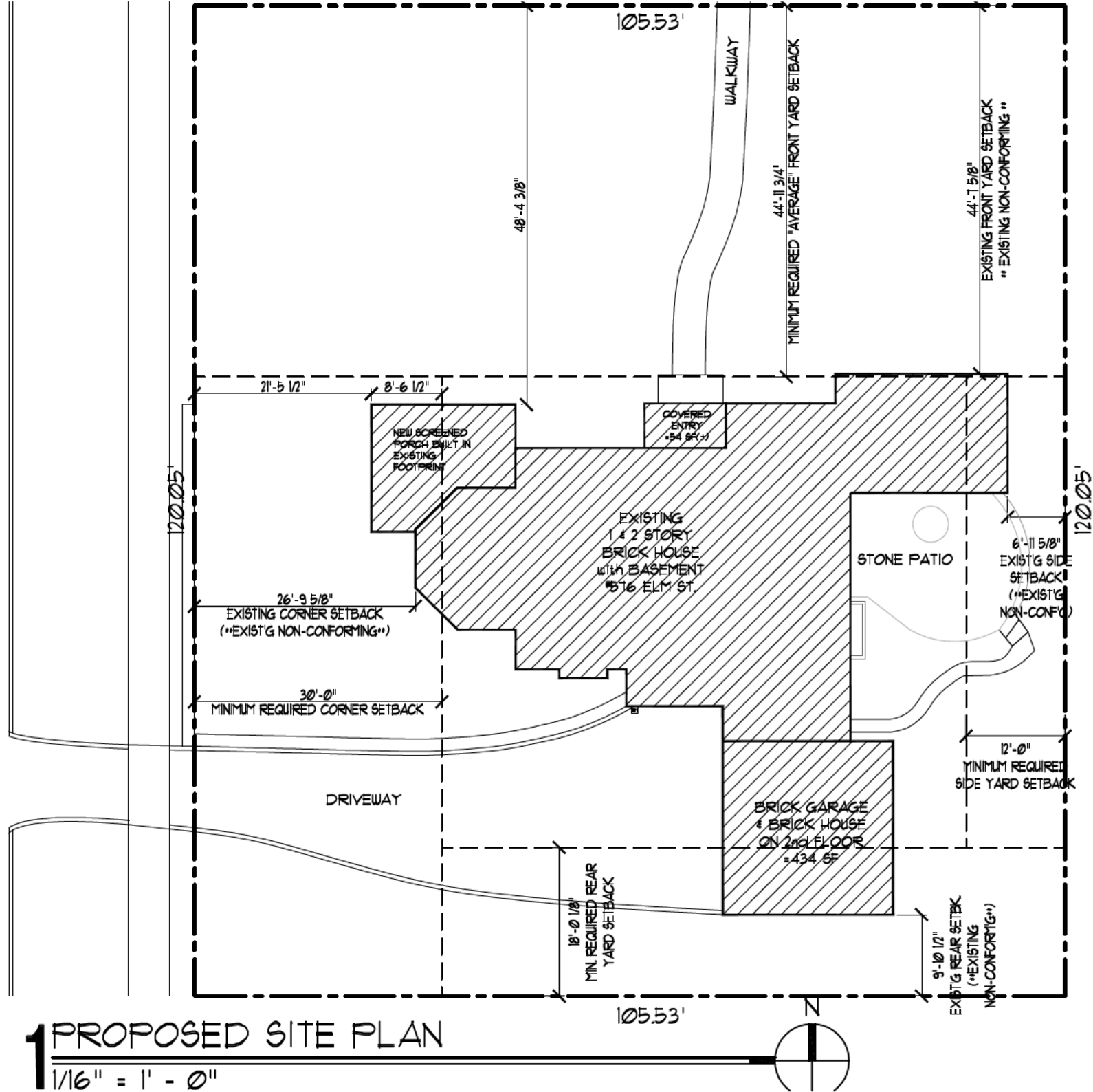
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WALNUT STREET

1 PROPOSED SITE PLAN

1/16" = 1' - 0"



THE ELLIS RESIDENCE

576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY: DW
CHECKED BY: JP
JOB NO.: 2035
PLOT DATE: 5/13/21

MORGANTE · WILSON ARCHITECTS, LTD.

2834 CENTRAL STREET, EVANSTON, IL 60201
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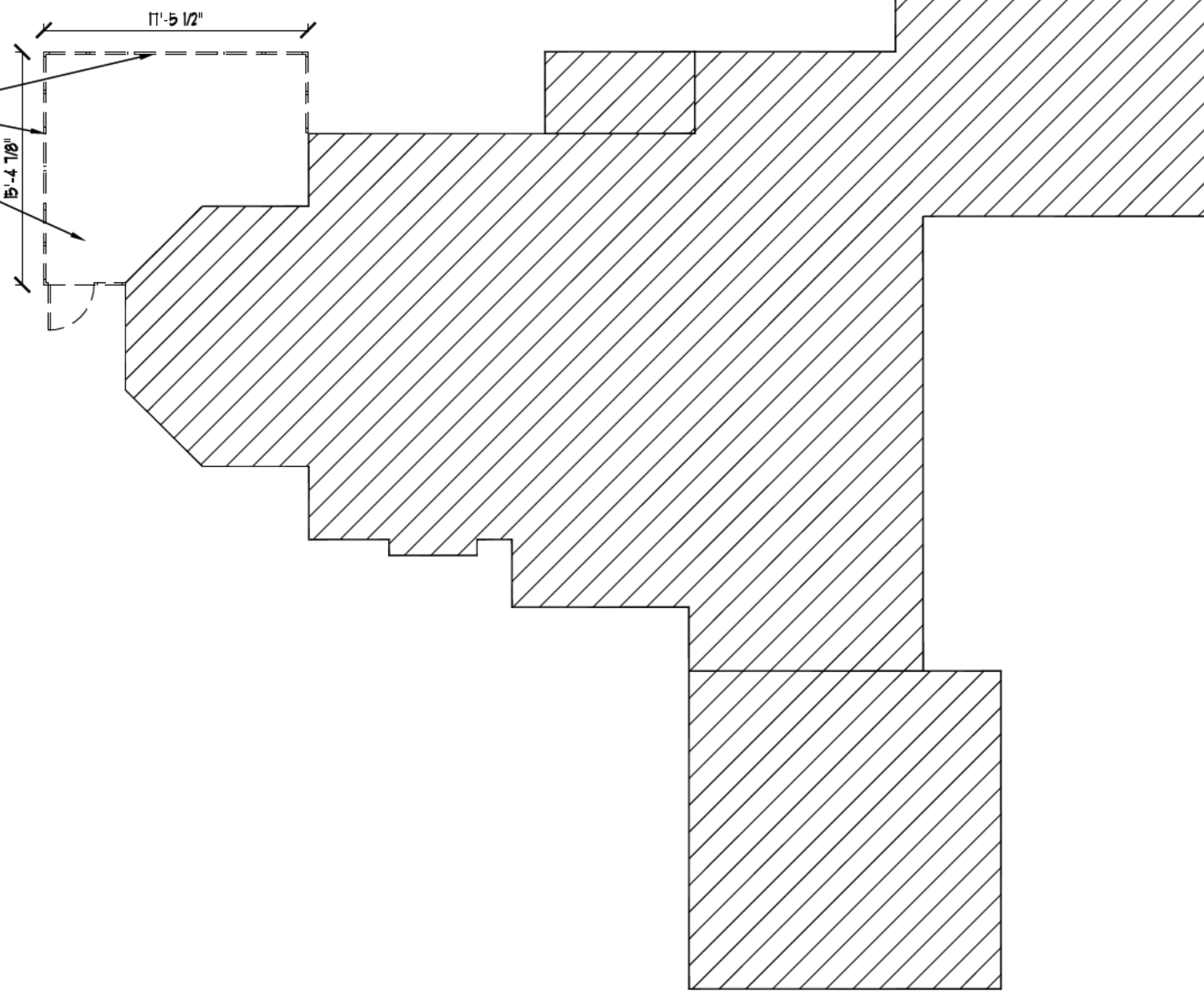
PROPOSED SITE PLAN

© 2021 Morgante · Wilson Architects, Ltd.

A1.2

DEMO EXISTING
SCREEN PORCH
WALLS AND ROOF

EXISTING SLAB TO
REMAIN



1 SCREEN PORCH PLAN FOR DEMO
3/32" = 1' - 0"



THE ELLIS RESIDENCE

576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY: DW
CHECKED BY: JWP
JOB NO.: 2035
PLOT DATE: 4/5/21

MORGANTE · WILSON ARCHITECTS, LTD.

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PH: 847.332.1001 FX: 847.332.2388

SCREEN PORCH PLAN FOR DEMO

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D2.1



DEMO STRUCTURE EXISTING
SCREEN PORCH, ROOF
AND STONE TILE FLOORING
- EXISTING CONCRETE
SLAB TO REMAIN



THE ELLIS RESIDENCE

576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY: DW
CHECKED BY: JP
JOB NO.: 2035
PLOT DATE: 5/19/21

MORGANTE · WILSON ARCHITECTS, LTD.

