



ZONING ADMINISTRATOR VIRTUAL MEETING AGENDA

THURSDAY, DECEMBER 17, 2020 - 4:00 PM

In accordance with social distancing requirements and Governor Pritzker's Executive Order 2020-71 and Senate Bill 2135, the Winnetka Zoning Administrator meeting on Thursday, December 17, 2020 **will be held virtually**. The meeting **will be livestreamed via the Zoom platform**. In accordance, with Public Act 101-0640, at least one representative from the Village will be present at Village Hall Council Chambers at 510 Green Bay Road, Winnetka, IL, and **the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location**. Pursuant to the Executive Order issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a "first-come, first-served" basis.**

The public has the following two options **for virtually observing and participating during this virtual Zoning Administrator meeting, including the ability to provide testimony or comments**. Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only)**. Call: 312-626-6799; when prompted enter the Webinar ID: 9365 891 3973 (Please note there is no additional passcode or attendee ID required.)
- 2) **Livestream (both audio and video feed)**. Download the Zoom meetings app to your smart phone, tablet, or computer, and then join Webinar ID: 9365 891 3973; Webinar Passcode: ZA121720

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending **an email** to planning@winnetka.org;
- 2) By sending **a letter** to Community Development Department, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093; or
- 3) By leaving **a voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

All comments received prior to the posting of the agenda packet will be included in the agenda packet. All comments received after the agenda packet has been posted and received by 6:00 PM the day of the meeting will be read at the meeting by staff. Such public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable.

General comments for matters not on the agenda will be read at the end of the meeting under Public Comment. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

All emails received will be acknowledged either during or after the meeting, depending on when they are received.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

ZONING ADMINISTRATOR VIRTUAL MEETING AGENDA
THURSDAY, DECEMBER 17, 2020 - 4:00 PM

AGENDA ITEMS

1. Call to Order.
2. Introductory Remarks Regarding Conduct of Virtual Meeting.
3. **Case No. 20-39-ZA: 170 Birch Street:** An application submitted by Katy and Patrick Kennedy seeking approval of a zoning variation to allow construction of an addition at 170 Birch Street. The requested zoning variation would permit the addition to provide less than the minimum required front (corner) yard setback from the north property line along Higginson Lane. The Zoning Administrator has final jurisdiction on this request.
4. **Case No. 20-40-ZA: 1066 Mt. Pleasant Road:** An application submitted by Alexandra Kaehler seeking approval of a zoning variation to allow construction of an addition at 1066 Mt. Pleasant Road. The requested zoning variation would permit the addition to provide less than the minimum required total side yard setback. The Zoning Administrator has final jurisdiction on this request.
5. Public Comment.
6. Adjournment

Note: Public comment is permitted on all agenda items.

NOTICE

All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a virtual public hearing will be held by the Winnetka Zoning Administrator on **THURSDAY, DECEMBER 17, 2020 AT 4:00 PM** for the purpose of considering the following:

CASE NO. 20-39-ZA

170 BIRCH STREET – RESIDENTIAL ADDITION

An application submitted by Katy and Patrick Kennedy (the “Applicants”), as the owners of the property located at 170 Birch Street (the “Subject Property”), **to allow construction of an addition to the existing residence on the Subject Property.** The Applicants have filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to provide less than the minimum required front (corner) yard setback from the north property line along Higginson Lane.

The Subject Property (Parcel Index Number 05-20-407-019-0000) is generally located at the southwest corner of the intersection of Birch Street and Higginson Lane and is zoned R-2 Single Family Residential. The Subject Property contains an existing two-story residence.

VIRTUAL HEARING PUBLIC PARTICIPATION OPTIONS

In accordance with social distancing requirements and Governor Pritzker’s Executive Order 2020-71 and Senate Bill 2135, **the Winnetka Zoning Administrator meeting will be held virtually. The meeting will be livestreamed via the Zoom platform. In accordance with Public Act 101-0640, at least one representative from the Village will be present at Village Hall, and the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location.** Pursuant to Executive Order 2020-71 issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a “first-come, first-served” basis.** The agenda and meeting materials for this meeting will be posted no later than the end of the day on Friday, December 11, 2020 at www.villageofwinnetka.org/agendacenter.

The public has the following two options **for observing and participating during this virtual Zoning Administrator meeting, including the ability to provide testimony or comments.** Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

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Any changes to the above virtual meeting information will be included in the Zoning Administrator agenda posted at www.villageofwinnetka.org/agendacenter.

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of three ways:

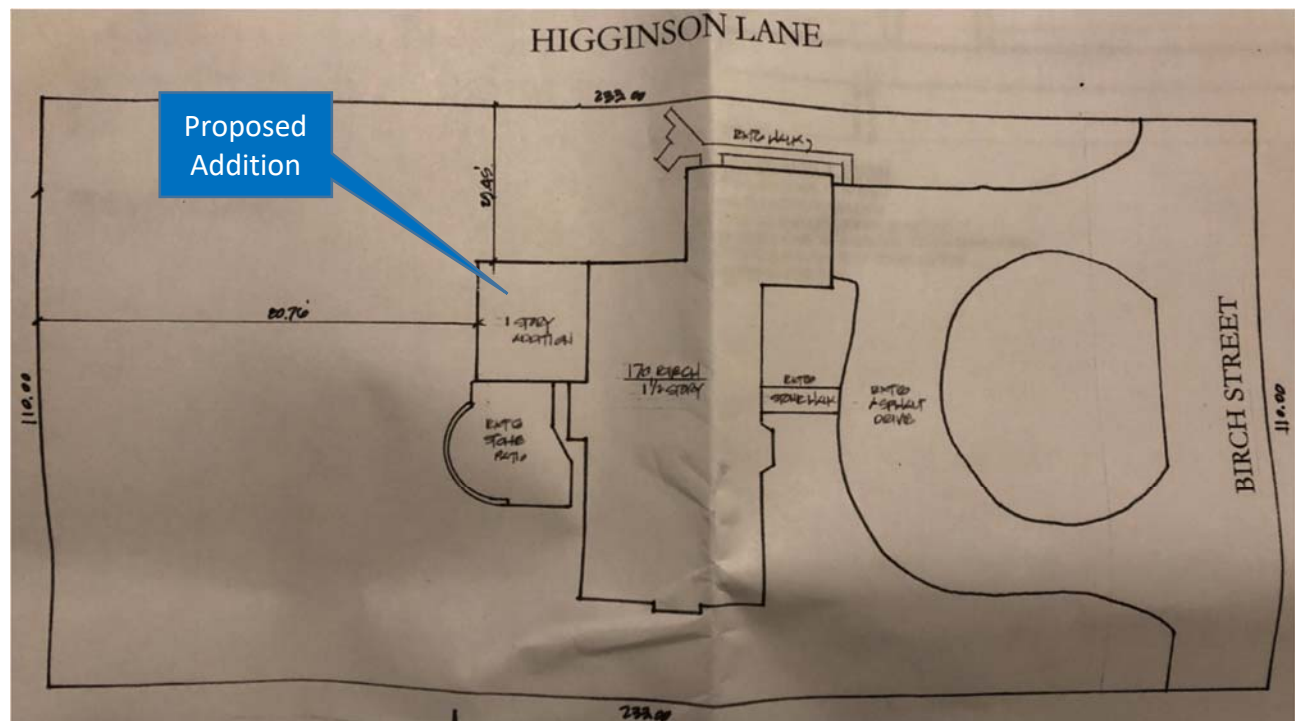
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the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

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Proposed Site Plan
(Note: Details may change through review process)

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 20-39-ZA

Property Information

Site Address: 170 Birch St.

Owner Information

Name: Katy and Patrick Kennedy

Address: 170 Birch St.

City, State, ZIP: Winnetka, IL 60093

Email:

Primary Contact: Patrick Kennedy

Phone No:

Date property acquired by owner: 08/20/2020

Architect Information

Name: Healy M. Rice

Primary Contact: Healy Rice

Address: 934 Elmwood Ave.

City, State, ZIP: Wilmette, IL 60091

Phone No: 847-853-0824

Email: healyrice@comcast.net

Attorney Information

Name:

Primary Contact:

Address:

City, State, Zip:

Phone No.

Email:

Nature of any restrictions on property: none known

Brief explanation of variation(s) requested (attach separate sheet providing additional details):

Sideyard adjoining a street variation to permit extension of existing non-conforming wall.

Property Owner Signature

Date: 11/16/2020

**Katy and Patrick Kennedy
170 Birch Street
Winnetka, Illinois 60093**

Request for Minor Zoning Variation

170 Birch Street is located on the north west corner of Birch Street and Higginson Lane. We are seeking a sideyard adjoining a street variation in order to build a one-story addition to our legally non-conforming home. The proposed setback would be 29.45 feet to Higginson Lane in lieu of the 32.0 feet required. All floor area and lot coverage requirements are compliant with required.

We seek this variation due to practical difficulty and hardship. The existing home was built in the 1950's and has setbacks original to the construction which predate the current requirement. Our attached garage is only 12.35 feet from Higginson Lane; the existing wall we wish to extend sits 29.35' from our north property line. We are proposing to extend this original wall 4.60 feet farther west along the same line as existing. We discovered during our planning phase that the sunroom has no foundation below it, so we need to replace that foundation wall to build a permanent room above it. We wish to extend the wall from 17.90' to 20.50' to create a family room.

The only neighbors impacted by the addition are to our north and west. To the north, the home is across Higginson Lane and approximately 85-90 feet away from our proposed addition. To the west, the house faces Higginson and is approximately 90-95 feet away from our addition. All three homes have mature trees and landscaping that screen our properties from each other. There will be no impact to the light or air to any property in the rest of the neighborhood.

The proposed minor zoning relief does not alter the essential character of the neighborhood and will be consistent with the goals, objectives, and policies established in the zoning ordinance. The proposed variation will not impair an adequate supply of light and air to the adjacent properties, will not injure other property and its use, will not substantially increase the danger of fire or otherwise endanger public health, safety and welfare, and will not substantially diminish or impair property values within the neighborhood.

Thank you for your consideration.

LEGEND

A = ASSUMED	NW = NORTHWEST
C = CALCULATED	P.O.B. = POINT OF BEGINNING
CH = CHORD	P.O.C. = POINT OF COMMENCEMENT
CL = CENTERLINE	R = RECORD
D = DEED	RAD = RADIUS
E = EAST	R.O.W. = RIGHT OF WAY
F.I.P. = FOUND IRON PIPE	S = SOUTH
F.I.R. = FOUND IRON ROD	S.I.P. = SET IRON PIPE
FT. = FEET/FOOT	S.I.R. = SET IRON ROD
L = ARC LENGTH	SE = SOUTHEAST
M = MEASURED	SW = SOUTHWEST
N = NORTH	W = WEST
NE = NORTHEAST	

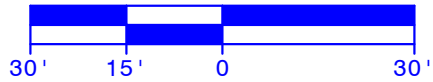
	= CHAIN LINK FENCE
	= WOOD FENCE
	= METAL FENCE
	= VINYL FENCE
	= EASEMENT LINE
	= SETBACK LINE
	= INTERIOR LOT LINE

PLAT OF SURVEY
OF

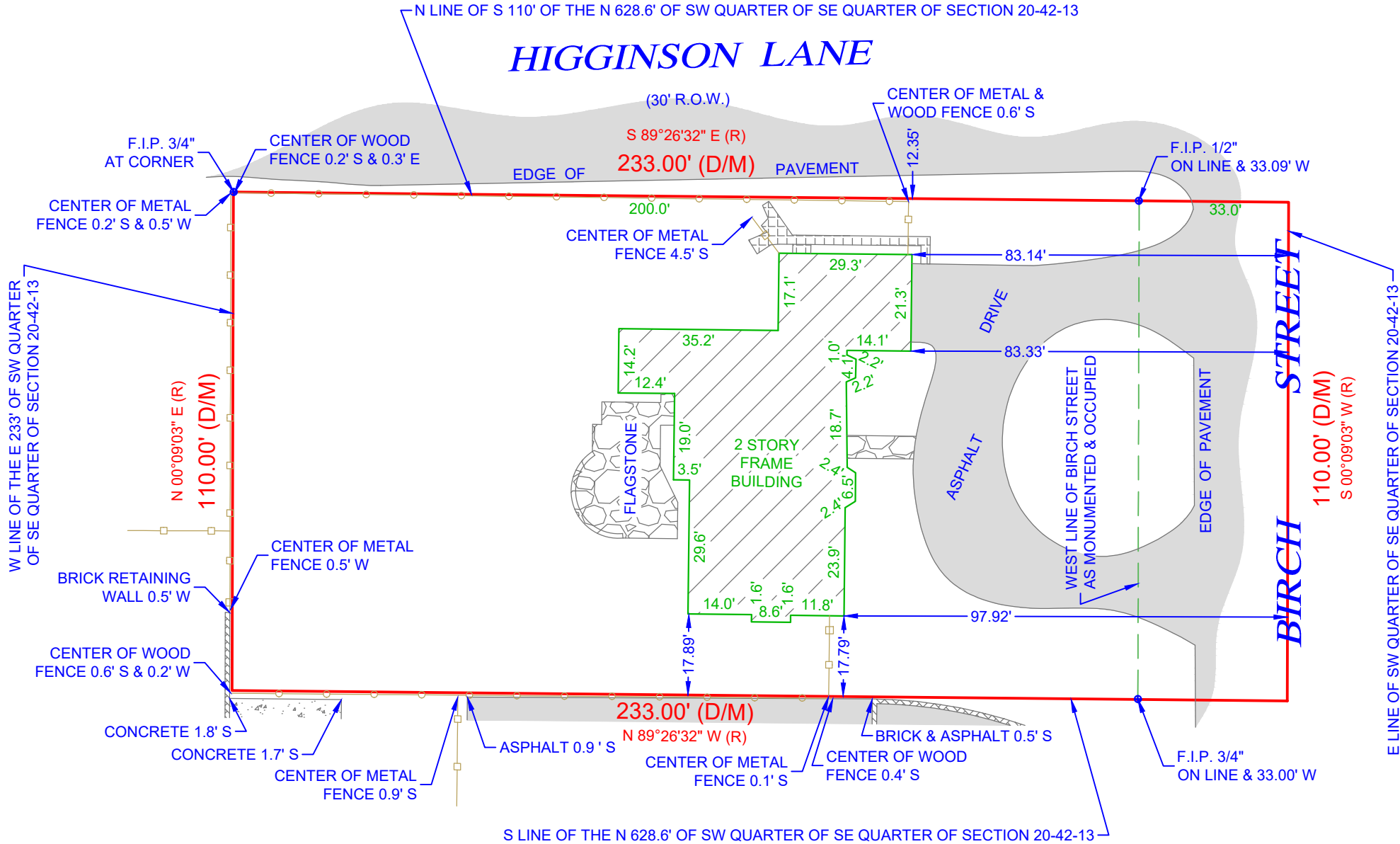
THE SOUTH 110 FT OF THE NORTH 628.6 FEET OF THE EAST 233 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:

"CONTAINING 25,821 SQ. FT. OR 0.59 ACRES MORE OR LESS"



BASIS OF BEARING:
WEST LINE OF BIRCH STREET AS FOUND
MONUMENTED AND OCCUPIED PER RECORD
SUBDIVISION.
S 00°03'03" W (R)



Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }SS
COUNTY OF DUPAGE }

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 8TH DAY OF SEPTEMBER, A.D., 2020,
AT LISLE, ILLINOIS.