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SOUTH ELEVATION FOR DEMO

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THE ELLIS RESIDENCE
576 ELM STREET
WINNETKA, ILLINOIS

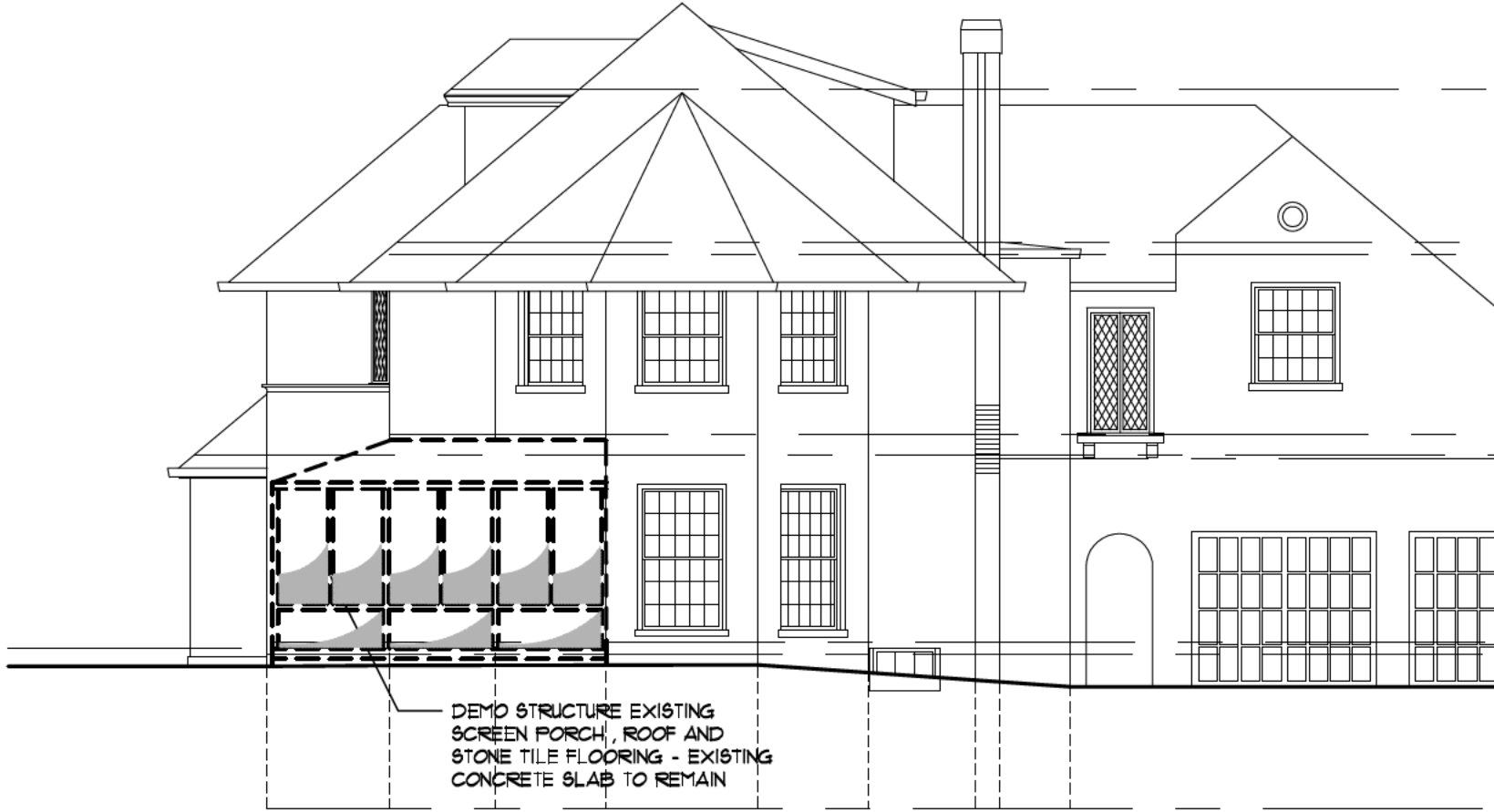
DRAWN BY: DW
CHECKED BY: JP
JOB NO.: 2035
PLOT DATE: 5/19/21

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PH: 847.332.1001 FX: 847.332.2388

NORTH ELEVATION FOR DEMO

© 2021 Morgante · Wilson Architects, Ltd.

D4.2



DEMO STRUCTURE EXISTING
SCREEN PORCH, ROOF AND
STONE TILE FLOORING - EXISTING
CONCRETE SLAB TO REMAIN



THE ELLIS RESIDENCE
576 ELM STREET
WINNETKA, ILLINOIS

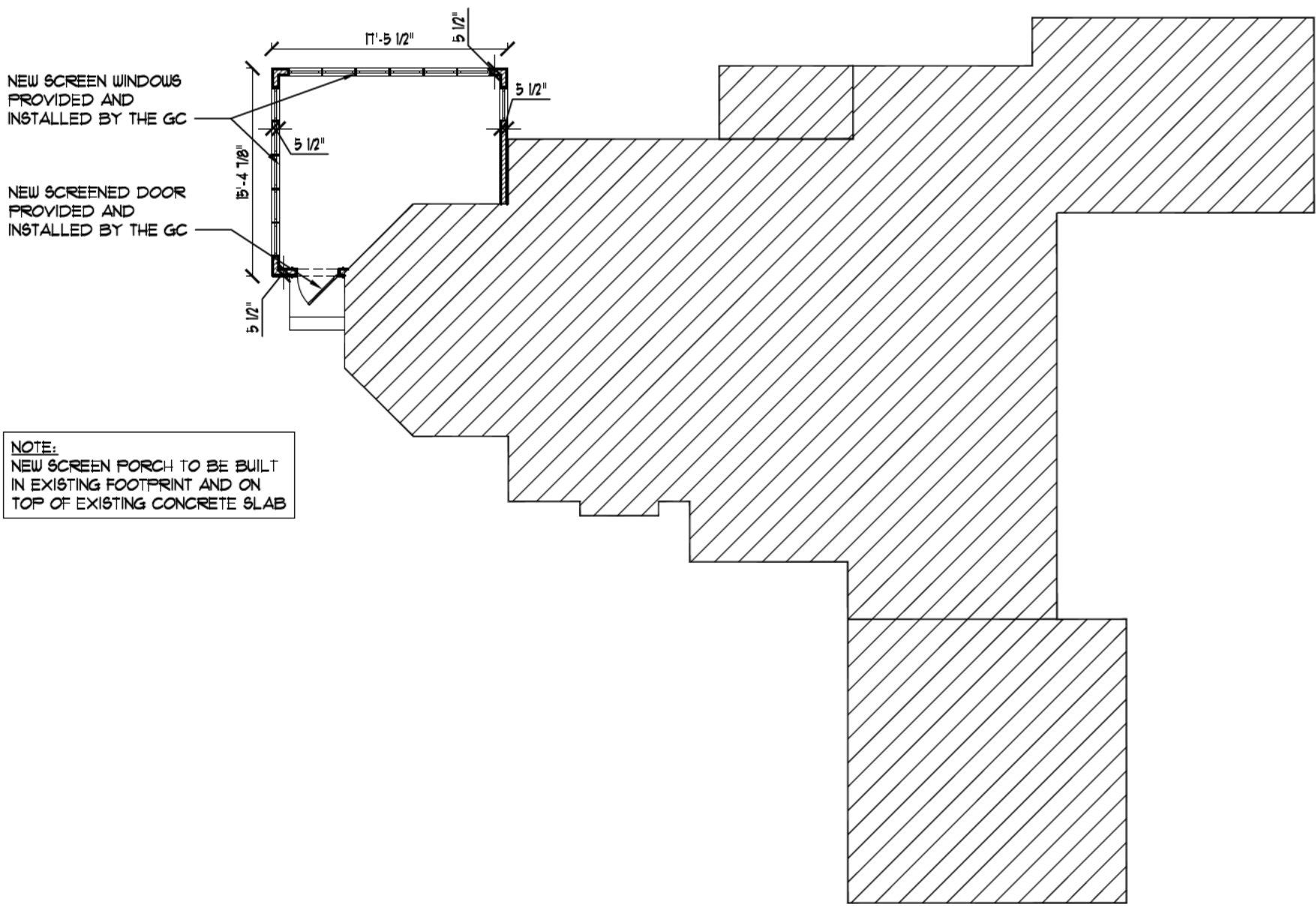
DRAWN BY: DW
CHECKED BY: JJP
JOB NO.: 2035
PLOT DATE: 5/19/21

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PH: 847.332.1001 FX: 847.332.2388

NORTH ELEVATION FOR DEMO

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D4.3



NOTE:
NEW SCREEN PORCH TO BE BUILT
IN EXISTING FOOTPRINT AND ON
TOP OF EXISTING CONCRETE SLAB

1 SCREEN PORCH PLAN
3/32" = 1' - 0"



THE ELLIS RESIDENCE
576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY: DW
CHECKED BY: JP
JOB NO.: 2035
PLOT DATE: 4/5/21

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PH: 847.332.1001 FX: 847.332.2388

SCREEN PORCH PLAN

© 2021 Morgante • Wilson Architects, Ltd.

A2.1

THE ELLIS RESIDENCE
576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY: DW
CHECKED BY: JP
JOB NO.: 2035
PLOT DATE: 4/5/21

MORGANTE • WILSON ARCHITECTS, LTD.
2834 CENTRAL STREET, EVANSTON, IL 60201
PH: 847.332.1001 FX: 847.332.2388

SOUTH ELEVATION



1 SOUTH ELEVATION
1/4" = 1' - 0"



1 NORTH ELEVATION
1/4" = 1' - 0"

THE ELLIS RESIDENCE
576 ELM STREET
WINNETKA, ILLINOIS

DRAWN BY: DW
CHECKED BY: JP
JOB NO.: 2035
PLOT DATE: 4/5/21

MORGANTE · WILSON ARCHITECTS, LTD.
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PH: 847.332.1001 FX: 847.332.2388

NORTH ELEVATION

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A4.3



1 WEST ELEVATION
1/4" = 1' - 0"



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a virtual public hearing will be held by the Winnetka Zoning Administrator on **MONDAY, JUNE 7, 2021 AT 4:00 PM** for the purpose of considering the following:

CASE NO. 21-22-ZA

982 HILL ROAD – RESIDENTIAL ADDITIONS

An application submitted by Pat and Mardi Hackett (collectively, the “Applicant”), as the owners of the property located at 982 Hill Road (the “Subject Property”), **to allow construction of additions to the existing residence on the Subject Property.** The Applicant has filed an application seeking the following variations from the Zoning Ordinance:

1. A variation to provide less than the minimum required front yard setback from the east property line; and
2. A variation to provide less than the minimum required total side yard setback.

The Subject Property (Parcel Index Number 05-29-200-047-0000) is generally located on the south side of Hill Road, between Fox Lane and Locust Road, and is zoned R-1 Single Family Residential. The Subject Property contains an existing one-story residence with an attached garage.

VIRTUAL HEARING PUBLIC PARTICIPATION OPTIONS

In accordance with social distancing requirements and Governor Pritzker’s Executive Order 2021-09 and Senate Bill 2135, **the Winnetka Zoning Administrator meeting will be held virtually. The meeting will be livestreamed via the Zoom platform, and the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location.** The number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a “first-come, first-served” basis.**

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- 2) **Livestream (both audio and video feed).** Download the Zoom meetings app to your smart phone, tablet or computer, and then join Webinar ID – 956 6015 4013, Webinar Passcode – ZA060721

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of three ways:

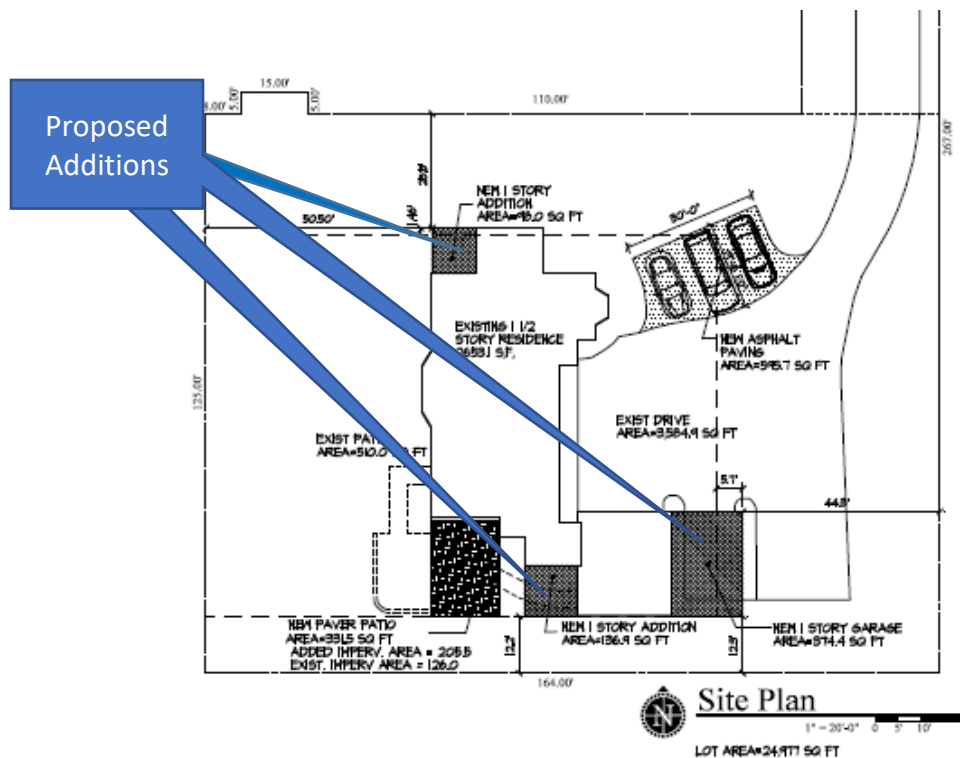
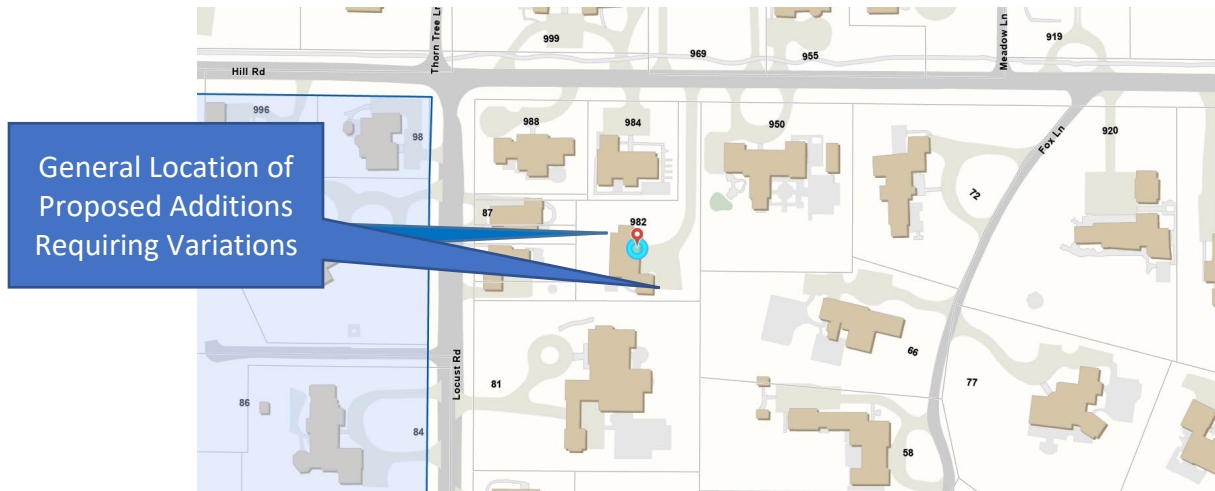
- 1) By sending **an email** to planning@winnetka.org;
- 2) By sending **a letter** to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093; or
- 3) By leaving **a voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

Please be advised if, prior to the scheduled public hearing date, Governor Pritzker rescinds, or does not extend, his current disaster declaration allowing for remote meetings, the Village will be required to conduct public hearings in the traditional in-person format only, at Village Hall, 510 Green Bay Road, Winnetka Illinois in the Village Council Chambers. No further notice of this hearing, or of its location or manner in which it will be conducted, will be provided. Information regarding the location of the public hearing and any changes to instructions for participating in the public hearing will be included on the meeting agenda posted on the Village’s website - www.villageofwinnetka.org/agendacenter - no later than Thursday, May 27, 2021. Please contact the Community Development Department at 847-716-3525 for confirmation of the meeting location.

All comments received prior to the posting of the agenda packet will be included in the agenda packet. All comments received after the agenda packet has been posted and received by 6:00 PM the day of the meeting will be read at the meeting by staff. Such public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093 [Telephone: (847) 716-3543; T.T.Y.: (847) 501-6041].



Proposed Site Plan
(Note: Details may change through review process)

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 21-22-ZAProperty InformationSite Address: 982 HILL RD, WINNETKA, IL 60093Owner InformationName: PAT AND MARDI HACKETTPrimary Contact: PAT HACKETTAddress: 982 HILL ROAD

Phone No. _____

City, State, ZIP: WINNETKA, IL 60093Email: 

Date property acquired by owner: _____

Architect InformationName: THOMAS PATRICK PINS ARCHITECTAttorney Information

Name: _____

Primary Contact: TOM PINS

Primary Contact: _____

Address: 2216 DEWES STREET

Address: _____

City, State, ZIP: GLENVIEW, IL 60025

City, State, Zip: _____

Phone No. 312 - 656 - 7290

Phone No. _____

Email: tpins@thomaspins.com

Email: _____

Nature of any restrictions on property: VARIANCE FOR SETBACKS

Brief explanation of variation(s) requested (attach separate sheet providing additional details): WE ARE PROPOSING A MASTER BATH ADDITION ON THE NORTH SIDE OF THE HOUSE AND A GARAGE ADDITION ON THE EAST SIDE. THE MASTER BATH WILL EXTEND INTO THE SIDERYARD SETBACK AND THE GARAGE WILL EXTEND INTO THE FRONT YARD SETBACK.

Property Owner Signature: _____

DocuSigned by:
Patrick Hackett
D21EAB3C38A94496...Date: 5/25/21

Thomas Patrick Pins

~ ARCHITECT ~

May 25, 2021

Village of Winnetka
Community Development Department
510 Green Bay Road
Winnetka, IL 60093

Re: Request for Variation – 982 Hill Rd

Explanation of Variation Requested.

We are proposing a master bath addition on the North side of the house and a garage addition on the East side. The master bath will extend into the side yard setback and the garage will extend into the front yard setback.

The proposed master bath addition does not comply with the minimum required total side yard setback of 39.16 feet. To comply, the addition on the North side would need to provide a setback of 26.96 feet from the north property line, an increase of 1.46 feet from the currently proposed setback of 25.5 feet. The existing the existing house is nonconforming with respect to the total side yard requirement and provides the same setbacks proposed for the master bath addition. The proposed garage addition does not comply with the minimum required front yard setback of 50 feet. The currently proposed setback of 44.3 feet is 5.7' less than required.

Standards for Granting of Zoning Variations.

1. The property in question can not yield a reasonable return if permitted to be used only under the conditions allowed by regulations in zone R1. The existing house has a small two car attached garage that has access along the existing front porch. We are proposing to update the garage to add a third bay so that there can be storage at the bay that is adjacent to the front porch to provide safer access to the garages. The master bath is too small by today's standards and the addition squares off the existing house and does not extend further into the side yard.
2. Our circumstance is unique due to the fact 1) The existing house is constructed within the side yard setback, 2) that the existing house has a small garage located tight to the existing house and the front yard does not face the street. Because of the flag lot condition, the front yard actually faces the back yards of the two neighbors.
3. The variation will not alter the essential character of the locality. We are locating the new garage extending to maintain the height, windows, and roof line of the old garage.

2216 Dewes Street
Glenview, Illinois 60025
312.656.7290
tpins@thomaspins.com

Thomas Patrick Pins

~ ARCHITECT ~

4. An Adequate supply of light and air to the adjacent property will not be impaired. The master bath addition is only 1 story tall to match the existing and will just fill in an existing inside corner.
5. The hazard from fire and other damages to the property will not be increased. The addition continue to be well separated from any neighbors.
6. The taxable value of the land and buildings throughout the village will not diminish. On the contrary, the granting of the variances will increase the value of the property by improving the master bath and the garage storage..
7. The congestion in the public street will not increase. The house will remain a single family residence.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired. The granting of the variance will allow us to improve this small part of the Village

Sincerely,



Thomas P. Pins
Thomas Patrick Pins ~ Architect

2216 Dewes Street
Glenview, Illinois 60025
312.656.7290
tpins@thomaspins.com



SURVEY NUMBER: 2012.4703

CERTIFIED TO:
H. PATRICK HACKETT, JR. AND MARTHA P. HACKETT; FIRST AMERICAN
TITLE INSURANCE COMPANY.

BUYER: H. PATRICK HACKETT, JR. AND MARTHA P. HACKETT

SELLER: WILLIAM F. FORD AND BANK ONE TRUST COMPANY, N.A. AS CO-TRUSTEES OF THE WILLIAM F.

CLIENT FILE NO: AF1003741

LEGAL DESCRIPTION:

PARCEL 1- LOTS 46 TO 50, EXCEPT THE NORTH 1 FOOT (EXCEPT THE WEST 15 FEET THEREOF AND THE EAST 1 FOOT THEREOF) OF LOT 50, THE EAST 1 FOOT OF LOT 1, THE EAST 1/2 OF THE ALLEY WEST AND ADJOINING LOTS 46 TO 50, THE SOUTH 1/2 OF THE ALLEY NORTH AND ADJOINING LOTS 46 TO 50, EXCEPT THE SOUTH 1/2 OF THE ALLEY NORTH AND THE SOUTHWEST CORNER OF THE NORTH 1 FOOT (EXCEPT THE WEST 15 FEET THEREOF AND THE EAST 1 FOOT THEREOF) OF LOT 50 AND THAT PART OF THE NORTH 1/2 OF THE 16 FOOT ALLEY LYING SOUTH OF THE EAST 1 FOOT OF LOT 1, ALL IN BLOCK 1 IN BRADFORD PARK AND POSTER'S ADDITION TO KENILWORTH, A SUBDIVISION OF THE WEST SIDE OF THE NORTHWEST CORNER OF THE SEASIDE TRAIL SECTION, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: ALL OF VACATED WASHINGTON AVENUE EAST AND ADJOINING PARCEL 1 IN COOK COUNTY, ILLINOIS

JOB SPECIFIC SURVEYOR NOTES

DATE: 01/08/21 FIELD WORK DATE: 1/8/2021

REVISION DATE(S):

(REV.1 1/11/2021)

POINTS OF INTEREST

SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF LASALLE } SS:

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
 LICENSE EXPIRES 11/30/2022
 EXACTA LAND SURVEYORS, LLC
 PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Proudly Supports

THE **cara** PROGRAM

Cara

www.thecaraprogram.org

Since 1991, The Cars Program has placed more than 4,800 motivated adults into more than 6,000 quality jobs, catalyzing the same number of families to stop the transfer of poverty from one generation to the next.