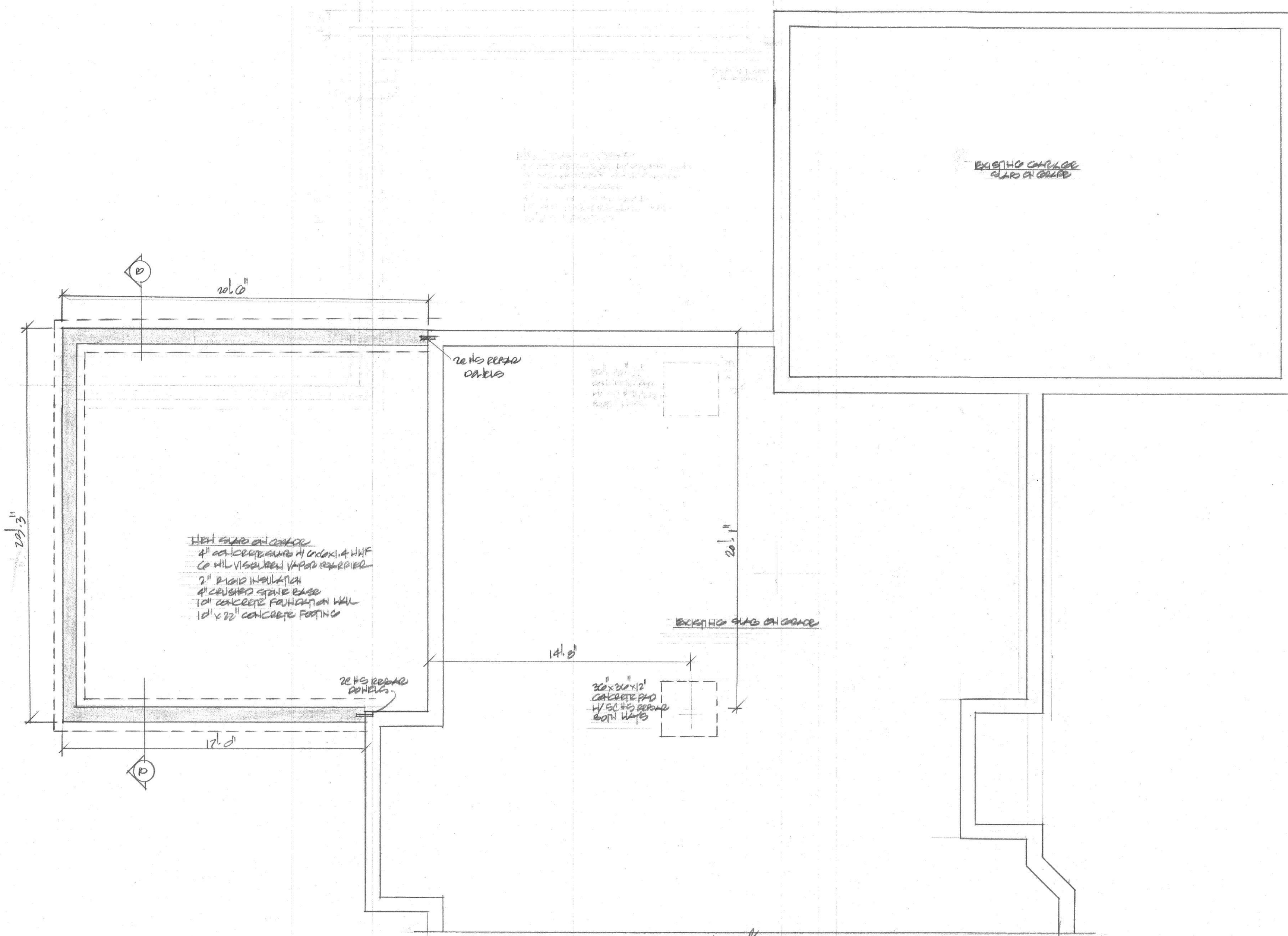
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253
LICENSE EXPIRATION DATE NOVEMBER 30, 2020
ILLINOIS BUSINESS REGISTRATION NO. 184-007245



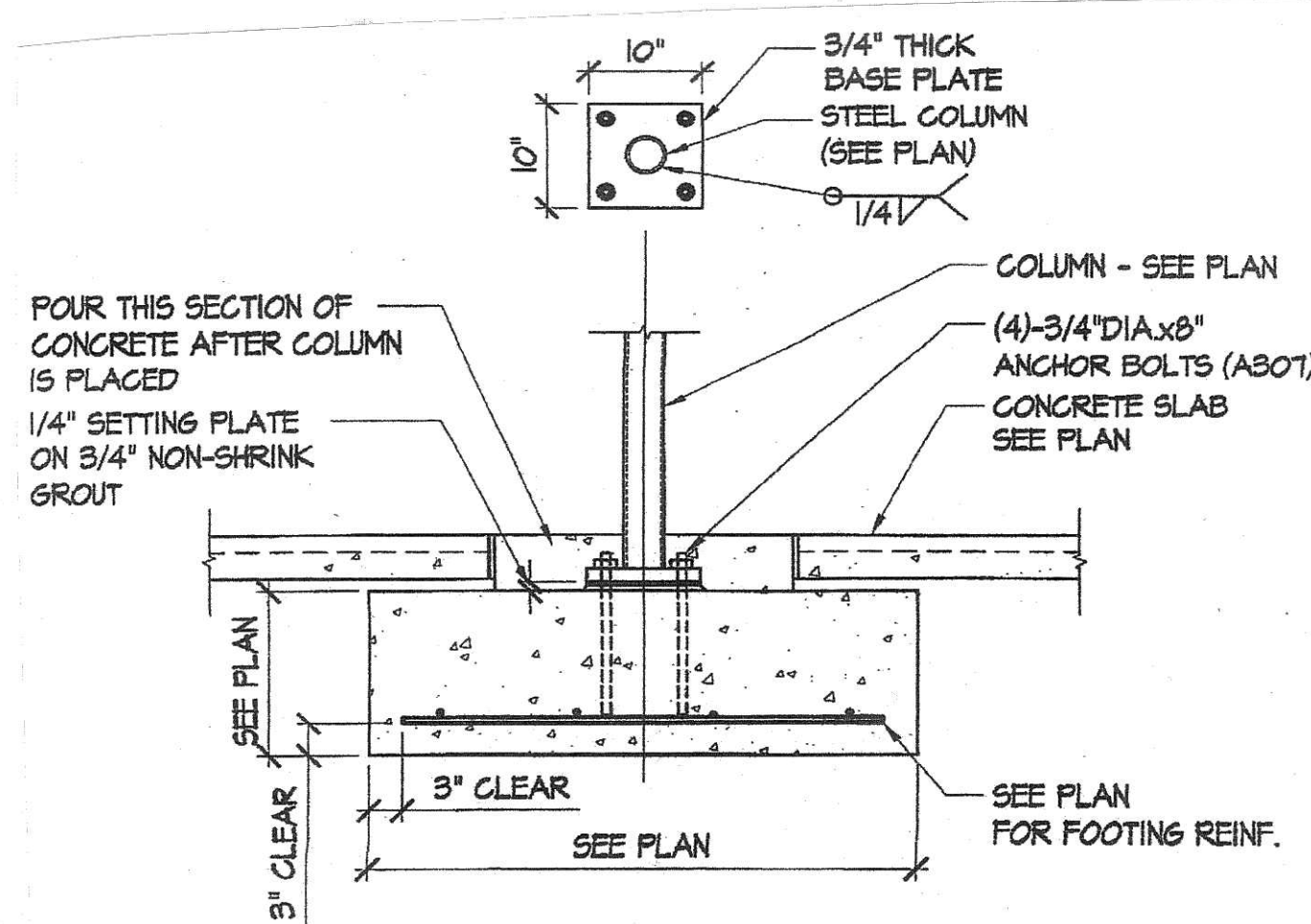
NOTE:

1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

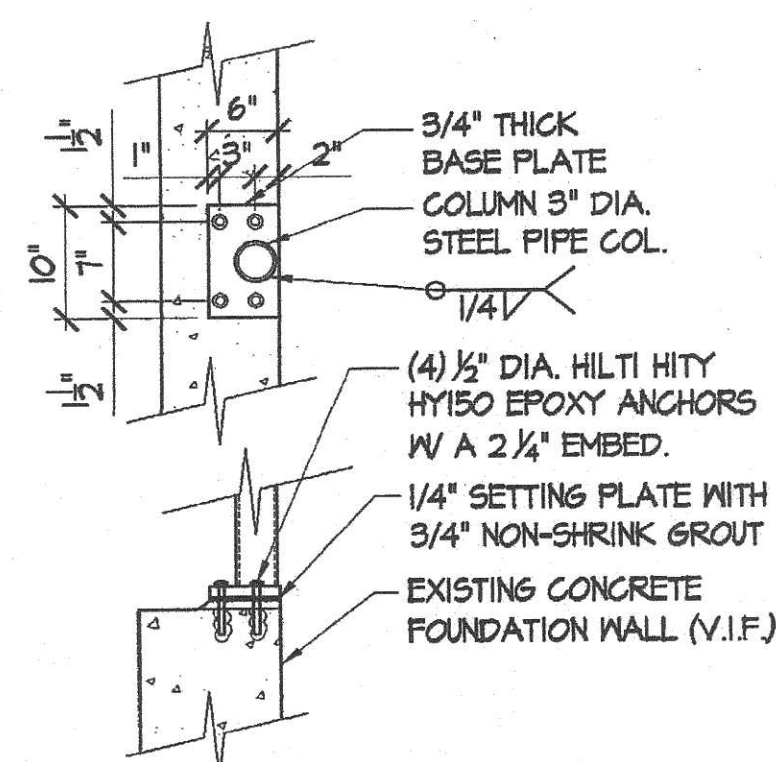
ADDRESS COMMONLY KNOWN AS 170 BIRCH STREET
WINNETKA, ILLINOIS
CLIENT EMKAY LAW, LLC
FIELDWORK DATE (CREW) 09/08/2020 (MM/RJ)
DRAWN BY: RT REVISED: JOB NO. 20-08-0772



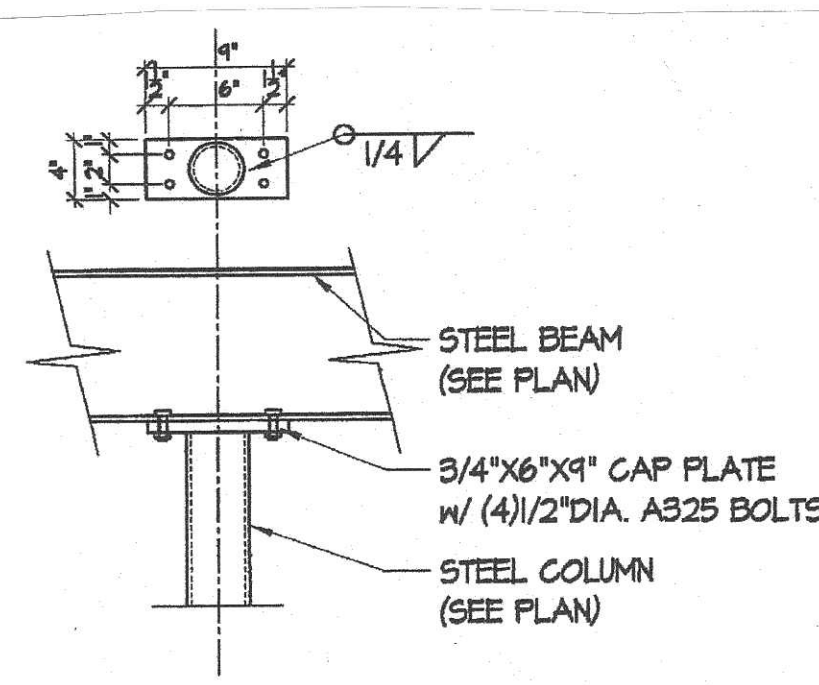
FOUNDATION PLAN
1/4" = 1'-0"
NEW CONSTRUCTION



COLUMN FOOTING DETAIL
SCALE: 3/4" = 1'-0"



COLUMN ON FOUND. WALL DETAIL
SCALE: 3/4" = 1'-0"



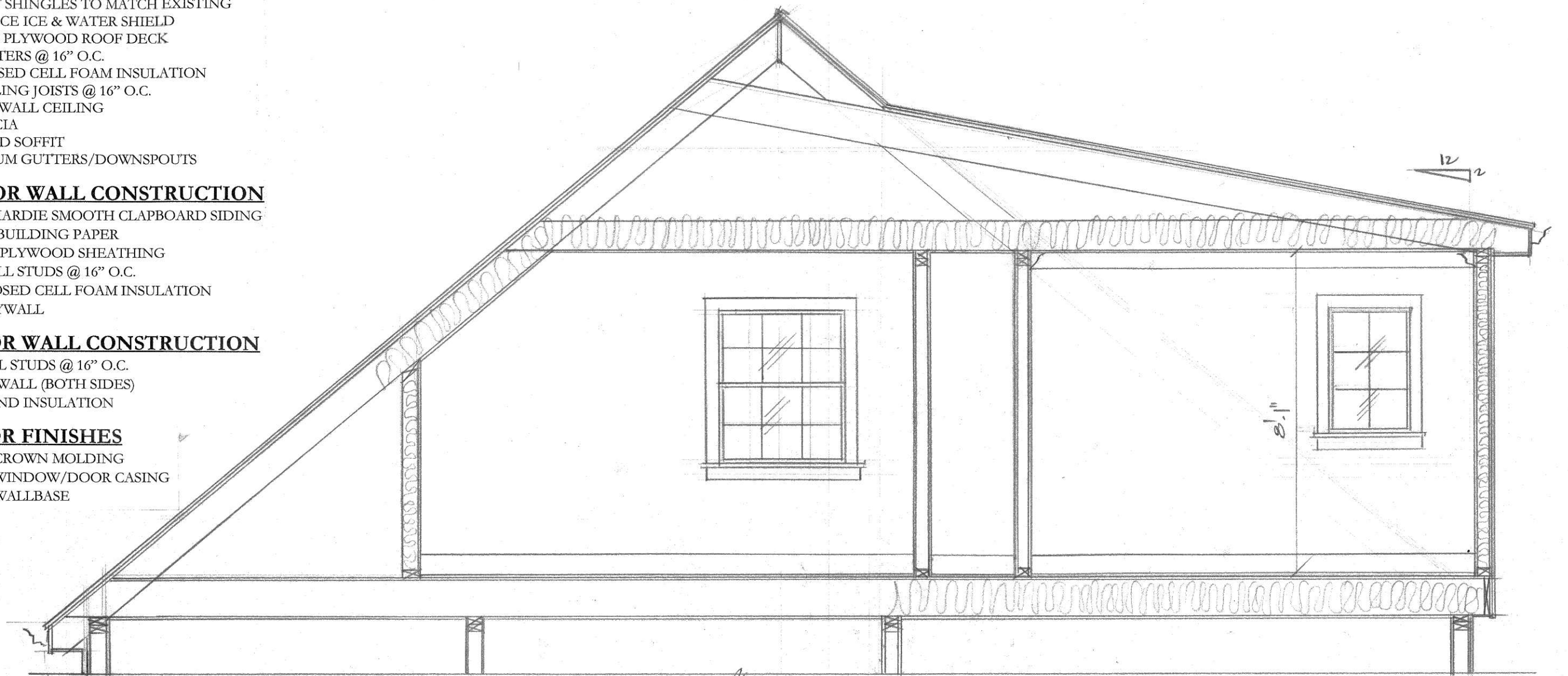
COLUMN/BEAM CONNECTION
SCALE: 1" = 1'-0"

- ROOF CONSTRUCTION**
- ASPHALT SHINGLES TO MATCH EXISTING
 - W.R. GRACE ICE & WATER SHIELD
 - 5/8" CDX PLYWOOD ROOF DECK
 - 2 x 8 RAFTERS @ 16" O.C.
 - R-49 CLOSED CELL FOAM INSULATION
 - 2 x 8 CEILING JOISTS @ 16" O.C.
 - 5/8" DRYWALL CEILING
 - 1 x 8 FASCIA
 - PLYWOOD SOFFIT
 - ALUMINUM GUTTERS/DOWNSPOUTS

- EXTERIOR WALL CONSTRUCTION**
- JAMES HARDIE SMOOTH CLAPBOARD SIDING
 - TYVEK BUILDING PAPER
 - 1/2" CDX PLYWOOD SHEATHING
 - 2 x 6 WALL STUDS @ 16" O.C.
 - R-21 CLOSED CELL FOAM INSULATION
 - 5/8" DRYWALL

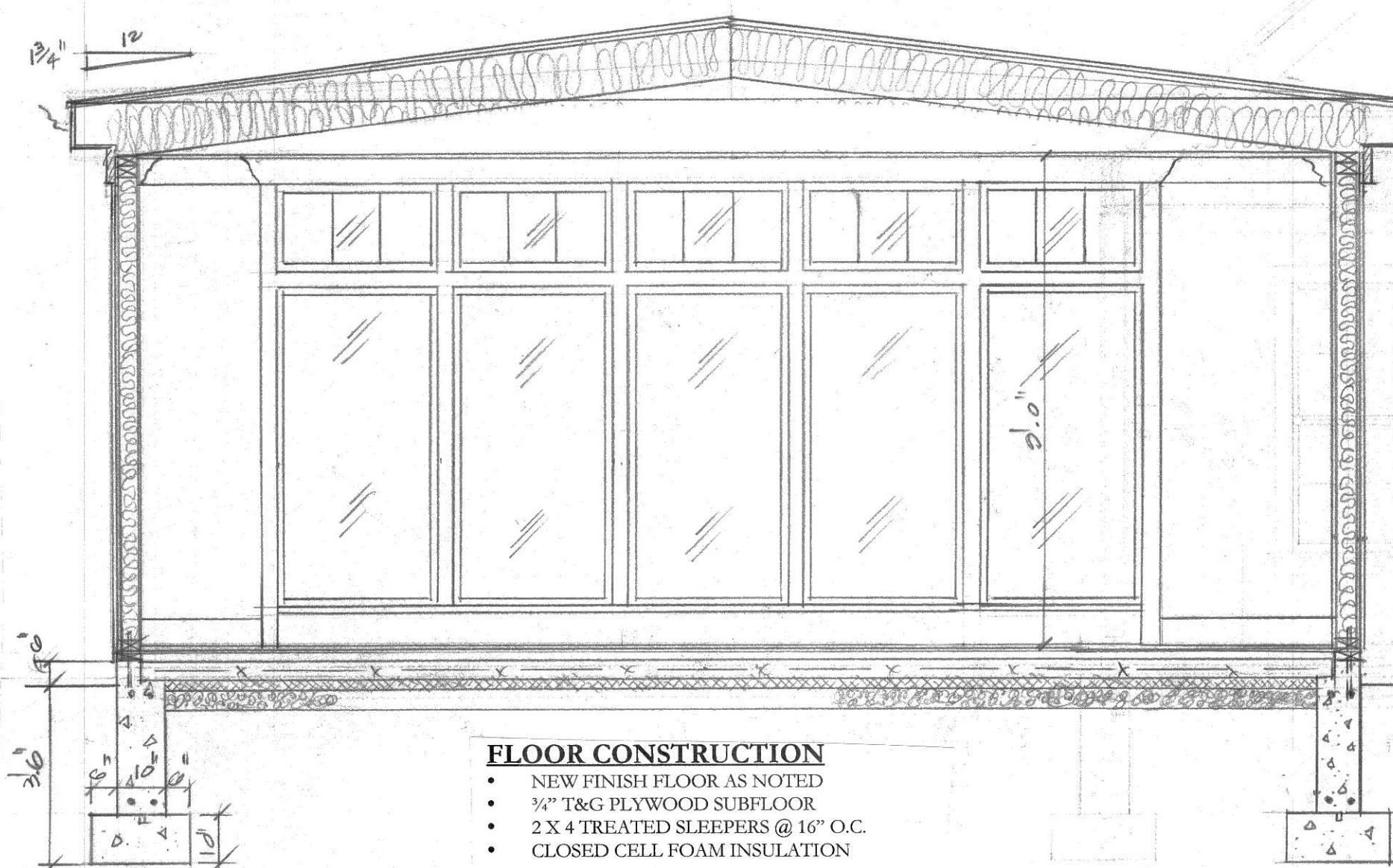
- INTERIOR WALL CONSTRUCTION**
- 2 x 4 WALL STUDS @ 16" O.C.
 - 5/8" DRYWALL (BOTH SIDES)
 - 3 1/2" SOUND INSULATION