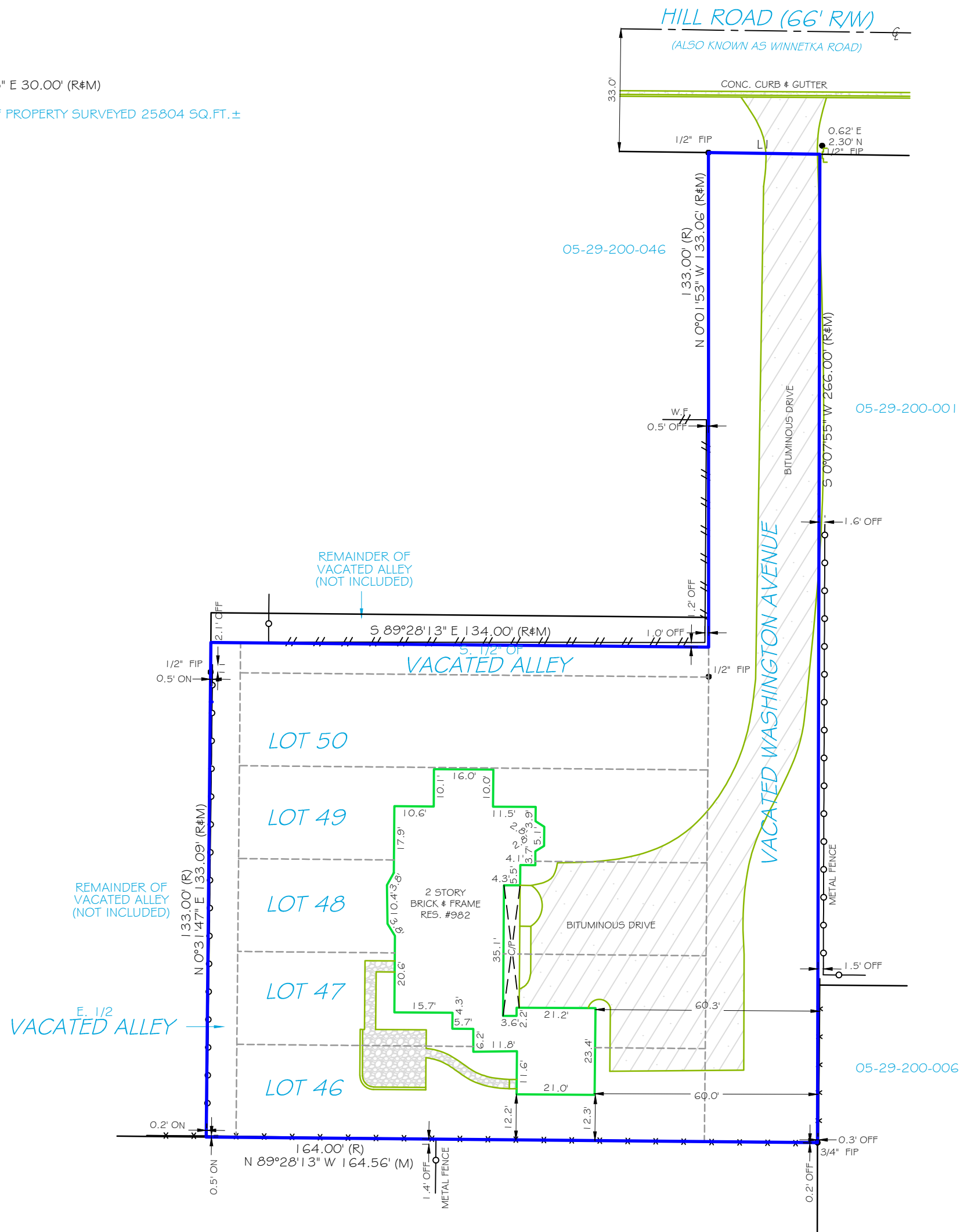
2012.4703
BOUNDARY SURVEY
COOK COUNTY

PARCEL 1: LOTS 46 TO 50, EXCEPT THE NORTH 1 FOOT (EXCEPT THE WEST 15 FEET THEREOF AND THE EAST 1 FOOT THEREOF) OF LOT 50, THE EAST 1 FOOT OF LOT 1, THE EAST 1/2 OF THE ALLEY WEST AND ADJOINING LOTS 46 TO 50, THE SOUTH 1/2 OF THE ALLEY NORTH AND ADJACENT TO LOT 50, EXCEPT THE SOUTH 1/2 OF THE ALLEY NORTH AND ADJOINING THE NORTH 1 FOOT (EXCEPT THE WEST 15 FEET THEREOF AND THE EAST 1 FOOT THEREOF) OF LOT 50 AND THAT PART OF THE NORTH 1 FOOT OF LOT 50 ADJOINING THE SOUTH 1/2 OF THE EAST 1 FOOT OF LOT 1, ALL IN BLOCK 1 IN BRADFORD AND PORTER'S ADDITION TO KENILWORTH, A SUBDIVISION OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

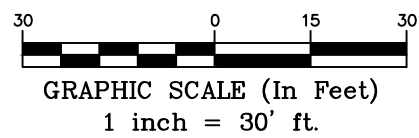
PARCEL 2: ALL OF VACATED WASHINGTON AVENUE EAST AND ADJOINING PARCEL
1 IN COOK COUNTY, ILLINOIS

TABLE:
LI S 89°10'45" E 30.00' (R&M)

TOTAL AREA OF PROPERTY SURVEYED 25804 SQ.FT.±



PROPERTY WAS SNOW COVERED AT TIME OF SURVEY



GENERAL SURVEYORS NOTES:

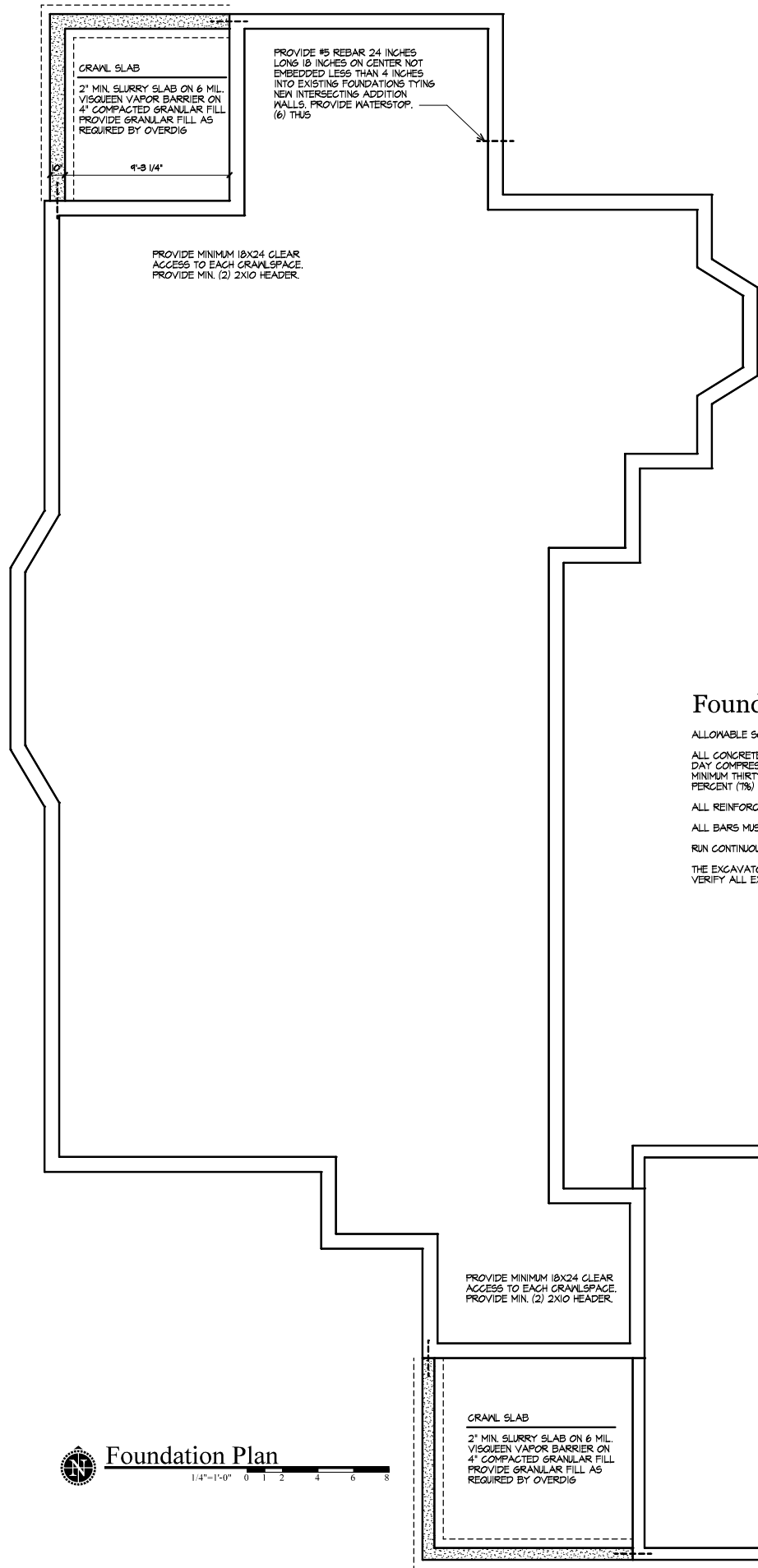
1. The legal description used to perform this survey was supplied by others. The survey does not determine or imply ownership.
2. This survey only shows improvements found above ground. Underground footings, utilities, and encroachments are not located on this survey map.
3. If there is a septic tank, well or drain old on this survey, the location of such items was shown to us by others and are not verified.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Any additions or deletions to this 1-page survey document are strictly prohibited.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained in this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
9. All pins marked as set are 5/8" diameter, 18" iron rebar.
10. Unless specifically stated otherwise, an examination of the abstract of title was not performed by the signing surveyor to determine which instruments, if any, are affecting this property.
11. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback, or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
12. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easement.
13. The information contained in this survey has been performed exclusively and is the sole responsibility of Exacta Land Surveys, LLC. Additional logo or references to third parties are for informational purposes only.
14. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.
15. Surveyor bearings are used for angular reference and are shown to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching points on the subdivision plans on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plans. North 00 degrees East is assumed as the orientation of this plan, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270 Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
16. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAN ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT © EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYORS LEGEND:

LINETYPES		ABBREVIATIONS		ME	
	Boundary Line	(C) - Calculated	(C) - Calculated	MES - Mitered End Section	
	Center Line	(D) - Deed	(D) - Deed	MF - Metal Fence	
	Chain Link or Wire Fence	(F) - Field	(F) - Field	MH - Manhole	
	Easement	(M) - Measured	(M) - Measured	NR - Non-Radial	
	Edge of Water	(PI) - Plat	(PI) - Plat	NTS - Not to Scale	
	Iron Fence	(S) - Survey	(S) - Survey	NTD88 - North American Vertical Datum 1988	
	Overhead Lines	A/C - Air Conditioning	A/C - Air Conditioning	NGVD29 - National Geodetic Vertical Datum 1929	
	Structure	AE - Access Easement	AE - Access Easement	OG - On Ground	
	Survey Tie Line	ANE - Anchor Easement	ANE - Anchor Easement	ORB - Official Records Book	
	Vinyl Fence	ASBL - Accessory Setback Line	ASBL - Accessory Setback Line	ORF - Official Record Volume	
	Wall or Party Wall	B/W - Bay/Box Window	B/W - Bay/Box Window	O/A - Overall	
	Wood Fence	BC - Block Corner	BC - Block Corner	O/S - Offset	
SURFACE TYPES		BFP - Backflow Preventer	BFP - Backflow Preventer	OFF - Outside Subject Property	
	Asphalt	BLDG - Building	BLDG - Building	OH - Overhang	
	Brick or Tile	BLK - Block	BLK - Block	OHL - Overhead Utility Lines	
	Concrete	BM - Benchmark	BM - Benchmark	ON - Inside Subject Property	
	Covered Area	BR - Bearing Reference	BR - Bearing Reference	P/E - Pool Equipment	
	Water	BRL - Bearing Restriction Line	BRL - Bearing Restriction Line	PB - Plot Book	
	Wood	BSMT - Basement	BSMT - Basement	PC - Point of Curvature	
SYMBOLS		C - Curve	C - Curve	PCP - Point of Compound Curvature	
	Benchmark	C/L - Center Line	C/L - Center Line	PP - Permanent Control Point	
	Center Line	C/P - Covered Porch	C/P - Covered Porch	PI - Point of Intersection	
	Central Angle or Delta	C/S - Concrete Slab	C/S - Concrete Slab	PLS - Professional Land Surveyor	
	Common Ownership	CATV - Cable TV Riser	CATV - Cable TV Riser	PLT - Planter	
	Control Point	CB - Concrete Block	CB - Concrete Block	P/B - Point of Beginning	
	Catch Basin	CH - Chord Bearing	CH - Chord Bearing	POC - Point of Commencement	
	Elevation	CHIM - Chimney	CHIM - Chimney	PRC - Point of Reverse Curvature	
	Fire Hydrant	CLF - Chain Link Fence	CLF - Chain Link Fence	PRM - Permanent Reference Monument	
	Find or Set Monument	CME - Canal Maintenance Easement	CME - Canal Maintenance Easement	PSM - Professional Surveyor & Mapper	
	Guywire or Anchor	CO - Clean Out	CO - Clean Out	PT - Point of Tangency	
	Manhole	CONC - Concrete	CONC - Concrete	PUE - Public Utility Easement	
	Tree	COR - Corner	COR - Corner	R - Radius or Radial	
	Utility or Light Pole	CS/W - Concrete Sidewalk	CS/W - Concrete Sidewalk	R/W - Right of Way	
	Well	CUE - Control Utility Easement	CUE - Control Utility Easement	RES - Residential	
		CVG - Concrete Valley Gutter	CVG - Concrete Valley Gutter	RGE - Range	
		D/W - Driveway	D/W - Driveway	ROE - Roof Overhang Easement	
		DE - Drainage Easement	DE - Drainage Easement	RP - Radius Point	
		DF - Drain Field	DF - Drain Field	S/W - Sidewalk	
		DH - Drill Hole	DH - Drill Hole	SB/L - Setback Line	
		DUE - Drainage & Utility Easement	DUE - Drainage & Utility Easement	SCL - Survey Closure Line	
		ELEV - Elevation	ELEV - Elevation	SCR - Screen	
		EM - Electric Meter	EM - Electric Meter	SEC - Section	
		ENCL - Enclosure	ENCL - Enclosure	SEP - Septic Tank	
		ENT - Entrance	ENT - Entrance	SEW - Sewer	
		EOP - Edge of Pavement	EOP - Edge of Pavement	SIRC - Set Iron Rod & Cap	
		EOW - Edge of Water	EOW - Edge of Water	SMWE - Storm Water Management Easement	
		ESMT - Easement	ESMT - Easement	SND8D - Set Nail and Disc	
		EUB - Electric Utility Box	EUB - Electric Utility Box	SQFT - Square Feet	
		F/DH - Found Drill Hole	F/DH - Found Drill Hole	STL - Survey Tie Line	
		FCM - Found Concrete Monument	FCM - Found Concrete Monument	STV - Story	
		FF - Finished Floor	FF - Finished Floor	SV - Sewer Valve	
		FIP - Found Iron Pipe	FIP - Found Iron Pipe	SW/S - Sidewalk Easement	
		FIPC - Found Iron Pipe & Cap	FIPC - Found Iron Pipe & Cap	TBM - Temporary Bench Mark	
		FIR - Found Iron Rod	FIR - Found Iron Rod	TEL - Telephone Facilities	
		FIRC - Found Iron Rod & Cap	FIRC - Found Iron Rod & Cap	TBP - Top of Bank	
		FN - Found Nail	FN - Found Nail	TUE - Technological Utility Easement	
		FN&D - Found Nail & Disc	FN&D - Found Nail & Disc	TWP - Township	
		FRRS/PK - Found Rail Road Spike	FRRS/PK - Found Rail Road Spike	TX - Transformer	
		GAR - Garage	GAR - Garage	TYP - Typical	
		GM - Gas Meter	GM - Gas Meter	UE - Utility Easement	
		ID - Identification	ID - Identification	UG - Underground	
		IE/E - Ingress/Egress Easement	IE/E - Ingress/Egress Easement	UP - Utility Pole	
		ILL - Illegible	ILL - Illegible	UR - Utility Riser	
		INST - Instrument	INST - Instrument	VF - Vinyl Fence	
		INT - Intersection	INT - Intersection	W/C - Witness Corner	
		IRRE - Irrigation Easement	IRRE - Irrigation Easement	W/F - Water Filter	
		L - Length	L - Length	W/F - Wood Fence	
		LAE - Limited Access Easement	LAE - Limited Access Easement	WM - Water Meter/Valve Box	
		LB/L - License No. (Business)	LB/L - License No. (Business)	WV - Water valve	
		LBE - Limited Buffer Easement	LBE - Limited Buffer Easement		
		LE - Landscape Easement	LE - Landscape Easement		
		LME - Lake/Landscape Maintenance Easement	LME - Lake/Landscape Maintenance Easement		
		LS# - License No. (Surveyor)	LS# - License No. (Surveyor)		
		MB - Map Book	MB - Map Book		

FLOOD ZONE INFORMATION:

PAGE 1 OF 1
USE OF THIS SURVEY OTHER THAN INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT USERS' SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR.



Construction Codes

ALL PROPOSED WORK TO COMPLY WITH THE FOLLOWING CODES:
INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLING, 2009
INTERNATIONAL MECHANICAL CODE, 2009 EDITION
STATE OF ILLINOIS PLUMBING CODE, 2004 EDITION
NATIONAL ELECTRICAL CODE, 2008 EDITION
INTERNATIONAL FIRE CODE, 2009 EDITION
INTERNATIONAL FUEL GAS CODE, 2009 EDITION
LIFE SAFETY CODE 101, 2009 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION
VILLAGE OF WINNETKA CODE
VILLAGE OF WINNETKA AMENDMENTS TO INTERNATIONAL CODES

2018 Energy Conservation Code

ALL WORK WILL MEET THE PRESCRIPTIVE PACKAGE FOR ZONE 5 AND THE MANDATORY REQUIREMENTS PER THE 2015 IECC

FENESTRATION U-FACTOR	32
SKYLIGHT U-FACTOR	55
CEILING R-VALUE	44
WOOD FRAME WALL R-VALUE	20 OR 13-5
FLOOR R-VALUE	30 OR 14 INSULATION
BASEMENT WALL R-VALUE	15 CONTINUOUS / 14 CAVITY
SLAB R-VALUE/DEPTH	10, 2 FT
CRANK SPACE WALL R-VALUE	15 CONTINUOUS / 14 CAVITY

ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHER STRIPPED AND INSULATED EQUAL TO THE SURROUNDING SURFACES.

ALL CIRCULATING HOT WATER SYSTEMS ARE REQUIRED TO BE INSULATED TO AT LEAST R-2.

OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING WHERE REQUIRED.

A MINIMUM OF 75% OF THE LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS.

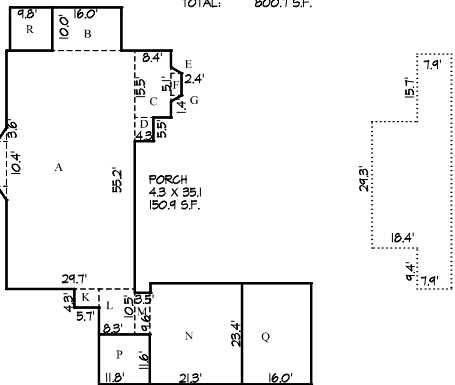
SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS INSULATED TO A MINIMUM OF R-6.

WHERE A PORTION OF THE DUCT SYSTEM SERVING THE HOME IS LOCATED OUTSIDE (OR WITHIN) THE INSULATION LAYER OF THE HOME, A DUCT PRESSURE TEST RESULTING IN A LEAKAGE RATE NO GREATER THAN FOUR CUBIC FEET PER MINUTE (4CFM25) FOR EVERY 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE OF 25 PASCAL (1 IN. WG.) WITH THE AIR HANDLER INSTALLED, IS REQUIRED.

ATTACH A PERMANENT CERTIFICATE ON OR NEAR THE CIRCUIT BREAKER BOX OR ELECTRIC PANEL BOX THAT LISTS THE MATERIALS, EQUIPMENT EFFICIENCIES, INSULATION LEVELS, AND RESULTS OF BUILDING DIAGNOSTIC TESTS TO CONFIRM THE HOME MEETS THE REQUIREMENTS OF THE ILLINOIS ENERGY CONSERVATION CODE. THE CERTIFICATE MUST NOT OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED SAFETY LABELING.

Impervious Area

EXISTING	
DRIVEWAY	3584.9 S.F.
PATIO	126.0 S.F.
TOTAL:	3,710.9 S.F.
NEW	
DRIVEWAY	545.1 S.F.
PATIO	205.0 S.F.
TOTAL:	800.1 S.F.



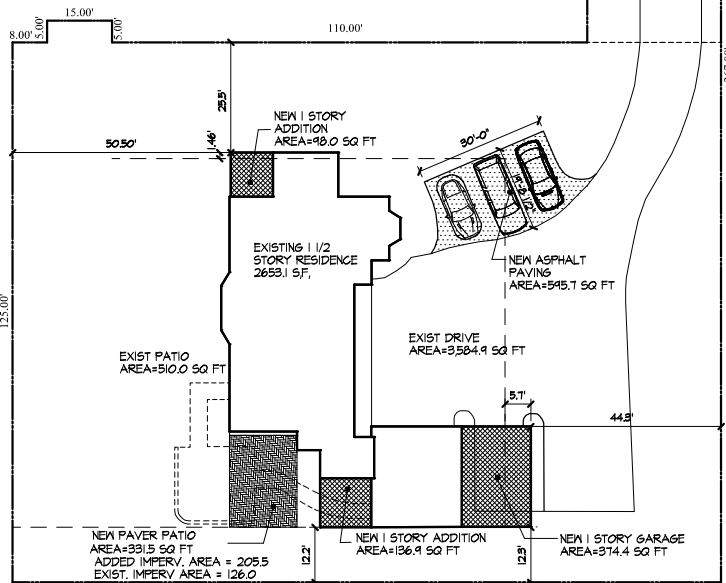
1st Floor

2nd Floor



Zoning Plans

1" = 20'-0" 0 5 10 20 30 40



Site Plan

1" = 20'-0" 0 5 10 20 30 40
LOT AREA=24,911 SQ FT

Foundation/Steel Notes

ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF - CONTRACTOR TO VERIFY
ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 318. FOUNDATION CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSF. ALL PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MINIMUM THIRTY-FIVE HUNDRED (3500) PSI AND A MINIMUM FIVE PERCENT (5%) AND A MAXIMUM SEVEN PERCENT (7%) AIR ENTRAINED.
ALL REINFORCING STEEL SHALL BE GRADE 60 #4 BE PROPERLY TIED INTO PLACE PRIOR TO POURING
ALL BARS MUST BE 3" CLEAR FROM GRADE.
RUN CONTINUOUS FOOTING REBAR THROUGH SPOT FOOTINGS THAT OCCUR IN CONTINUOUS FOOTINGS.
THE EXCAVATOR AND CONCRETE CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING THE BID AND VERIFY ALL EXISTING CONDITIONS. NO PLEA OF EXISTING CONDITIONS WILL BE ACCEPTED.