- INTERIOR FINISHES**
- METRIE CROWN MOLDING
 - METRIE WINDOW/DOOR CASING
 - METRIE WALLBASE



WALL SECTION A
3/8" = 1'-0"

- FLOOR CONSTRUCTION**
- NEW FINISH FLOOR AS NOTED
 - 1/2" T&G PLYWOOD SUBFLOOR
 - EXISTING 2 x 10 FLOOR JOISTS @ 16" O.C.
 - SISTER NEW 2 x 10'S TO EXISTING TO EXTEND TAILS
 - CLOSED CELL FOAM SOUND INSULATION
 - 5/8" DRYWALL CEILING



- FLOOR CONSTRUCTION**
- NEW FINISH FLOOR AS NOTED
 - 1/2" T&G PLYWOOD SUBFLOOR
 - 2 x 4 TREATED SLEEPERS @ 16" O.C.
 - CLOSED CELL FOAM INSULATION

- FOUNDATION CONSTRUCTION**
- 22" x 10" CONCRETE FOOTING W/ CONTINUOUS KEY
 - 10" CONCRETE FOUNDATION WALL W/ 2 @ #5 REBAR TOP AND BOTTOM
 - 1/2" x 12" ANCHOR BOLTS AT 48" O.C. (MAX. 12" FROM CORNER)
 - 4" CONCRETE SLAB W/ 6x6x1.4 WWF
 - 6 MIL VISQUEEN VAPOR BARRIER
 - 2" RIGID INSULATION
 - 4" CRUSHED STONE BASE
 - CRUSHED CA6 STONE BACKFILL

WALL SECTION B
3/8" = 1'-0"

- ROOF CONSTRUCTION - FLAT**
- SINGLE PLY MEMBRANE ROOF
 - 75# BASE SHEET
 - 3/4" CDX PLYWOOD ROOF DECK
 - 2 x 12 RAFTERS @ 16" O.C.
 - R-49 CLOSED CELL FOAM INSULATION
 - 5/8" DRYWALL CEILING
 - 1 x 8 FASCIA
 - PLYWOOD SOFFIT
 - ALUMINUM GUTTERS/DOWNSPOUTS

- EXTERIOR WALL CONSTRUCTION**
- JAMES HARDIE SMOOTH CLAPBOARD SIDING
 - TYVEK BUILDING PAPER
 - 1/2" CDX PLYWOOD SHEATHING
 - 2 x 6 WALL STUDS @ 16" O.C.
 - R-21 CLOSED CELL FOAM INSULATION
 - 5/8" DRYWALL

- INTERIOR WALL CONSTRUCTION**
- 2 x 4 WALL STUDS @ 16" O.C.
 - 5/8" DRYWALL (BOTH SIDES)
 - 3 1/2" SOUND INSULATION

- INTERIOR FINISHES**
- METRIE CROWN MOLDING
 - METRIE WINDOW/DOOR CASING
 - METRIE WALLBASE

KENNEDY RESIDENCE
170 BIRCH ST.
WINNETKA, IL. 60093

HEALY M. RICE, PC
934 ELMWOOD AVE.
WILMETTE, IL. 60091
847-853-0824
healyrice@comcast.net

DATE 13 NOV 20
REVISED
SHEET 2 OF 5

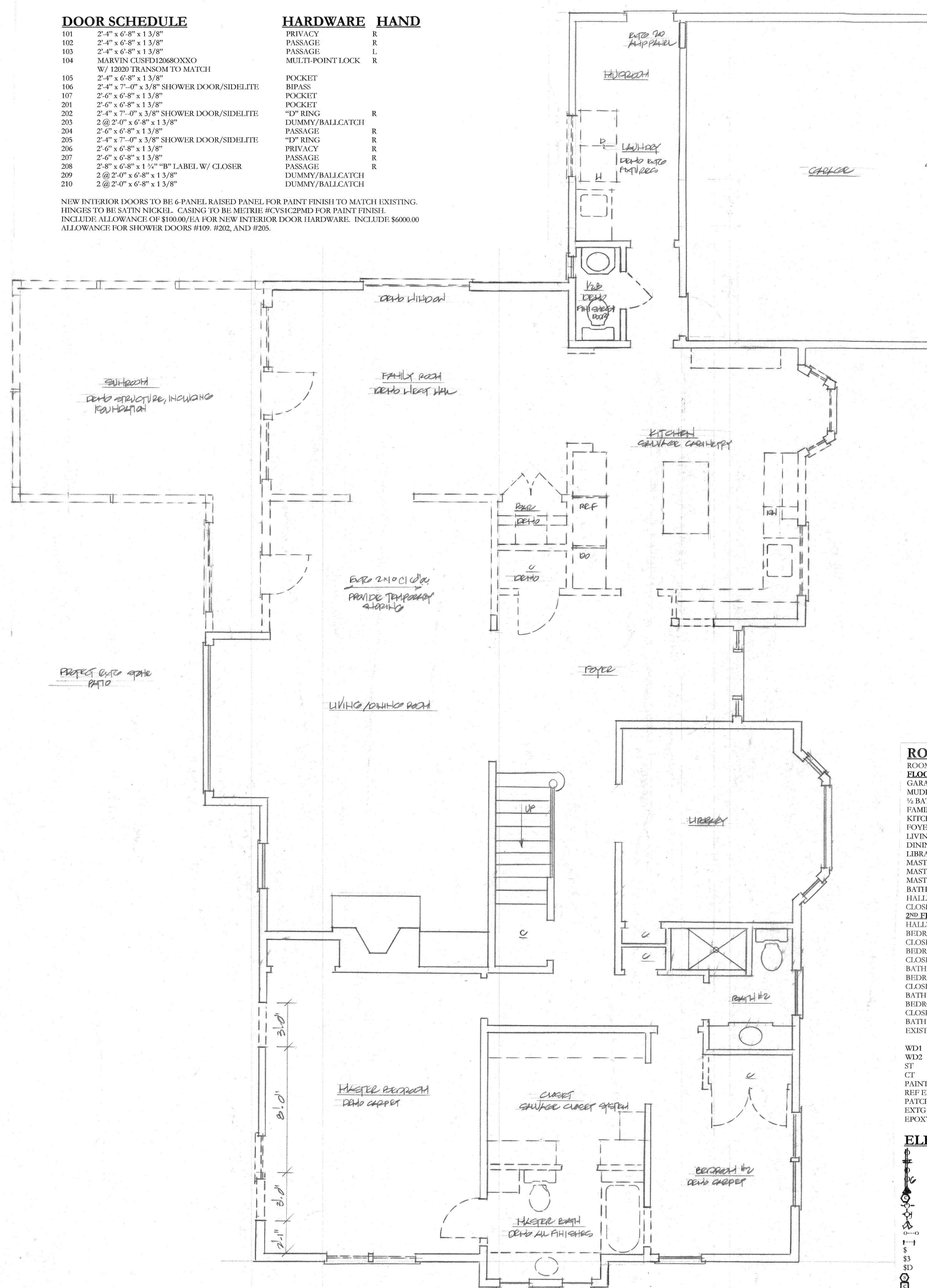
DOOR SCHEDULE

101	2'-4" x 6'-8" x 1 3/8"
102	2'-4" x 6'-8" x 1 3/8"
103	2'-4" x 6'-8" x 1 3/8"
104	MARYLIN CUSHD120680X80
	W/ 12020 TRANSOM TO MATCH
105	2'-4" x 6'-8" x 1 3/8"
106	2'-4" x 7'-0" x 3/8" SHOWER DOOR/SIDELITE
107	2'-4" x 6'-8" x 1 3/8"
201	2'-6" x 6'-8" x 1 3/8"
202	2'-4" x 7'-0" x 3/8" SHOWER DOOR/SIDELITE
203	2 @ 2'-0" x 6'-8" x 1 3/8"
204	2'-0" x 6'-8" x 1 3/8"
205	2'-4" x 7'-0" x 3/8" SHOWER DOOR/SIDELITE
206	2'-6" x 6'-8" x 1 3/8"
207	2'-6" x 6'-8" x 1 3/8"
208	2'-8" x 6'-8" x 1 1/2" "R" LABEL W/ CLOSER
209	2 @ 2'-0" x 6'-8" x 1 3/8"
210	2 @ 2'-0" x 6'-8" x 1 3/8"

HARDWARE HAND

PRIVACY	R
PASSAGE	R
PASSAGE	L
MULTI-POINT LOCK	R
POCKET	
BYPASS	
POCKET	
"D" RING	R
DUMMY/BALLCATCH	
PASSAGE	R
"D" RING	R
PRIVACY	R
PASSAGE	R
PASSAGE	R
DUMMY/BALLCATCH	
DUMMY/BALLCATCH	

NEW INTERIOR DOORS TO BE 6-PANEL RAISED PANEL FOR PAINT FINISH TO MATCH EXISTING.
HINGES TO BE SATIN NICKEL. CASING TO BE METRIE #CVSIC2PMD FOR PAINT FINISH.
INCLUDE ALLOWANCE OF \$100.00/EA FOR NEW INTERIOR DOOR HARDWARE. INCLUDE \$6000.00
ALLOWANCE FOR SHOWER DOORS #109, #202, AND #205.



ROOM FINISH SCHEDULE

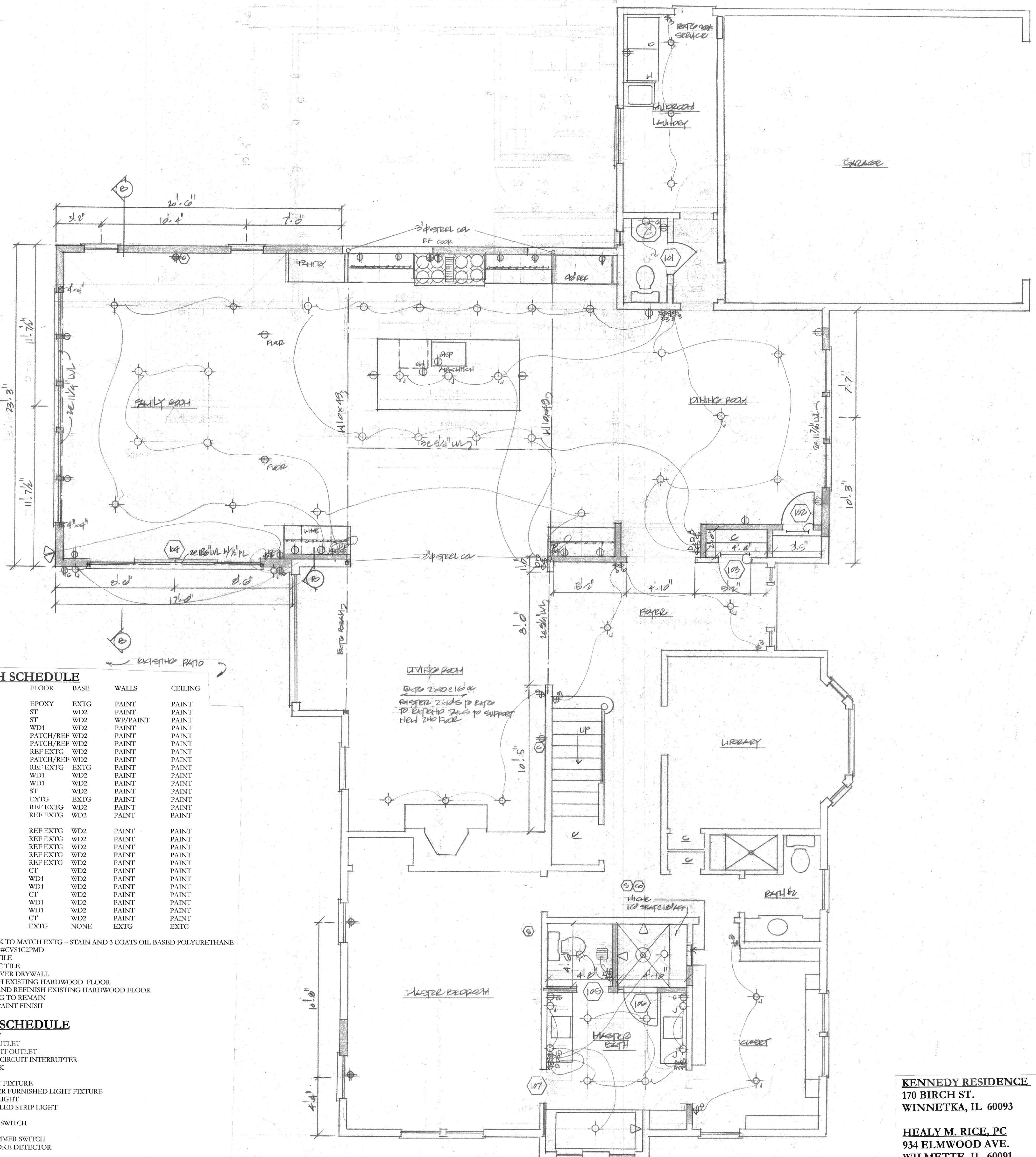
ROOM	FLOOR	BASE	WALLS	CEILING
FLOOR #1				
GARAGE	EPOXY	EXTG	PAINT	PAINT
MUDROOM/LAUNDRY	ST	WD2	PAINT	PAINT
1/2 BATH	ST	WD2	WP/PAINT	PAINT
FAMILY ROOM	WD1	WD2	PAINT	PAINT
KITCHEN	PATCH/REF	WD2	PAINT	PAINT
FOYER	PATCH/REF	WD2	PAINT	PAINT
LIVING ROOM	REF EXTG	WD2	PAINT	PAINT
DINING ROOM	PATCH/REF	WD2	PAINT	PAINT
LIBRARY	REF EXTG	EXTG	PAINT	PAINT
MASTER BEDROOM	WD1	WD2	PAINT	PAINT
MASTER CLOSET	WD1	WD2	PAINT	PAINT
MASTER BATH	ST	WD2	PAINT	PAINT
BATH #2	EXTG	EXTG	PAINT	PAINT
HALLWAY	REF EXTG	WD2	PAINT	PAINT
CLOSET	REF EXTG	WD2	PAINT	PAINT
2ND FLOOR				
HALLWAY	REF EXTG	WD2	PAINT	PAINT
BEDROOM #2	REF EXTG	WD2	PAINT	PAINT
CLOSET #2	REF EXTG	WD2	PAINT	PAINT
BEDROOM #3	REF EXTG	WD2	PAINT	PAINT
CLOSET #3	REF EXTG	WD2	PAINT	PAINT
BATH #3	CT	WD2	PAINT	PAINT
BEDROOM #4	WD1	WD2	PAINT	PAINT
CLOSET #4	CT	WD2	PAINT	PAINT
BATH #4	CT	WD2	PAINT	PAINT
BEDROOM #5	WD1	WD2	PAINT	PAINT
CLOSET #5	WD1	WD2	PAINT	PAINT
BATH #5	CT	WD2	PAINT	PAINT
EXISTING ATTIC	EXTG	NONE	EXTG	EXTG
WD1	2 1/4" OAK TO MATCH EXTG - STAIN AND 3 COATS OIL BASED POLYURETHANE			
WD2	METRIE #CVSIC2PMD			
ST	STONE TILE			
CT	CERAMIC TILE			
PAINT	PAINT OVER DRYWALL			
REF EXTG	REFINISH EXISTING HARDWOOD FLOOR			
PATCH/REF	PATCH AND REFINISH EXISTING HARDWOOD FLOOR			
EXTG	EXISTING TO REMAIN			
EPOXY	EPOXY PAINT FINISH			