THOMAS P. PINS
001-013333
ARCHITECT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE REQUIREMENTS OF WINNETKA

THOMAS P. PINS
IL LIC# 001-013333 EXP. 11/30/2022
DATE 3/3/2021

Drawing Index

STAMP APPLIES TO FOLLOWING SHEETS:

- A1 Foundation Plan and Site Plan
- A2 First Floor Plan and Demo Plan
- A3 Second Floor Plan and Demo Plan
- A4 East Elevation
- A5 South Elevation
- A6 West Elevation
- A7 North Elevation, Walls Sections

H I L L R O A D

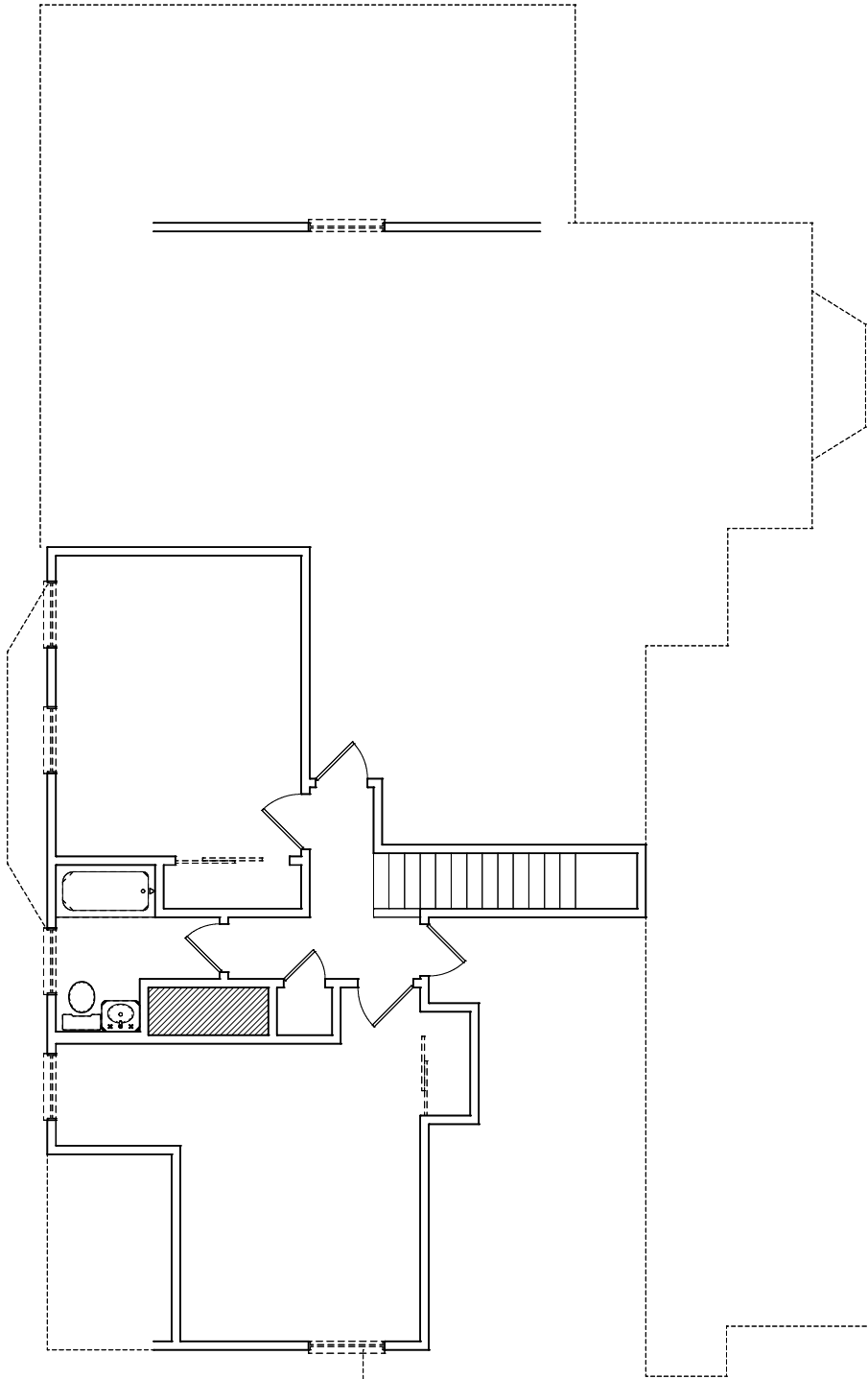
Interior Remodel and Garage Addition

982 Hill Road

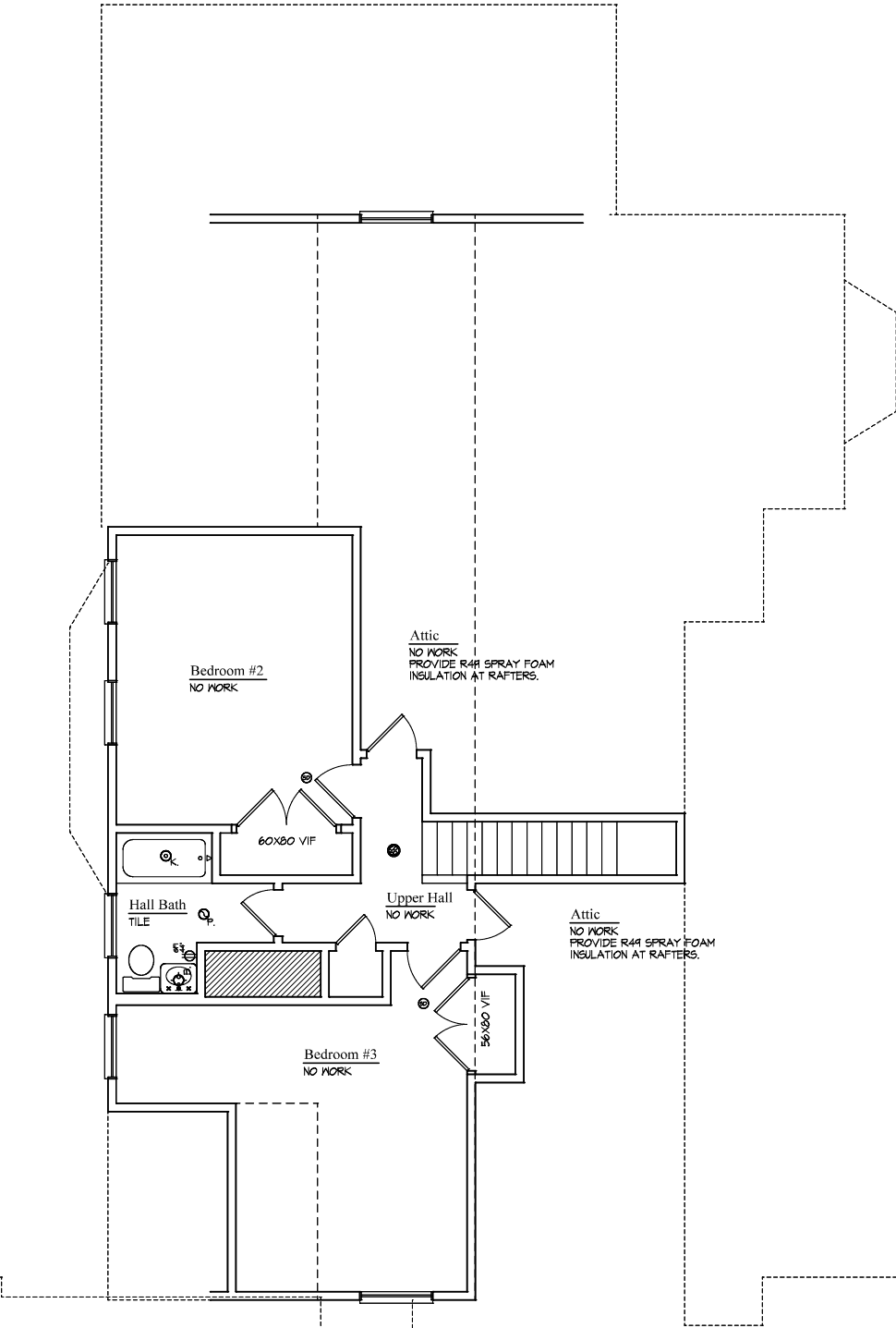
Winnetka, IL 60093

Foundation Plan
Site Plan

A1



 2nd Floor Demo Plan
1/4"=1'-0" 0 1 2 4 6 8



 2nd Floor Plan
1/4"=1'-0" 0 1 2 4 6 8

REV/EN	1/1/2021
REV/EN	1/28/2021
REV/EN	1/30/2021
REV/EN	2/19/2021
REV/EN	2/24/2021
PERMIT REV/EN	3/6/2021

Second Floor Plan
Second Floor Demo Plan

A3

Interior Remodel and Garage Addition
982 Hill Road
Winnetka, IL 60093

Thomas Patrick Pins
~ Architect ~
2216 Dewes Street
Glenview, IL 60025
Phone (312) 656 7290
www.thomaspins.com