ELECTRICAL SCHEDULE

DUPLIX OUTLET
QUADRAPLEX OUTLET
SEPARATE CIRCUIT OUTLET
GROUND FAULT CIRCUIT INTERRUPTER
TELEPHONE JACK
CABLE TV JACK
RECESSED LIGHT FIXTURE
J-BOX FOR OWNER FURNISHED LIGHT FIXTURE
EXTERIOR SPOTLIGHT
UNDERCABINET LED STRIP LIGHT
LED STRIP LIGHT
SINGLE TOGGLE SWITCH
3-WAY SWITCH
ELECTRONIC DIMMER SWITCH
HARDWIRED SMOKE DETECTOR
DOOR CHIME
EXHAUST FAN - PANASONIC FV-20VQ3
EXHAUST FAN/LIGHT - PANASONIC FV-08VKS13
CARBON MONOXIDE DETECTOR

1ST FLOOR PLAN

1/4" = 1'-0"
NEW CONSTRUCTION



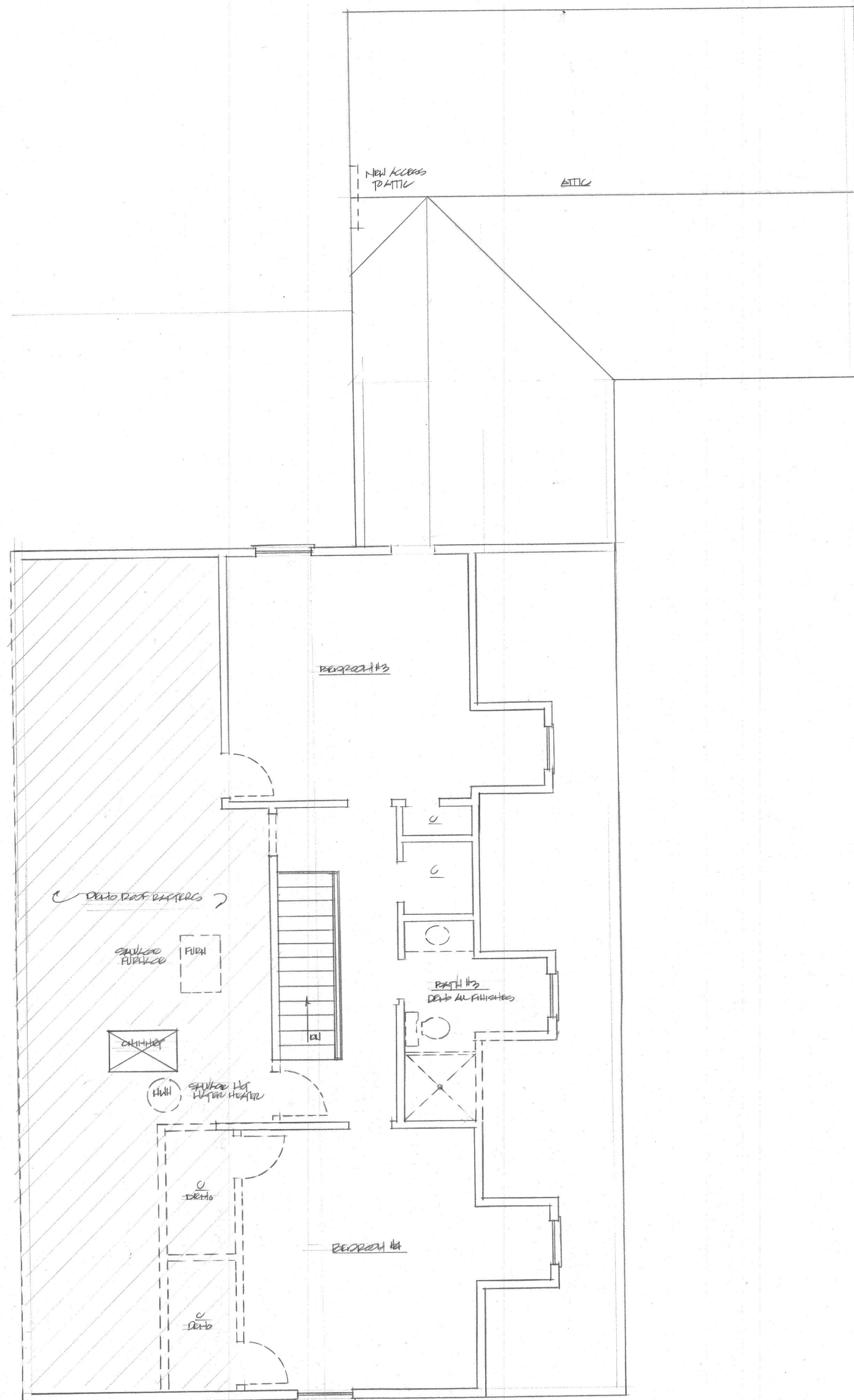
1ST FLOOR DEMOLITION

1/4" = 1'-0"
DEMOLITION

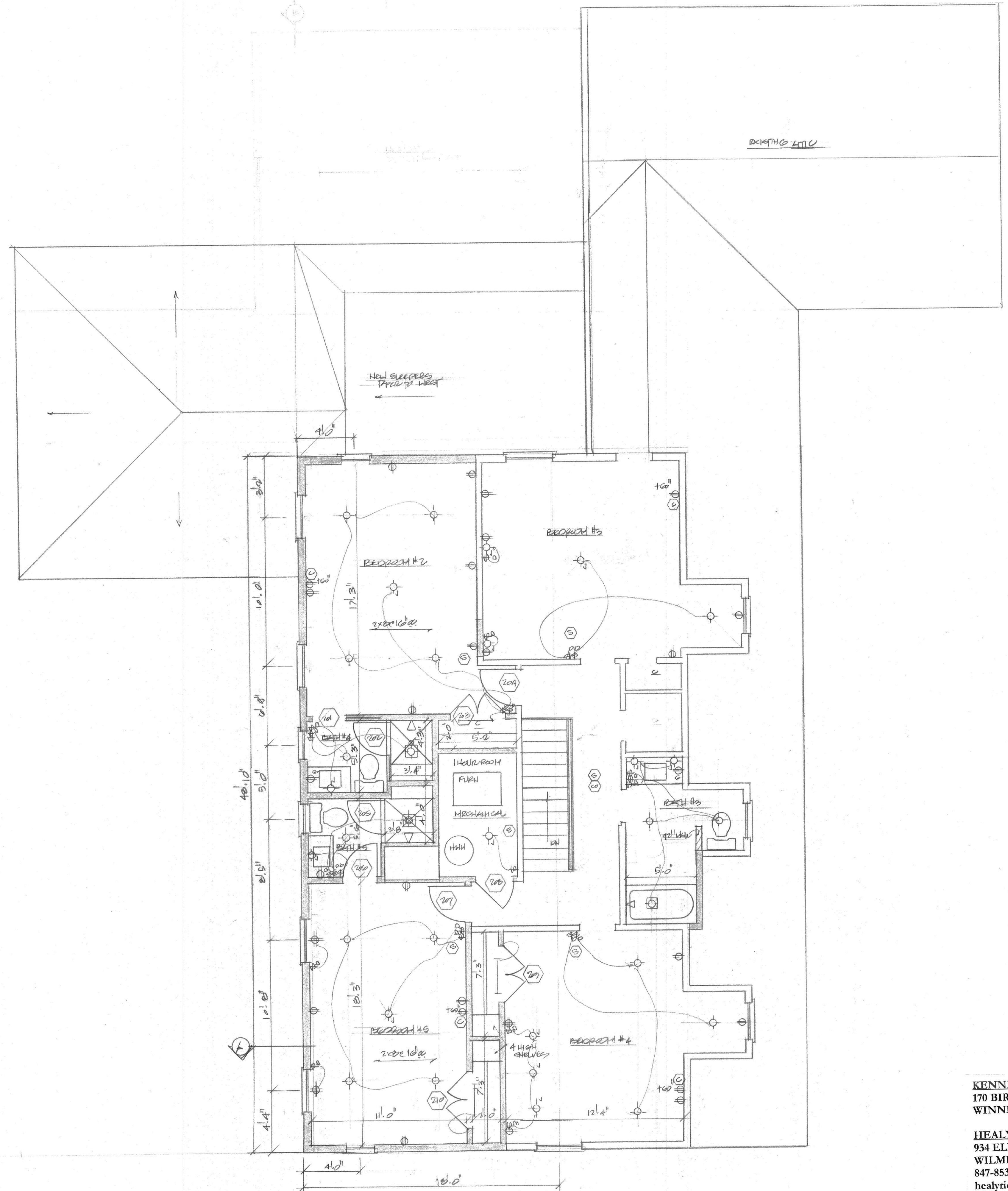
KENNEDY RESIDENCE
170 BIRCH ST.
WINNETKA, IL 60093

HEALY M. RICE, PC
934 ELMWOOD AVE.
WILMETTE, IL 60091
847-853-0824
healyrice@comcast.net

DATE 13 NOV 20
REVISED
SHEET 3 OF 5



2ND FLOOR DEMOLITION
 1/4" = 1'-0"
 DEMOLITION



2ND FLOOR PLAN
 1/4" = 1'-0"
 NEW CONSTRUCTION

KENNEDY RESIDENCE
 170 BIRCH ST.
 WINNETKA, IL 60093

HEALY M. RICE, P.C.
 934 ELMWOOD AVE.
 WILMETTE, IL 60091
 847-853-0824
 healyrice@comcast.net

DATE 13 NOV 20
 REVISED
 SHEET 4 OF 5



ASPHALT SHINGLES
SINGLE PLY MEMBRANE ROOF
ALUMINUM GUTTERS
1 x 8 FASCIA
5/4 x 8" FRIEZE
4/4 x 3.25 NT3 HARDIETRIM CORNER BOARD
7" EXPOSURE SMOOTH HARDIE SIDING
3.5 NT3 HARDIE TRIM CASING
MARVIN WINDOWS



KENNEDY RESIDENCE
170 BIRCH ST.
WINNETKA, IL. 60093

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DATE 13 NOV 20
REVISED
SHEET 5 OF 5



NOTICE OF WINNETKA ZONING ADMINISTRATOR PUBLIC HEARING

Notice is hereby given that a virtual public hearing will be held by the Winnetka Zoning Administrator on **THURSDAY, DECEMBER 17, 2020 AT 4:00 PM** for the purpose of considering the following:

CASE NO. 20-40-ZA

1066 MT. PLEASANT ROAD – RESIDENTIAL ADDITION

An application submitted by Alexandra Kaehler (the “Applicant”), as the owner of the property located at 1066 Mt. Pleasant Road (the “Subject Property”), **to allow construction of an addition to the existing residence on the Subject Property.** The Applicant has filed an application seeking the following variation from the Zoning Ordinance:

1. A variation to provide less than the minimum required total side yard setback.

The Subject Property (Parcel Index Number 05-20-311-018-0000) is generally located on the south side of Mt. Pleasant Road, between Locust Road and Rosewood Avenue, and is zoned R-2 Single Family Residential. The Subject Property contains an existing two-story residence.

VIRTUAL HEARING PUBLIC PARTICIPATION OPTIONS

In accordance with social distancing requirements and Governor Pritzker’s Executive Order 2020-71 and Senate Bill 2135, **the Winnetka Zoning Administrator meeting will be held virtually. The meeting will be livestreamed via the Zoom platform. In accordance with Public Act 101-0640, at least one representative from the Village will be present at Village Hall, and the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location.** Pursuant to Executive Order 2020-71 issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a “first-come, first-served” basis.** The agenda and meeting materials for this meeting will be posted no later than the end of the day on Friday, December 11, 2020 at www.villageofwinnetka.org/agendacenter.

The public has the following two options **for observing and participating during this virtual Zoning Administrator meeting, including the ability to provide testimony or comments.** Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only).** Call: 312-626-6799; when prompted enter the Webinar ID – 9365 891 3973 (Please note there is no additional password or attendee ID required.)
- 2) **Livestream (both audio and video feed).** Download the Zoom meetings app to your smart phone, tablet or computer, and then join Webinar ID – 9365 891 3973, Webinar Passcode – ZA121720

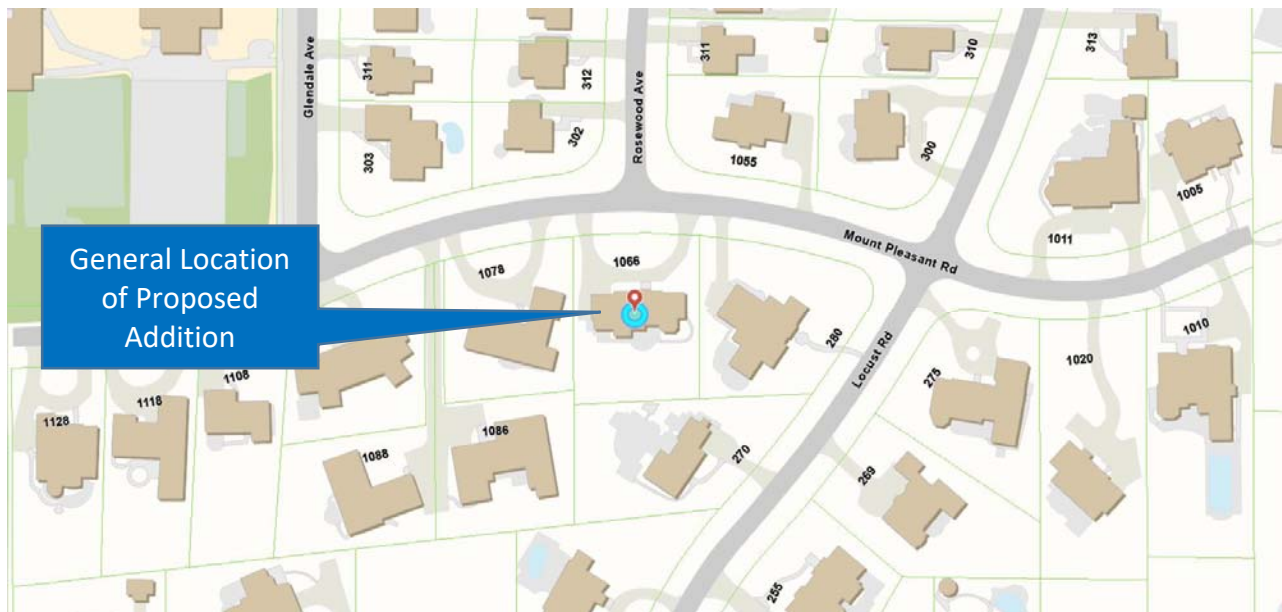
Any changes to the above virtual meeting information will be included in the Zoning Administrator agenda posted at www.villageofwinnetka.org/agendacenter.

If you wish **to provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending **an email** to planning@winnetka.org;
- 2) By sending **a letter** to Community Development, Village of Winnetka, 510 Green Bay Rd, Winnetka, IL 60093; or
- 3) By leaving **a voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

All comments received prior to the posting of the agenda packet will be included in the agenda packet. All comments received after the agenda packet has been posted and received by 6:00 PM the day of the meeting will be read at the meeting by staff. Such public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address,

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093 [Telephone: (847) 716-3543; T.T.Y.: (847) 501-6041.



Proposed Site Plan
(Note: Details may change through review process)

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 20-40-ZA

Property Information

Site Address: 1066 Mt. Pleasant Rd. Winnetka IL 60093

Owner Information

Name: Alex Kaehler

Address: 1066 Mt. Pleasant Rd.

City, State, ZIP: Winnetka IL 60093

Email: [REDACTED]

Primary Contact: Alex Kaehler

Phone No. [REDACTED]

Date property acquired by owner: _____

Architect Information

Name: Louis Banks Design Build, Inc.

Primary Contact: Louis Banks

Address: 942 Burton Ter.

City, State, ZIP: Glenview, IL. 60025

Phone No. 7734057474

Email: louis@louisbanksdesignbuild.com

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Nature of any restrictions on property: _____

Brief explanation of variation(s) requested (attach separate sheet providing additional details): We request
a variance to build an addition matching the existing non-conforming setback.
The addition is adjacent to and above the existing 2 car garage.

Property Owner Signature: _____

Date: _____

REQUEST FOR MINOR VARIATION

Re: Kaehler Residence
Addition to Existing Single Family Residence
1066 Mt. Pleasant Rd.
Winnetka, IL 60093
Project No: 2020.013

To whom it may concern,

This is written request for the minor variation for an addition at 1066 Mt. Pleasant Rd., in Winnetka. The owner would like to build an addition adjacent to and above the existing non-conforming 2 car garage. The proposed addition wall aligns with the west wall of the existing 2 car garage that is has an existing non-conforming setback from the property line.

See attached drawings as well as the previously submitted zoning calculations for the permit to build the addition.

Thank you in advance for your time to review this matter.