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Existing East Elevation

1/4"=1'-0" 0 1 2 4 6 8



NEW BRICK TO MATCH EXISTING

NEW FOUNDATION

East Elevation

1/4"=1'-0" 0 1 2 4 6 8

East Elevation

A4

Interior Remodel and Garage Addition
982 Hill Road
Winnetka, IL 60093

REVIEW	1/11/2021
REVIEW	1/26/2021
REVIEW	1/30/2021
REVIEW	2/14/2021
REVIEW	2/24/2021
PERMIT REVIEW	3/8/2021

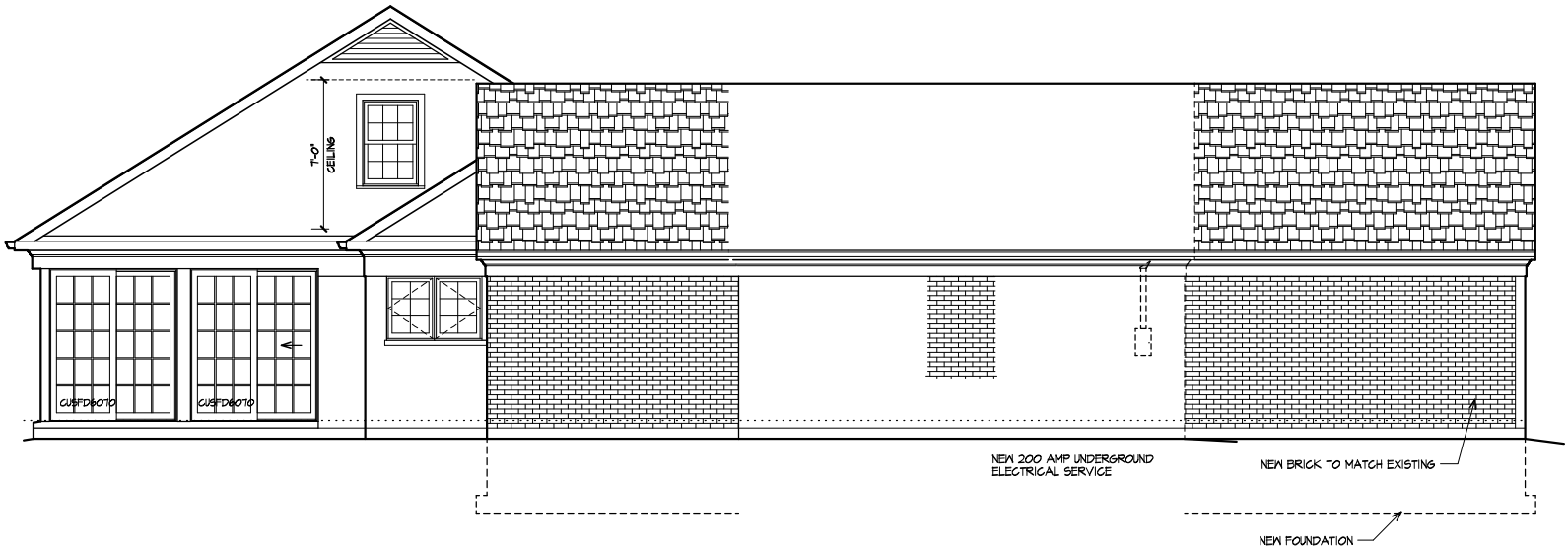
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~ Architect ~
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Existing South Elevation

1/4"=1'-0" 0 1 2 4 6 8



South Elevation

1/4"=1'-0" 0 1 2 4 6 8

REVIEW	1/11/2021
REVIEW	1/26/2021
REVIEW	1/30/2021
REVIEW	2/16/2021
REVIEW	2/24/2021
PERMIT REVIEW	3/8/2021

South Elevation

A5

Interior Remodel and Garage Addition
982 Hill Road
Winnetka, IL 60093

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Existing West Elevation



West Elevation

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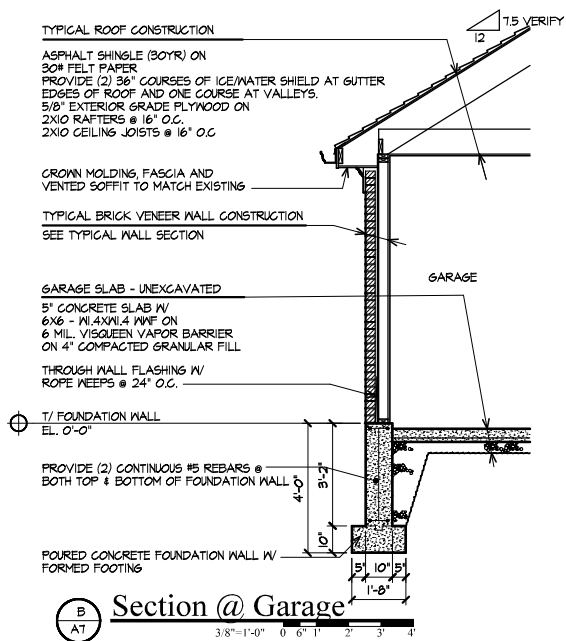
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Interior Remodel and Garage Addition
982 Hill Road
Winnetka, IL 60093

REVIEW	1/11/2021
REVIEW	1/26/2021
REVIEW	1/30/2021
REVIEW	2/14/2021
REVIEW	2/24/2021
PERMIT REVIEW	3/9/2021

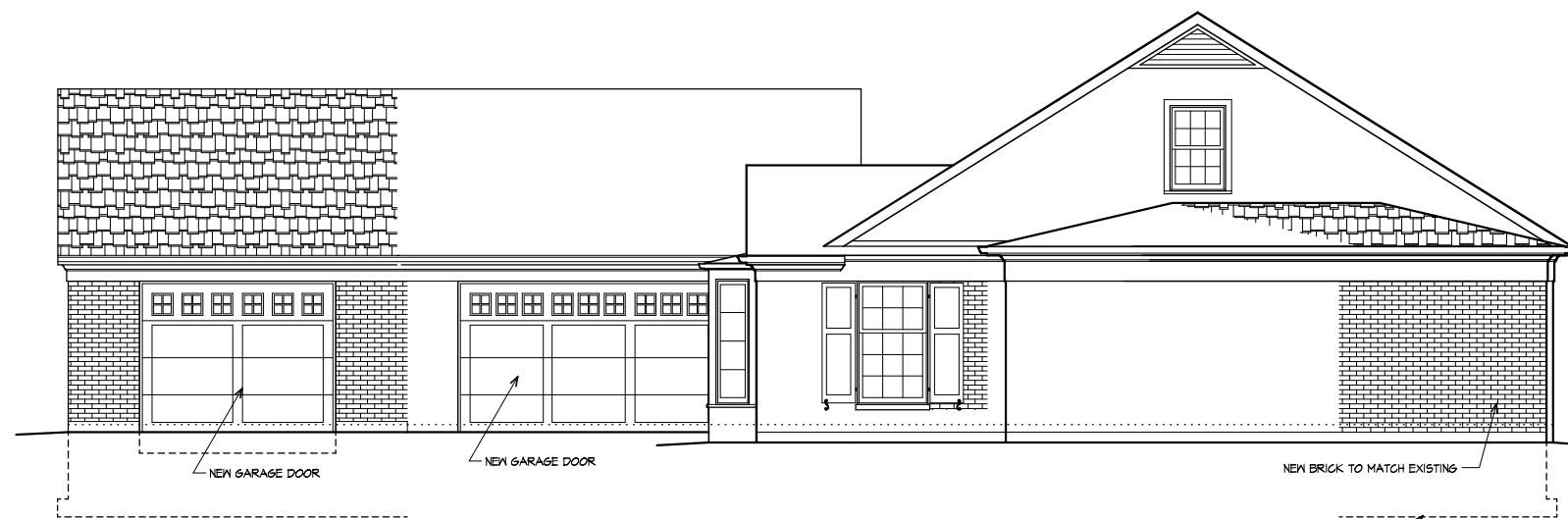
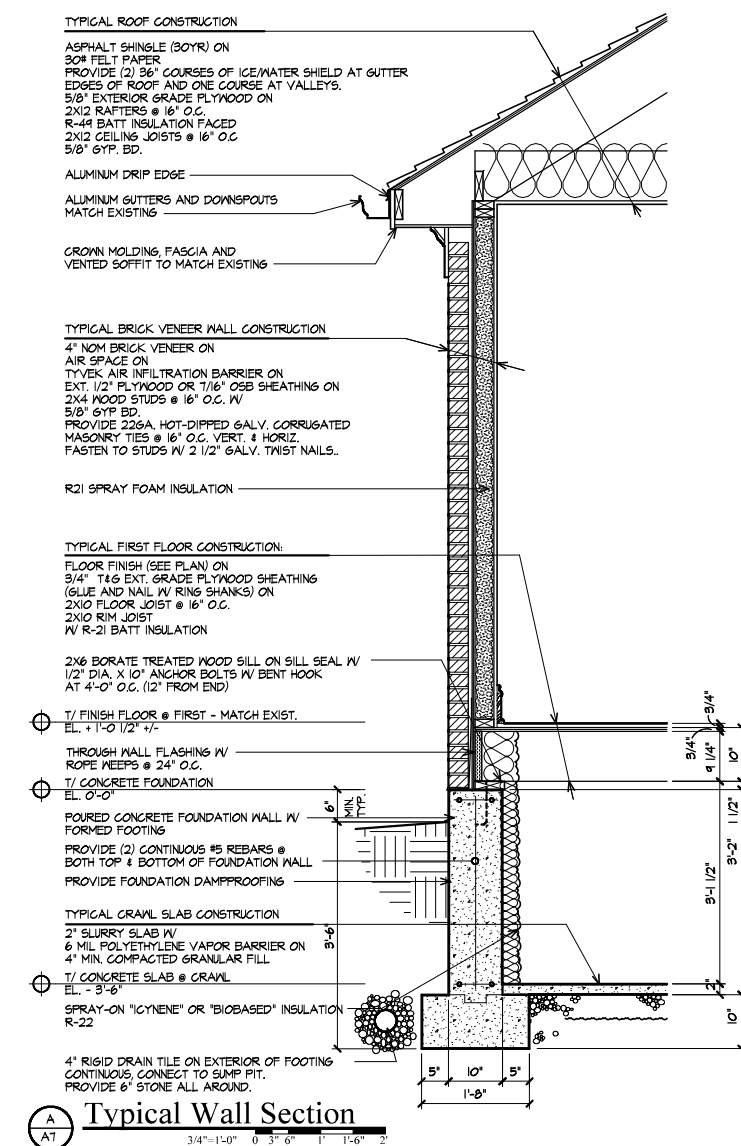
West Elevation

A6



Existing North Elevation

1/4"=1'-0" 0 1 2 4 6 8



Flashing Note:

PROVIDE FLASHING AT THE FOLLOWING LOCATIONS:
ROOF TO WALL, ROOF TO ROOF, ROOF VALLEYS,
HEADS OF WINDOW AND DOOR OPENING, SILL OF
OPENINGS, PATIO/ PORCH TO WALL LOCATIONS,
AND AS NOTED ON DRAWINGS.

North Elevation

1/4"=1'-0" 0 1 2 4 6 8

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Interior Remodel and Garage Addition

982 Hill Road

Winnetka, IL 60093

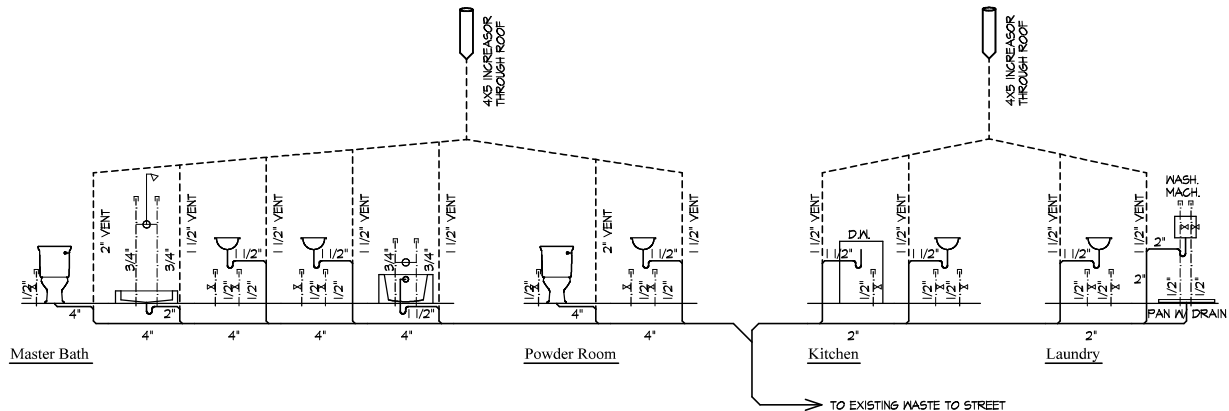
North Elevation
Wall Sections

A7

Plumbing Fixtures

QTY	FIXTURE	WSFU
3	WATER CLOSET (3 WSFU EACH)	9
4	LAVATORY (1 WSFU EACH)	4
1	BATHTUB (2 WSFU EACH)	2
1	SHOWER STALL (2 WSFU EACH)	2
1	KITCHEN/BAR SINK (2 WSFU EACH)	2
1	UTILITY SINK (3 WSFU EACH)	3
1	DISHWASHING MACHINE (1 WSFU EACH)	1
1	LAUNDRY MACHINE (2 WSFU EACH)	2
TOTAL WATER SUPPLY FIXTURE UNITS (WSFU)		25