Sincerely,

Louis Banks

STANDARDS FOR MINOR VARIATION

Re: Kaehler Residence

Addition to Existing Single Family Residence
1066 Mt. Pleasant Rd.
Winnetka, IL 60093
Project No: 2020.013

To whom it may concern,

The variation requested is due to an existing non-conforming setback on the home. The owner does not want to disturb the flood plain with additional impervious surface, and with costs in mind the owner wants to build over the existing garage. The existing nonconforming setback creates a hardship in building over the existing building and restricts the work due to the location of the existing garage. The addition must meet the following standards for the variation:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allow by regulations in that district; IT WILL NOT
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants; IT IS AN EXISTING NON-CONFORMING SETBACK – THE HOME WAS BUILT PRIOR TO THE ADDITION PLANNING. IT IS A CHARACTERISTIC OF THE SUBJECT PROPERTY AS WELL AS THE FLOOD PLAIN/IMPERVIOUS SENSITIVITY.
3. The variation, if granted, will not alter the essential character of the locality; IT WILL NOT
4. An adequate supply of light and air to adjacent property will not be impaired; IT WILL NOT
5. The hazard from fire and other damages to the property will not be increased; IT WILL NOT
6. The taxable value of the land and buildings throughout the Village will not diminish; IT WILL NOT
7. The congestion in the public street will not increase; and IT WILL NOT
8. The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired. IT WILL NOT.

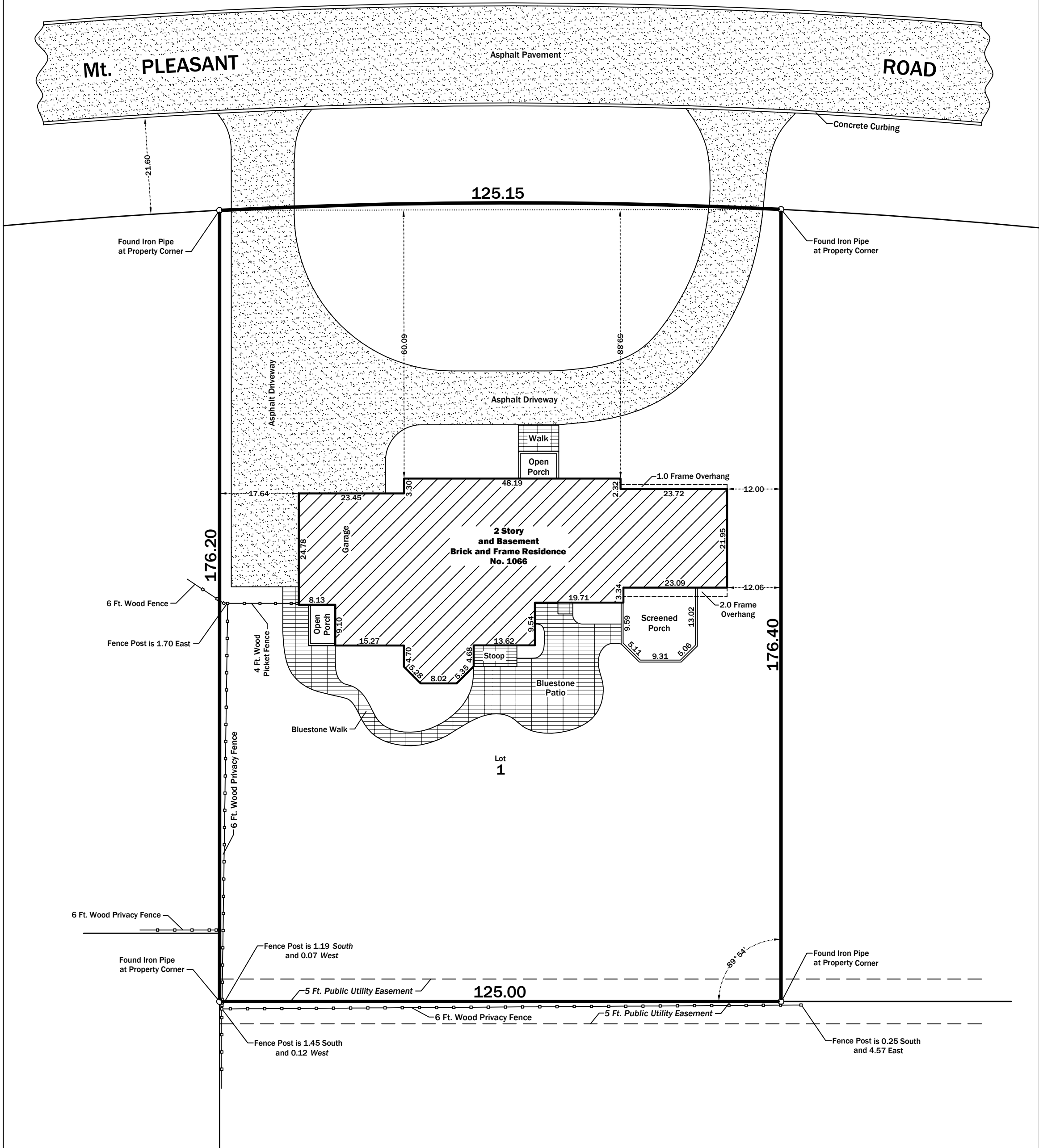
Sincerely,

Louis Banks

PLAT OF SURVEY

...OF...LOT 1 IN JUNIOR SUBDIVISION, BEING A SUBDIVISION OF LOT 75 IN ALLES SUNSET SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

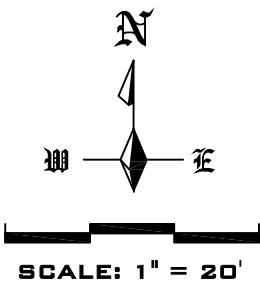
COMMONLY KNOWN AS: 1066 MT. PLEASANT ROAD, WINNETKA, ILLINOIS.



PREPARED FOR: TIMM & GARFINKEL, LLC
PURPOSE: MORTGAGE / SALE
FIELD DATE: 12-16-16
DELIVERY DATE: 12-23-16
FORMATS: BOND & PDF

Information hereon is not sufficient nor guaranteed for new construction, unless property corners noted. Distances and angles may not be assumed by scaling. Distances noted hereon are in feet and decimals. Building Lines & Easements per title, if provided. Compare all points on ground prior to construction.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



NORTH SHORE SURVEY, LTD.

778 FRONTAGE ROAD #110 - NORTHFIELD, ILLINOIS 60093
(847) 446-6510 NSSURVEY@NSCSGLOBAL.NET
PROFESSIONAL DESIGN FIRM NO. 184.006982

State of Illinois }
County of Cook } SS

WE, North Shore Survey, Ltd., do hereby certify that we have surveyed the property as described in the above caption in accordance with official records and/or previous surveys and that the plat hereon drawn is a correct representation of said survey.

PROFESSIONAL ILLINOIS LAND SURVEYOR
LICENSE NO. 35-2232 EXP. 11-30-2018

DATED: DECEMBER 16, 2016

INSTR.: ART
CAD: ART LEGAL: ARD

FILE NO.

42497-U

GENERAL NOTES

1. THE INFORMATION CONTAINED ON THE CONSTRUCTION DOCUMENTS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL THE ARCHITECT'S AND MANUFACTURER'S SPECIFICATIONS, TRADE ASSOCIATION RECOMMENDATIONS, ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES, AND APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
2. Contractor is to assume full responsibility, unrelieved by review of shop drawings and by supervision or periodic observation of construction, for compliance with the contract documents, for dimensions to be confirmed and correlated on the job site and between individual drawings or sets of drawings for fabrication processes and construction techniques (including excavation, shoring, scaffolding, bracing, erection, formwork, etc.), for coordination of the various trades, and for the safe conditions on the job site. Variations in field conditions relative to the contract documents shall be reported to the architect and owner. Work shall not progress until written permission from the architect and owner is obtained.
3. DO NOT SCALE OFF OF DRAWINGS; use written dimensions only. If dimension is missing or inaccurate, consult with architect immediately.
4. Details not shown are similar in character to those detailed. Where specific dimensions, details, or design intent cannot be determined, consult with the architect before proceeding with the work.
5. Architect's approval must be secured in writing for all substitutions. If Architect's approval is not obtained, the Architect shall not be responsible for any related repercussions issuing from the substitution.
6. The Contractor will be responsible for replacing any items damaged during construction.
7. The General Contractor and Sub-Contractors shall maintain throughout the construction period Workman's Compensation, Comprehensive General Liability, and Automobile Liability insurance. Certificates of insurance shall be submitted to the Owner and Architect. The Contractor shall cause to have an endorsement contained naming the Owner and the Architect as Additional Insured. All contractors must be licensed and bonded.

SITE NOTES

1. Contractor to limit excavation in attempt to save maximum number of trees.
2. The General Contractor shall be responsible for the construction, erection, and maintenance of temporary fencing or other physical barrier around tree preservation areas as required. No construction activity, movement, and/or placement of equipment or material within the tree preservation area. No excess soil, additional fill, liquids, or construction debris shall be placed within the root zone of any tree that is required to be preserved. The fencing or other physical barrier must stay in place throughout the entire construction period. All fencing must be secured to metal posts driven into the ground and spaced no further than 10 feet apart.
3. Driveways on public parkways must be 10 to 15 feet from the base of established trees depending on tree diameter size.
4. All existing sidewalk to be replaced as part of new house construction. Solid surface driveway apron only. Sidewalk to be replaced with 6" thick walk at driveway.
5. All excavation and trenching must conform with the Occupational Safety and Health Administration Excavation and Trenching Standard, Part 1926, revised July 1, 1990.
6. Contractor will clean the construction site daily and store tools and materials in an orderly manner.
7. The civil engineer recommends that a plumber is hired to televisé all existing drains on the site to make sure that none are collapsed, damaged, or debris-filled.
8. Air conditioning condenser location to adhere to zoning setback requirements.

SITE NOTES

2009 I.R.C.: SECTION R106.3.1
PLANS ON JOB REQUIRED. A COPY OF APPROVED PLANS SHALL BE KEPT ON SITE OF THE BUILDING OR WORK & SHALL BE MADE AVAILABLE WHEN REQUIRED BY THE BUILDING OFFICIAL AT THE TIME OF INSPECTION.

SECTION 890.1380 STORM WATER DRAINAGE REQUIRED.
FOOTING DRAINS, STORM WATER DRAINS, ROOF DRAINS, PAVED AREA DRAINS, YARD DRAINS, COURTYARD DRAINS, AND SIMILAR DRAINS SHALL BE CONNECTED TO THE CITY STORM SEWER SYSTEM, OR TO ANOTHER APPROVED POINT OF DISCHARGE.

DOWNSPOUTS CONNECT TO CITY STORM SEWER UNLESS NOTES OTHERWISE ON THE DRAINAGE & GRADING PLANS

TEMPORARY DRIVEWAY NOTICE
A TEMPORARY GRAVEL DRIVEWAY MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE INSTALLED IN THE APPROVED LOCATION AND EXTEND AT LEAST 25 FEET FROM BEYOND THE LOT LINE.

SECTION 3306.1 SANITARY FACILITIES REQUIRED:
SHALL BE PROVIDED DURING CONSTRUCTION, REMODELING OR DEMOLITION ACTIVITIES

ELECTRICAL CODE
ARTICLE 230-SERVICES
THE FUSED OR MAIN BREAKER SERVICE DISCONNECTING MEANS SHALL BE INSTALLED AT A READILY ACCESSIBLE LOCATION ON THE OUTSIDE OF ALL NEW RESIDENTIAL BUILDINGS OR STRUCTURES OR INSIDE NEAREST THE POINT OF ENTRY OF THE SERVICE CONDUCTORS OF COMMERCIAL BUILDINGS OR STRUCTURES.

CODE REQUIREMENT NOTES

1. All work to be done in accordance with the latest requirements of all governing codes, ordinances, regulations & all of the governing municipality and county amendments:

- International Residential Code for One and Two-Family Dwellings, 2015 Edition w/ appendix J (existing buildings)
- International Property Maintenance Code, 2015 Edition
- International Mechanical Code, 2015 Edition
- International Fuel Gas Code, 2015 Edition
- State of Illinois Plumbing Code, 2014 Edition
- National Electrical Code, NFPA 70, 2014 Edition
- International Fire Code, 2015 Edition
- NFPA 101 Life Safety Code, 2015 Edition
- NFPA Publication 13, 13R, 13D, 72, 2016 Edition
- International Energy Conservation Code 2018 Edition with the Illinois Amendments
- Village of Winnetka Building Code Amendments, August 1, 2019

2. Provide tempered glazing in all hazardous locations. (Sec. R-308, IRC)
- 1) Glazing in any part of the building where the bottom edge of the glazing is less than 18 above a standing surface. (i.e. shower door and enclosure)
- 2) Glazing in egress doors and glazing adjacent to a door where the nearest vertical edge is within a 24" arc of the door in a closed position and where the bottom edge is less than 60" above a standing surface.
3. Fireplaces & Chimneys to comply with IRC, Chapter 10.
Fireplace hearths to extend a minimum of 16" beyond the face of the fireplace opening and a minimum of 8" on each side of the fireplace opening for fireplaces having an opening of less than 6 square feet. The hearth of larger sized fireplaces shall extend a minimum of 20" beyond the face of the fireplace opening and a minimum of 12" on each side.
4. All stairways shall meet code requirements per IRC, Sec. R-311.7 & R-311.2.2. Handrails & guardrails shall comply with IRC, Sec. R-311.7.7.1 & R-312.
Minimum stair width to be 36". Interior handrails to be 34" to 38" above nosing. Maximum riser height is 7 3/4". Minimum tread depth shall be 10" with 1" nosing. Handrails are to project no greater than 3 1/2" into stairway width and a clear space of no less than 1 1/2" from wall. Maximum opening between vertical balusters is less than 4". Provide a minimum of 80" headroom. Interior and exterior guardrails, guardwalls, and parapets to be 36" above finished floor or deck. Enclosed accessible space under stairs shall be enclosed with 1/2" min. gypsum board Required. Handrails shall have both ends returned to the wall or newel post, per Section R311.7.7.2

5. Structural Design Loads: Floors: 40 LBS Live Load, 15 LBS Dead Load; Roof: 30 LBS Live Load, 15 LBS Dead Load. Footing Design Bearing Pressure = 3,000 PSF; Wind Load = 20 PSF.
6. Dimensional lumber shall be Hem Fir No. 2 or better. Drilling and notching of top plates and studs will comply with code requirements.
7. Provide treated wood plates and wall furring for all walls nailed to foundation walls.
8. Provide 5/8" gypsum board at frame walls and ceiling between house and garage.
9. Firestopping shall be provided to cut off all concealed draft openings (both vertical & horizontal) & to form an effective fire barrier between stories & between the top story & the roof space.
10. Air conditioning condenser location to adhere to zoning setback requirements.
11. Anchor bolts shall be embedded 7" minimum into concrete. (Sec. 403.1.6, IRC)
1. place to an existing structure. (Sec. 907.2.1.4, Amendment to the International Fire Code)
12. Garage door shall be solid core or 20 minute rated. (Sec. R-309.1, IRC)
13. Provide access to attic 22" x 30" minimum. (Sec. R-807, IRC)
14. One window or exterior door in each bedroom as well as egress window wells shall comply with IRC, Sec. R-310 Emergency Escape & Rescue Openings.
15. No cellar in any building shall be used for or contain any quarters for sleeping or residential cooking. (Sec. 150.407)
16. Roof vents shall comply with IRC, Sec. R-806 Roof Ventilation.
17. Skylights shall comply with IRC, Sec. R-308.6 Skylights & Sloped Glazing.

18. A minimum two inch high drip pan is required under all appliances that may condensate or hold water on levels of buildings other than basements. The pan must drain through a pipe a minimum of 3/4" diameter to an open site of the building's plumbing system. (Sec. 303.9)
19. The spaces between studs or joists shall not be utilized as a plenum for supply or return air. (Sec. 602.3)
20. Provide combustion air to furnace room. (Sec. R-1701.1, International Residential Code)
21. Crawl spaces to be conditioned. (Sec. R-408, International Residential Code)
22. Smoke Detectors: Every single family occupancy shall have installed therein an approved low voltage stand-alone hard-wired or wireless smoke detector system. Smoke detectors must be located in each bedroom for new construction, within 15 feet outside any bedroom, at the top of every stair, on each floor level and within 10 feet of any furnace, with no less than one detector on each floor level. (Sec. 91.005 & Sec. 907.2.1, Amendment to the International Fire Code)
23. All basements, cellars, crawl spaces and furnace areas are to have installed 110-volt hard wired, battery back up, smoke detectors (if less than 50% demolition only) or low voltage stand alone hard-wired smoke detector system if any remodeling or new construction takes place to an existing structure. (Sec. 907.2.1.4, Amendment to the International Fire Code)

24. A carbon monoxide detector is required within 15' of every sleeping room. The carbon monoxide detector may be combined with a smoke detector. A carbon monoxide detector may be battery operated or hardwired. Verify distance to each bedroom. 2nd Floor may require two detectors. (State of Illinois, Carbon Monoxide Alarm Detector Act)

25. All electrical wiring shall be of copper conductors. (Sec. 110-5, Amendment to National Electrical Code)

26. All new wiring installations or any changes or additions to electrical systems previously constructed shall be with rigid metal conduit (RMC), intermediate metal conduit (IMC) or electric metallic tubing (EMT). (Sec. 3000-1, Amendment to National Electrical Code)

27. The following additional separate branch circuits shall be required as needed:

- A. Central air conditioning system.
- B. Electric range.
- C. Microwave oven.
- D. Through wall air conditioners and heating units.
- E. Motors of 1/4 horsepower or larger.
- F. Electric water heaters.
- G. Electric dryers - 240 volt.
- H. Sump pump.
- I. Sanitary ejector pump.
- J. Central vacuum system.
- K. Dishwasher.
- L. Furnaces.

28. All closet lights shall be:
- A. recessed lights with 6" clearance between fixture and nearest point of storage space.
 - B. fluorescent lights with 6" clearance between fixture and nearest point of storage space.
 - C. incandescent lights with 12" clearance between fixture and nearest point of storage space. (Sec. 410.8.B, NEC)

29. Light fixture above whirlpool, tubs and showers shall be G.F.I. (Sec. 680.6, NEC)

30. Arc-fault circuit-interrupter protection:
- A. Definition: an arc-fault interrupter is a device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
 - B. Dwelling unit bedrooms: all branch circuits that supply 125-volt, single-phase, 15- and 20-ampere receptacle outlets installed in dwelling unit bedrooms shall be protected by an arc-fault circuit interrupter(s). (Sec. 210-12 NEC)

31. The minimum diameter of a building sanitary sewer service shall be 4". (Sec. 890.170.G, Amendment to Illinois State Plumbing Code)

32. A clean out shall be provided at the junction of the building drain and building sewer. It shall be located outside the building within 5' of the foundation wall.

33. All floor drains and hub drains below grade shall be a minimum size of 4" in diameter.

34. Plumbing walls: Any wall which contains any plumbing lines, stacks, branches, or risers, any one of which is at least 1 1/2" min. diameter in size, shall consist of not less than 2x6 framing members. Any measures necessary to protect such plumbing from freezing shall be the responsibility of the architect or engineer. Drilling & notching shall comply with the IRC (Sec. 171.350).

35. In no case shall the water service pipe be less than 1" nominal diameter. (Sec. 890.1200, Amendment to Illinois Safety Plumbing Code)

36. Where the developed length of hot water piping from the source of hot water supply to the farthest fixture exceeds 50', the hot water supply system shall be provided with a re-circulation return line. (Sec. 890. 1200. 12, Amendment to Illinois State Plumbing Code)

37. The vent extension through and above the roof shall be not less than 3" in diameter and shall have a diameter of at least 1" greater than that of the pipe to the roof. (Sec. 890.1400.a, Illinois State Plumbing Code)

38. Cuts, notches and holes bored in trusses, laminated veneer lumber, glue-laminated members or i-joists are not permitted unless the effects of such are specifically addressed. (Section: R502.8.2)

39. Exterior or load bearing walls with plates cut, drilled or notched more than 50% of the width of the stud shall have a galvanized metal tie 16 gage and 1 1/2 inches (1 1/2") wide fastened to each plate.(Section: R602.6.1)

40. Exterior or load bearing walls with studs drilled within 5/8" of the face of the stud shall be reinforced with a structural stud shoe. (Section R602.6)

41. The maximum difference between the tallest and the smallest stair riser shall not be greater than 3/8"; (Section R311.7.4)

42. All equipment and appliances, including the air conditioner, water heater and furnace, shall be installed in accordance with their listings and the manufacturer's installation instructions. a copy of the manufacturer's installation instructions must be provided on site at the time of inspection.

43. NOT USED

44. The hvac system shall be controlled by a programmable thermostat. (Section R403.1)

45. Exterior walls, including behind bath tubs, shall have continuous air barrier. (Table 402.4.1.1)

46. When a portion of the hvac system is located outside the building thermal envelope, duct tightness shall be verified by a 3rd party. (Section R403.3.3.)

47. When following the prescriptive method all hot water piping shall be insulated to a minimum of r-3 (Section R403.5.3.)

48. NOT USED

49. The sump pit shall be a minimum of 2' above the floor.

ENERGY CONSERVATION CODE

This project is designed in accordance with the 2015 International Energy Conservation Code (I.E.C.C.). Using the Prescriptive Approach, the residence complies with the insulation & fenestration requirements by component based on Climate Zone 5. (Sec. R402)

Building Thermal Envelope Requirements for Climate Zone 5 (IECC Table 402.1.1):

Glazing U Factor: Required: 0.32; Actual: 0.32.

Skylights Glazing U Factor: Max: .55; Actual: .55.

Ceiling R- Value: Required: R-49; Actual: R-49.

Wall R-Value: Required: R-20; Actual: R-20.

Floor R-Value: Required: R-30 min.; Actual: R-30.

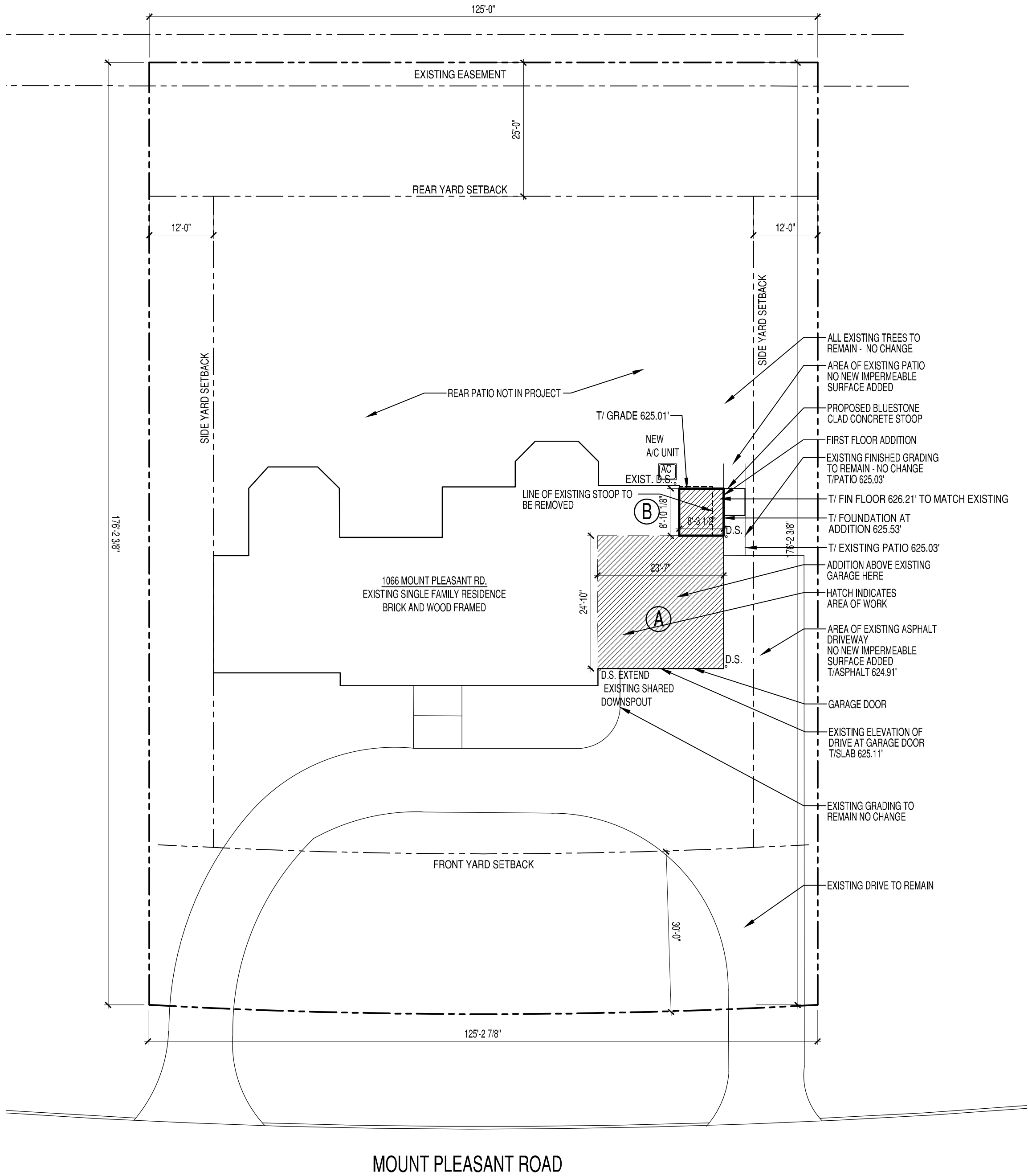
Basement Wall R-Value: Required: R-15/19; Actual: R-15 continuous @ unfinished R-13 batt & R-5 continuous @ finished

Basement Slab R-Value: Required: R-10; Actual: R-10.

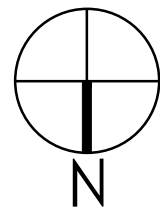
Air Leakage Requirements (IECC 402.4):

Dwelling will achieve compliance to the mandatory air leakage & tightness requirements per the Visual Inspection Option. Building envelope tightness & insulation installation shall be considered acceptable when the items listed in Table 402.4.2 (SEE BELOW), applicable to the method of construction, are field verified. When required by the code official, an approved party independent from the installer of the insulation shall inspect the air barrier & insulation.

ZONING INFORMATION		AREA CALCULATIONS	
ADDRESS:	1086 MOUNT PLEASANT	LOT AREA =	22,261 SF
ZONING DISTRICT:	R-2	MAXIMUM ALLOWABLE GROSS FLOOR AREA =	6,935.03 SF
LOT AREA =	22,261 SF	EXISTING FIRST FLOOR:	3,237 SF
MIN. FRONT YARD SETBACK:	30' ESTABLISHED BUILDING LINE	EXISTING SECOND FLOOR:	1,928 SF
MIN. INT. SIDE YARD SETBACK:	12.00'	ADDITION SF FIRST FLOOR:	73.9 SF
MIN. REAR YARD SETBACK:	25.00'	ADDITION SF SECOND FLOOR:	586.0 SF
		TOTAL PROPOSED AREA =	5,824.3 SF
HEIGHT CALCULATIONS:			
MAXIMUM BUILDING HEIGHT FROM GRADE = 33'-0" (2-1/2 STORIES)			



1 SITE PLAN
A0.0 SCALE: 1/16" = 1'-0"



ISSUE DATES

3	ISSUED FOR PERMIT	10.02.20
2	ISSUED FOR REVIEW	09.11.20
1	ISSUED FOR REVIEW	08.20.20

DRAWING INDEX

A0.0	SITE PLAN CODE NOTES
A0.1	SPECIFICATIONS
A1.0	FIRST FLOOR PLAN SECOND FLOOR PLAN ROOF PLAN FOUNDATION PLAN
A2.0	ELEVATIONS
A3.0	SECTIONS
E1.0	ELECTRICAL PLANS
P1.0	PLUMBING RISER AND WASTE DIAGRAM AND SPECS
S0.0	STRUCTURAL SPECIFICATIONS
S0.1	STRUCTURAL SPECIFICATIONS
S1.0	SECOND FLOOR FRAMING PLAN AND ROOF FRAMING PLAN

GENERAL NOTES

- TREAD DIMENSIONS SHOWN DO NOT INCLUDE 1 1/4" NOSING.
- PROVIDE CONTINUOUS WOOD BLOCKING IN THE WALLS FOR ALL CABINETS, MOLDINGS, TONEL BARS, RAILINGS, DOOR STOPS, ETC. VERIFY LOCATIONS.
- COORDINATE LOCATIONS OF FLOOR JOISTS WITH PLUMBING DRAIN LOCATIONS, HVAC CHASES, AND LIGHTING PATTERNS.
- DRYWALL CONTRACTOR TO PROVIDE ACCESS PANELS AS REQUIRED FOR EASY ACCESS TO MISCELLANEOUS VALVES.
- PROVIDE FLUSH WOOD SUPPLY REGISTERS IN WOOD FLOORS.
- TYPICAL SHOWER NICHES (UNLESS OTHERWISE DIMENSIONED): 12" WIDE X 24" HIGH X 4" DEEP, WITH SHELF 9" ABOVE BOTTOM OF NICHE. BOTTOM OF NICHE TO BE 3'-0" A.F.F.
- BUILD ALL SOFFITS TO ENCLOSE AND CONCEAL DUCTWORK, PLUMBING, ELECTRICAL WORK, ETC. IN FINISHED AREAS.
- CONTRACTOR TO SREW PLYWOOD DECKING TO JOISTS AFTER INSTALLATION OF DRYWALL.
- INSULATE AND DOUBLE DRYWALL AROUND ALL VERTICAL AND HORIZONTAL WASTE STACKS AS REQUIRED TO MINIMIZE SOUND TRANSFER TO HABITABLE SPACES.
- MECHANICAL NOTE: TOP OF GRILLES HIGH IN WALLS TO BE 1'-0" BELOW CEILING, TYP. BOTTOM OF GRILLES LOW IN WALLS TO BE 12" A.F.F., TYP.
- ALL BEDROOM AND BATHROOM INTERIOR WALLS & ALL FLOORS TO HAVE SOUND BATT INSULATION

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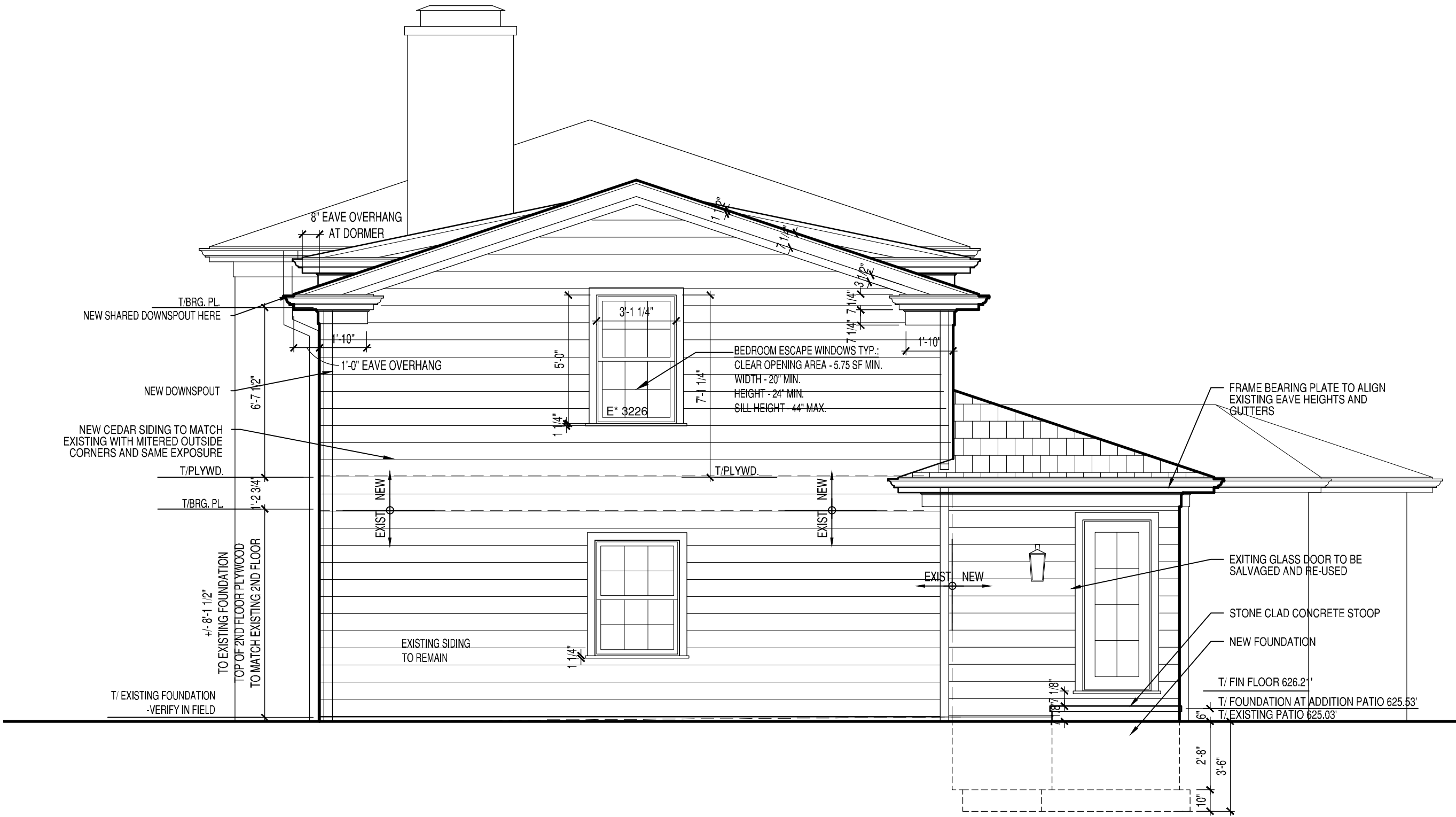
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SITE PLAN AND CODE NOTES