ALL WORK SHALL COMPLY WITH THE STATE OF ILLINOIS PLUMBING CODE
PROVIDE BACKFLOW PROTECTION FOR HAND SHOWERS (840.1130 F)
ANTI-SCALD VALVES ON SHOWERS OR TUB/SHOWER COMBINATIONS SET AT 115 DEGREES AT TIME OF INSPECTION (840.640 B)
REQUIRED WATER SUPPLY FULL SIZE TO FIRST MAJOR OPENING (840.1200-840.1210 APP A, TABLE M4N)
PROVIDE PASSIVE RADON SYSTEM PER 420 ILCS 52/ RADON RESISTANT CONSTRUCTION ACT
ALL NEW PLUMBING FIXTURES AND IRRIGATION CONTROLLERS CONNECTED TO THE VILLAGE WATER SUPPLY SHALL BEAR THE WATERSENSE LABEL AS DESIGNATED BY THE EPA. LOCAL ORDINANCE MC-6-2015

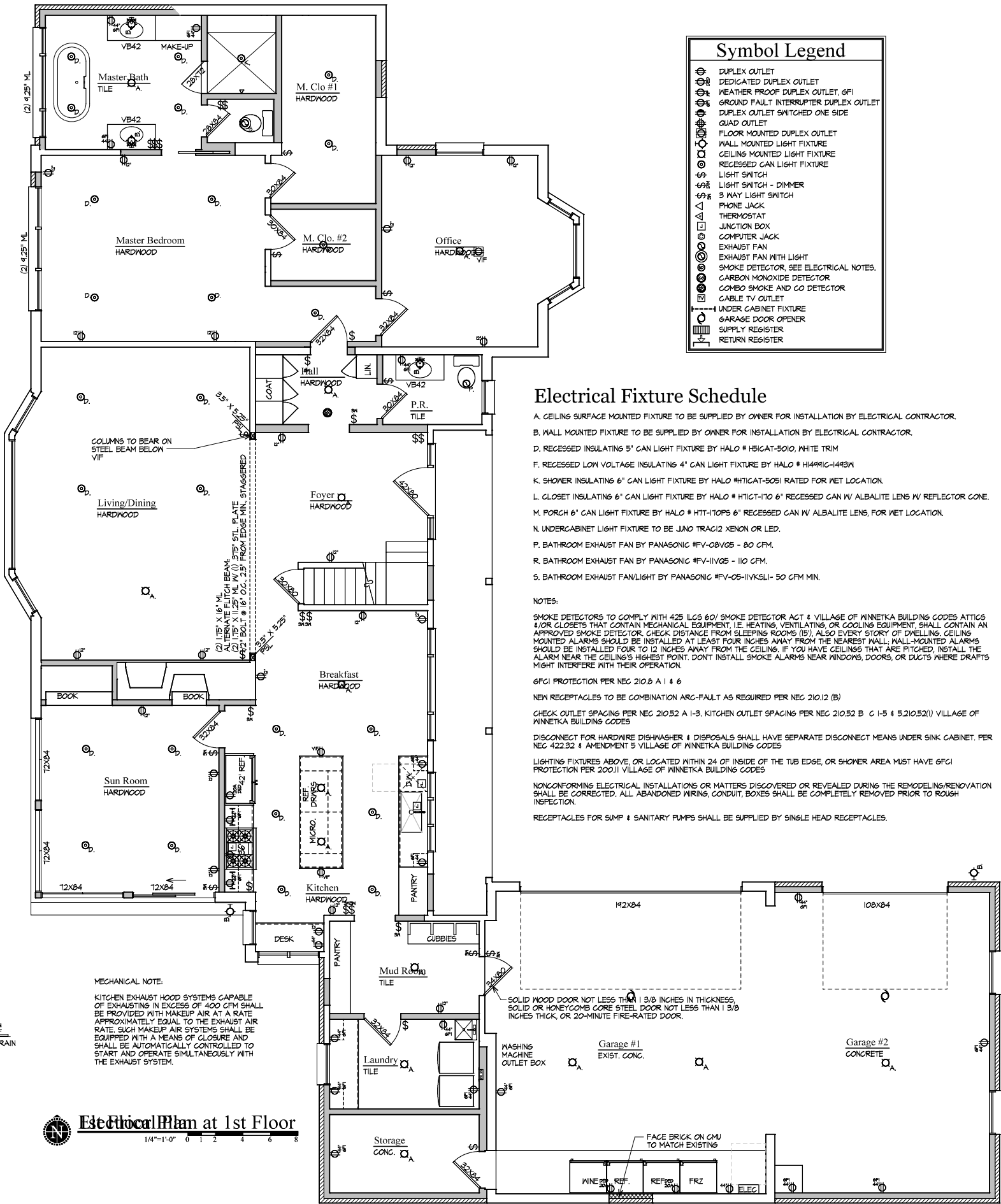


Plumbing Diagrams - Waste and Supply

--- HOT WATER --- COLD WATER --- WASTE --- VENT

MECHANICAL NOTE:
KITCHEN EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

Electrical Plan at 1st Floor
1/4"=1'-0" 0 1 2 4 6 8



Symbol Legend

- DUPLEX OUTLET
- DEDICATED DUPLEX OUTLET
- WEATHER PROOF DUPLEX OUTLET, GFI
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- DUPLEX OUTLET SWITCHED ONE SIDE
- QUAD OUTLET
- FLOOR MOUNTED DUPLEX OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE
- LIGHT SWITCH
- LIGHT SWITCH - DIMMER
- 3 WAY LIGHT SWITCH
- PHONE JACK
- THERMOSTAT
- JUNCTION BOX
- COMPUTER JACK
- EXHAUST FAN
- EXHAUST FAN WITH LIGHT
- SMOKE DETECTOR, SEE ELECTRICAL NOTES.
- CARBON MONOXIDE DETECTOR
- COMBO SMOKE AND CO DETECTOR
- CABLE TV OUTLET
- UNDER CABINET FIXTURE
- GARAGE DOOR OPENER
- SUPPLY REGISTER
- RETURN REGISTER

Electrical Fixture Schedule

- A. CEILING SURFACE MOUNTED FIXTURE TO BE SUPPLIED BY OWNER FOR INSTALLATION BY ELECTRICAL CONTRACTOR.
- B. WALL MOUNTED FIXTURE TO BE SUPPLIED BY OWNER FOR INSTALLATION BY ELECTRICAL CONTRACTOR.
- D. RECESSED INSULATING 5" CAN LIGHT FIXTURE BY HALO # H5CAT-5010, WHITE TRIM
- F. RECESSED LOW VOLTAGE INSULATING 4" CAN LIGHT FIXTURE BY HALO # H14491C-14493M
- K. SHOWER INSULATING 6" CAN LIGHT FIXTURE BY HALO # H1CAT-5051 RATED FOR WET LOCATION.
- L. CLOSET INSULATING 6" CAN LIGHT FIXTURE BY HALO # H1CAT-TO 6" RECESSED CAN W/ ALBALITE LENS W/ REFLECTOR CONE.
- M. PORCH 6" CAN LIGHT FIXTURE BY HALO # HTT-1TOPS 6" RECESSED CAN W/ ALBALITE LENS, FOR WET LOCATION.
- N. UNDERCABINET LIGHT FIXTURE TO BE JINO TRAC12 XENON OR LED.
- P. BATHROOM EXHAUST FAN BY PANASONIC #FV-08VG5 - 80 CFM.
- R. BATHROOM EXHAUST FAN BY PANASONIC #FV-11VG5 - 110 CFM.
- S. BATHROOM EXHAUST FAN/LIGHT BY PANASONIC #FV-05-11VKS11- 50 CFM MIN.

NOTES:
SMOKE DETECTORS TO COMPLY WITH 425 ILCS 60/ SMOKE DETECTOR ACT & VILLAGE OF WINNETKA BUILDING CODES ATTICS &/OR CLOSETS THAT CONTAIN MECHANICAL EQUIPMENT, I.E. HEATING, VENTILATING, OR COOLING EQUIPMENT, SHALL CONTAIN AN APPROVED SMOKE DETECTOR. CHECK DISTANCE FROM SLEEPING ROOMS (S), ALSO EVERY STORY OF DWELLING. CEILING MOUNTED ALARMS SHOULD BE INSTALLED AT LEAST FOUR INCHES AWAY FROM THE NEAREST WALL; WALL-MOUNTED ALARMS SHOULD BE INSTALLED FOUR TO 12 INCHES AWAY FROM THE CEILING. IF YOU HAVE CEILING THAT ARE PITCHED, INSTALL THE ALARM NEAR THE CEILING'S HIGHEST POINT. DON'T INSTALL SMOKE ALARMS NEAR WINDOWS, DOORS, OR DUCTS WHERE DRAFTS MIGHT INTERFERE WITH THEIR OPERATION.
GFCI PROTECTION PER NEC 210.8 A 1 & 6
NEW RECEPTACLES TO BE COMBINATION ARC-FAULT AS REQUIRED PER NEC 210.12 (B)
CHECK OUTLET SPACINGS PER NEC 210.52 A 1-3, KITCHEN OUTLET SPACINGS PER NEC 210.52 B C 1-5 & 5.210.52(1) VILLAGE OF WINNETKA BUILDING CODES
DISCONNECT FOR HARDWARE DISHWASHER & DISPOSALS SHALL HAVE SEPARATE DISCONNECT MEANS UNDER SINK CABINET. PER NEC 422.52 & AMENDMENT 5 VILLAGE OF WINNETKA BUILDING CODES
LIGHTING FIXTURES ABOVE, OR LOCATED WITHIN 24" OF INSIDE OF THE TUB EDGE, OR SHOWER AREA MUST HAVE GFCI PROTECTION PER 200.11 VILLAGE OF WINNETKA BUILDING CODES
NONCONFORMING ELECTRICAL INSTALLATIONS OR MATTERS DISCOVERED OR REVEALED DURING THE REMODELING/RENOVATION SHALL BE CORRECTED. ALL ABANDONED WIRING, CONDUIT, BOXES SHALL BE COMPLETELY REMOVED PRIOR TO ROUGH INSPECTION.
RECEPTACLES FOR SUMP & SANITARY PUMPS SHALL BE SUPPLIED BY SINGLE HEAD RECEPTACLES.

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~ Architect ~

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Interior Remodel and Garage Addition

982 Hill Road

Electrical Plan
Plumbing Diagrams

A8