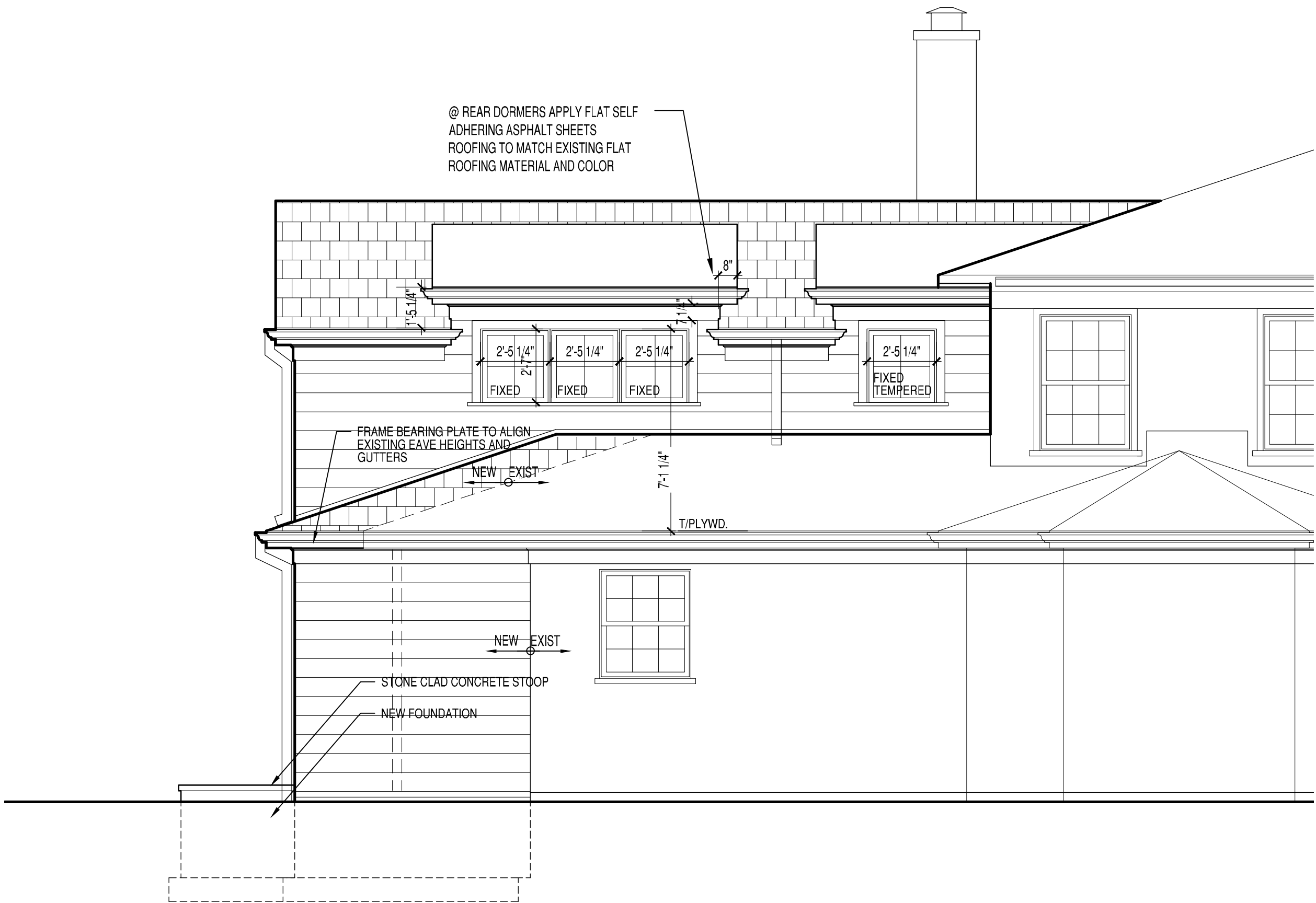
Scale:	
PROJECT NUMBER:	SHEET NUMBER:
2020.13	A0.0

LIGHT & VENTILATION SCHEDULE						
ROOM #	ROOM NAME	AREA (SF.)	ORDINANCE REQD.		ACTUAL PROVIDED	
			8% LIGHT (SF.)	4% VENT (SF.)	LIGHT (SF.)	VENT (SF.)
201	STUDY	437	34,960	17,480	41.7	23.4

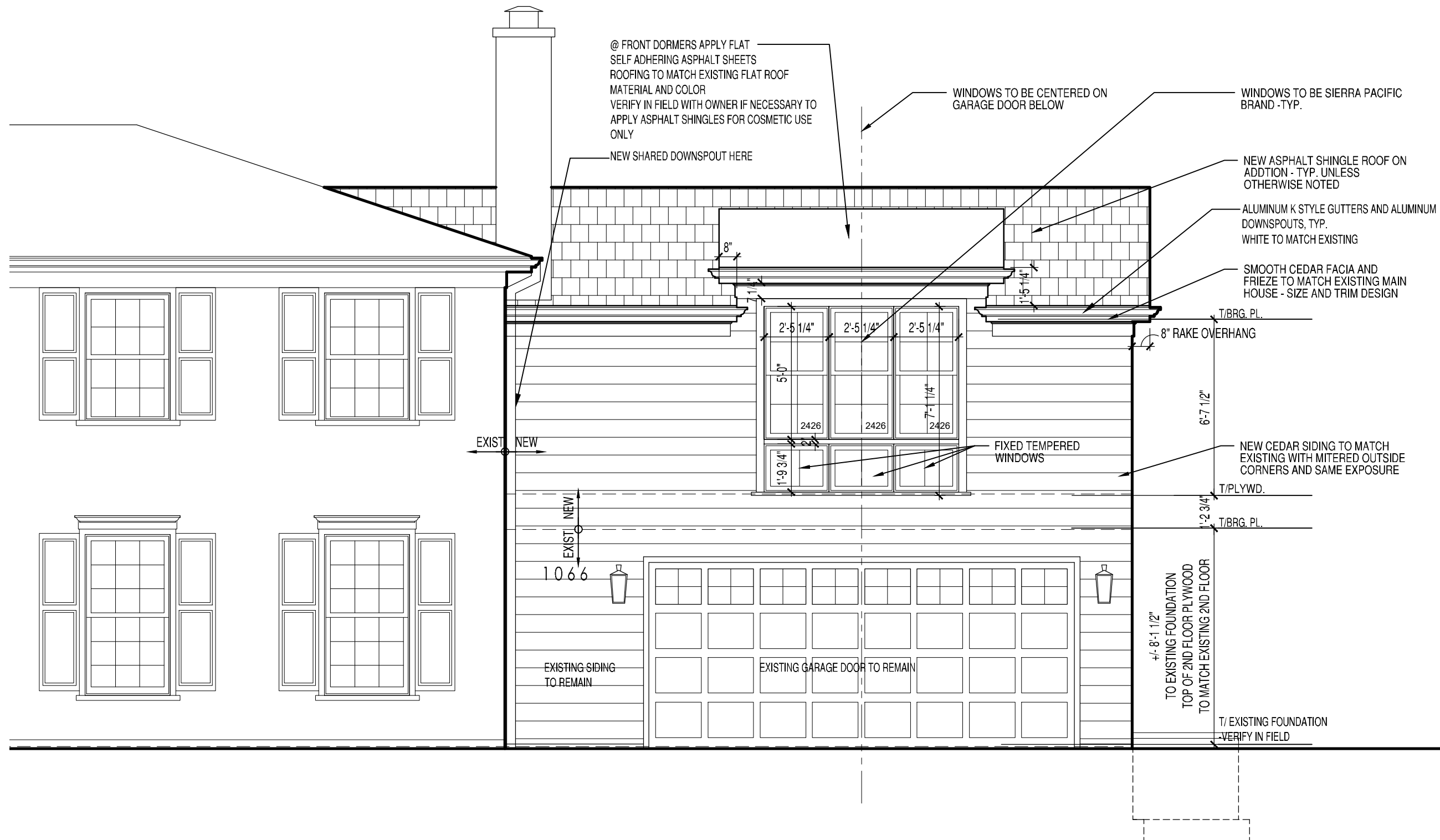
NOTES:
1. NOTE FOR HABITABLE ROOMS LIGHT AND VENTILATION:
IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE SECTION R303.1, AN APPROVED MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR, AND ARTIFICIAL LIGHT SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
2. NOTE FOR BATHROOMS LIGHT AND VENTILATION:
IN ACCORDANCE WITH IRC SECTION R603.3, REFERENCING BATHROOMS, WATER CLOSETS AND OTHER SIMILAR ROOMS SUCH THAT GLAZED AREAS SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE (24 L/S) FOR INTERMEDIATE VENTILATION OR 20 CUBIC FEET PER MINUTE (10 L/S) FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
3. NOTE FOR STAIRWAY ILLUMINATION:
ALL STAIRWAYS WITHIN DWELLING UNITS SHALL BE PROVIDED WITH A MINIMUM ILLUMINATION LEVEL OF 10 FOOT-CANDLES (107LUX) MEASURED AT EVERY TREAD NOSING



3 WEST ELEVATION
A2.0 Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
A2.0 Scale: 1/4" = 1'-0"



1 NORTH ELEVATION
A2.0 Scale: 1/4" = 1'-0"

ISSUE DATES		
3	ISSUED FOR PERMIT	10.02.20
2	ISSUED FOR REVIEW	09.11.20
1	ISSUED FOR REVIEW	08.20.20

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A0.0	SITE PLAN CODE NOTES
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A2.0	ELEVATIONS
A3.0	SECTIONS
E1.0	ELECTRICAL PLANS
P1.0	PLUMBING RISER AND WASTE DIAGRAM AND SPECS
S0.0	STRUCTURAL SPECIFICATIONS
S0.1	STRUCTURAL SPECIFICATIONS
S1.0	SECOND FLOOR FRAMING PLAN AND ROOF FRAMING PLAN

- GENERAL NOTES
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 - COORDINATE LOCATIONS OF FLOOR JOISTS WITH PLUMBING DRAIN LOCATIONS, HVAC CHASES, AND LIGHTING PATTERNS.
 - DRYWALL CONTRACTOR TO PROVIDE ACCESS PANELS AS REQUIRED FOR EASY ACCESS TO MISCELLANEOUS VALVES.
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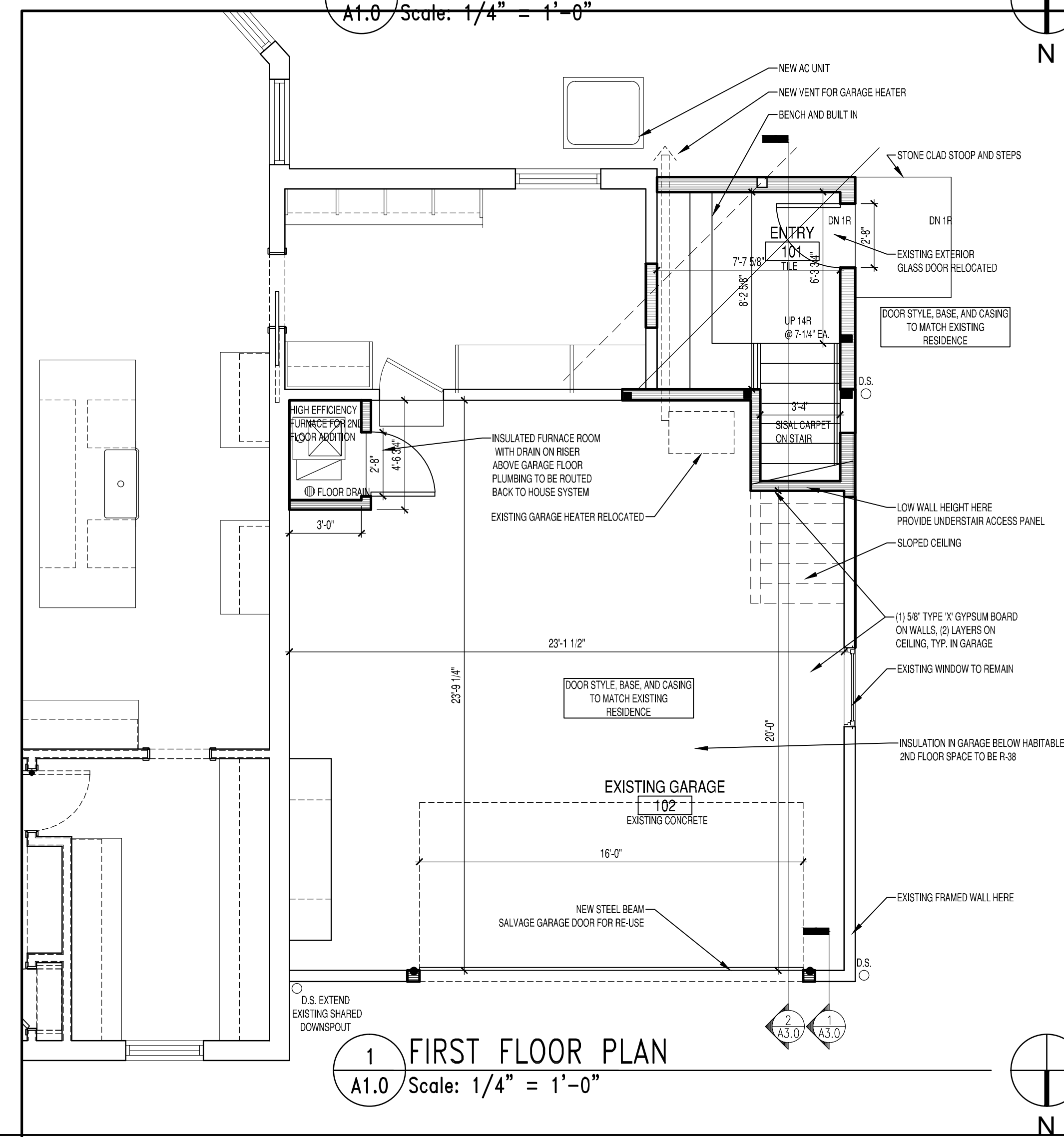
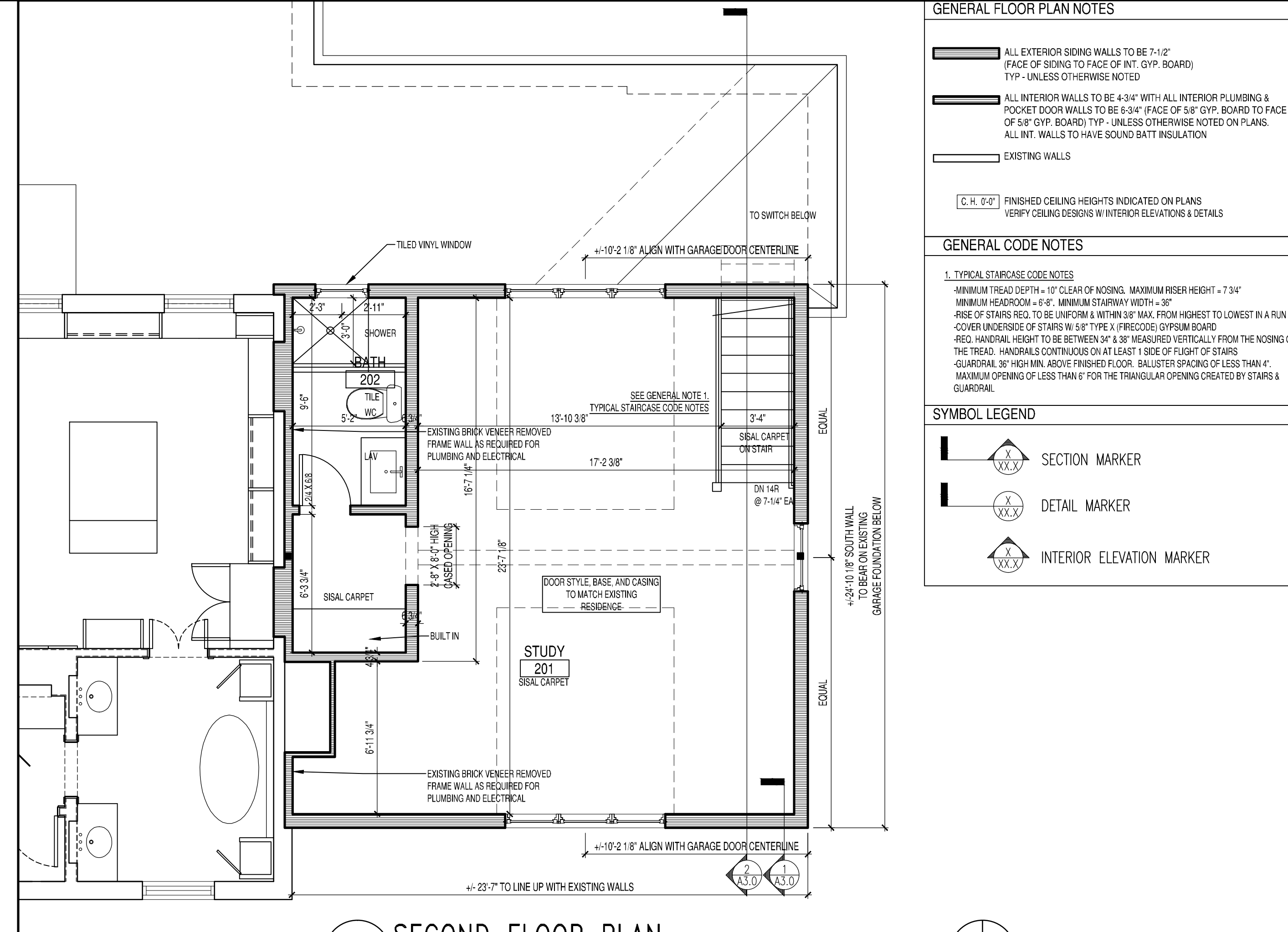
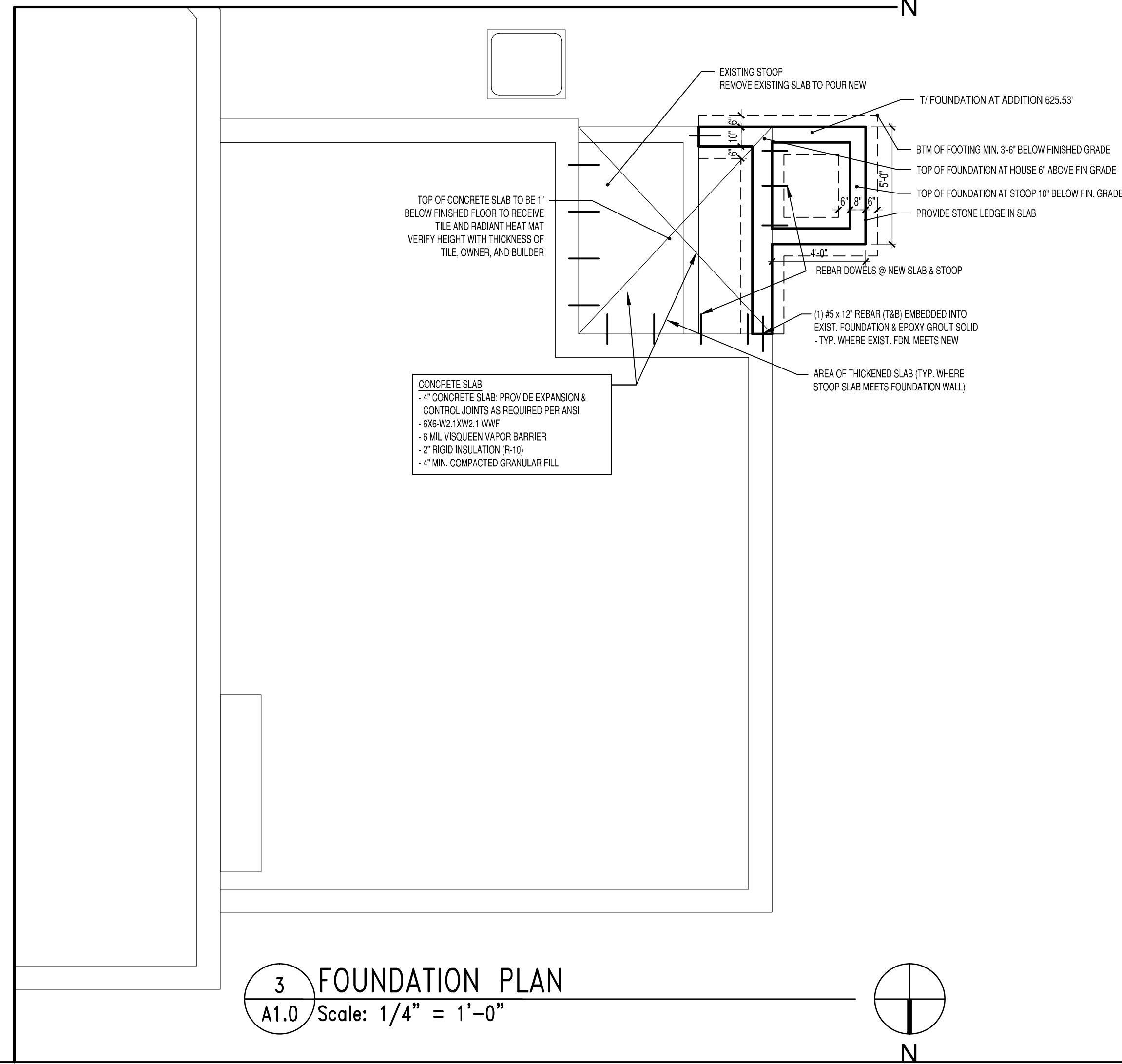
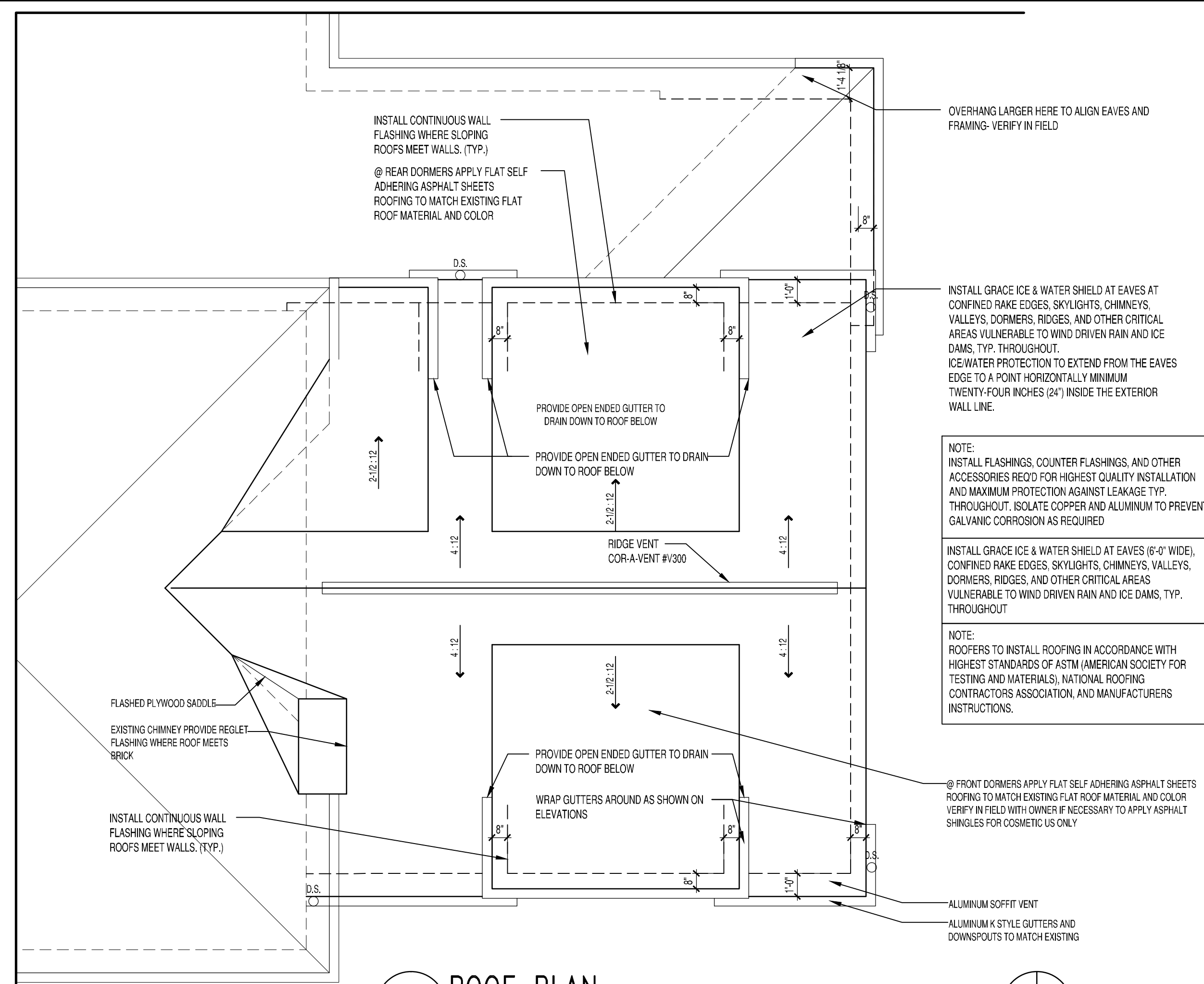
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ELEVATIONS	
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ISSUE DATES		
3	ISSUED FOR PERMIT	10.02.20
2	ISSUED FOR REVIEW	09.11.20
1	ISSUED FOR REVIEW	08.20.20

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A2.0	ELEVATIONS
A3.0	SECTIONS
E1.0	ELECTRICAL PLANS
P1.0	PLUMBING RISER AND WASTE DIAGRAM AND SPECS
S0.0	STRUCTURAL SPECIFICATIONS
S0.1	STRUCTURAL SPECIFICATIONS
S1.0	SECOND FLOOR FRAMING PLAN AND ROOF FRAMING PLAN

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GENERAL NOTES

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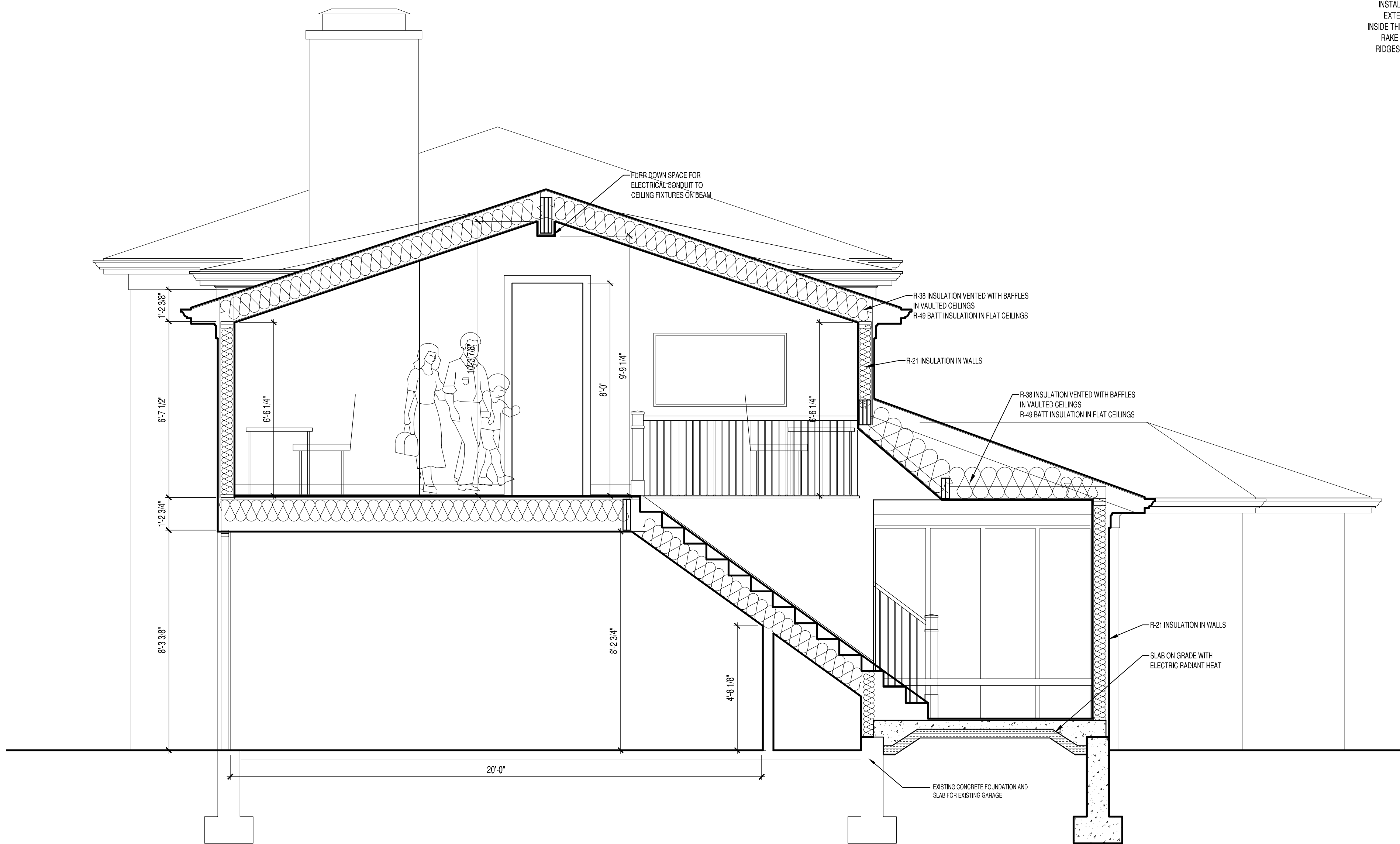
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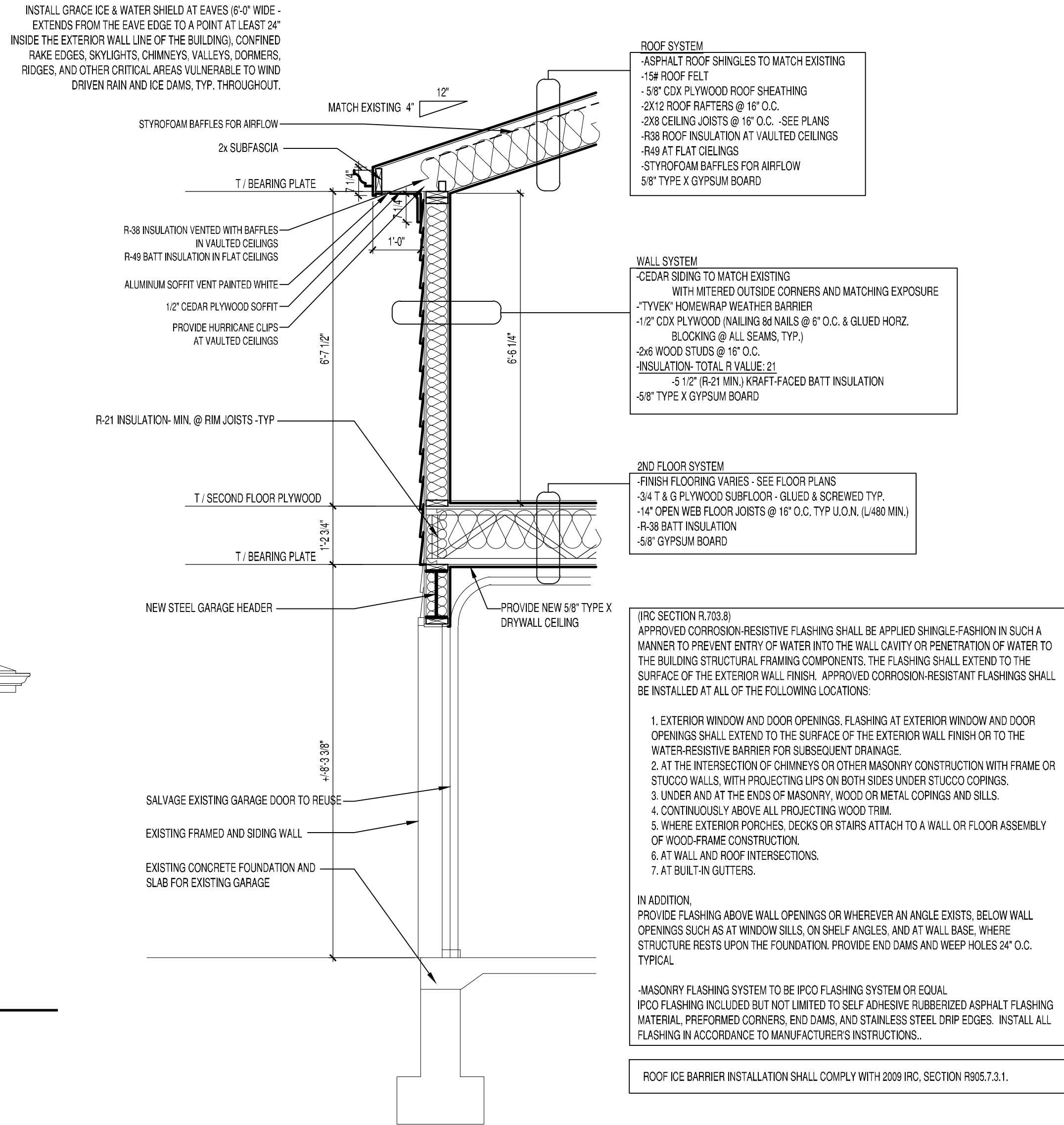
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BASEMENT PLAN	
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2 BUILDING SECTION
A3.0 Scale: 3/8" = 1'-0"



1 WALL SECTION
A3.0 Scale: 1/2" = 1'-0"

ISSUE DATES

NO.	DESCRIPTION	DATE
3	ISSUED FOR PERMIT	09.16.20
2	ISSUED FOR REVIEW	09.11.20
1	ISSUED FOR REVIEW	08.20.20

DRAWING INDEX

A0.0	SITE PLAN CODE NOTES
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SECTIONS

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