



DESIGN REVIEW BOARD/SIGN BOARD OF APPEALS REGULAR MEETING
THURSDAY, NOVEMBER 21, 2019 - 7:00 p.m.
WINNETKA VILLAGE HALL COUNCIL CHAMBERS – 510 GREEN BAY ROAD
AGENDA

1. Call to Order.
2. Public Comment.
3. **Case No. 19-32-SU: 1255 Willow Road – Winnetka Presbyterian Church:** Certificate of Appropriateness for proposed outdoor plaza and exterior doorway.
4. **Case No. 19-34-DR: 972 Green Bay Road:** Certificate of Appropriateness for proposed exterior façade changes and addition.
5. **Case No. 19-21-DR: 915 Green Bay Road – Boutique Bites:** Amendment to a previously approved Certificate of Appropriateness for proposed exterior façade changes.
6. Other Business.
 - a. Comprehensive Plan Status Update.
7. Next meeting – December 19, 2019 – Quorum check.
8. Adjournment

Note: Public comment is permitted on all agenda items.

NOTICE

All agenda materials are available at villageofwinnetka.org (Government > Boards & Commission > Agenda Packets).

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

510 Green Bay Road, Winnetka, Illinois 60093

Administration and Finance (847) 501-6000 Fire (847) 501-6029 Police (847) 501-6034 Community
Development (847) 716-3520

Public Works (847) 716-3568 Water and Electric (847) 716-3558



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: DESIGN REVIEW BOARD
FROM: CHRISTOPHER MARX, AICP, ASSOCIATE PLANNER
DATE: NOVEMBER 15, 2019
SUBJECT: CASE NO. 19-32-SU: 1255 WILLOW ROAD - WINNETKA PRESBYTERIAN CHURCH - CONSIDERATION OF CERTIFICATE OF APPROPRIATENESS

INTRODUCTION

On November 21, 2019, the Design Review Board will conduct a public hearing on an application filed by Winnetka Presbyterian Church (the "Applicant") as the owner of the property at 1255 Willow Road (the "Subject Property"). The Applicant is seeking a Certificate of Appropriateness to allow the construction of a plaza along Hibbard Road on the Subject Property.

A mailed notice has been sent to property owners within 250 feet in compliance with the Village Code. As of the date of this memorandum, staff has received five written comments from the public regarding this application. The comments are provided in Attachment D of this report.

As will be discussed later in this report, the Applicant is currently considering options to reduce the amount of additional impermeable lot coverage proposed with the current plan in response to concerns and comments received from members of the Zoning Board of Appeals at its meeting on November 11, 2019.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 1.93 acres in size, is located at the northeast corner of Willow Road and Hibbard Road and contains an existing church and parking lot. The Comprehensive Plan designates the Subject Property as appropriate for "Public/Semi-Public" uses. The property is zoned R-5 Single Family Residential, and it is bordered by R-5 Single Family Residential to the north and east, R-4 Single Family Residential to the south, and R-2 Single Family Residential to the west. The Subject Property is identified in Figures 1 through 3 later in this report.

PREVIOUS APPROVALS

In February 2000, Ordinance M-1-2000 was adopted by the Village Council granting a Special Use Permit and variations to allow the expansion of the church building. The approved variations were for (a) maximum building size (GFA); (b) intensity of use of lot (roofed lot coverage); (c) intensity of use of lot (impermeable lot coverage); and (d) front yard setback from Willow Road for parking spaces. Ordinance M-1-2000 is included in this report as Attachment C. The DRB also approved a Certificate of Appropriateness in 2000 for the expansion to the church. Additionally, on July 15, 2010, the DRB approved a Sign Permit for a freestanding sign on the Subject Property.



Figure 1 – Subject Property (west elevation along Hibbard Road)

CURRENT REQUEST

The proposed improvements are intended to provide direct access from inside the church to the existing columbarium located on the exterior southwest corner of the church building, as well as a plaza to accommodate a small group gathering for memorial services. The improvements consist of the following:

1. A new door on the north-facing exterior wall would be installed. The door would measure 4 feet in width and 7 feet in height while being made of fiberglass with a mahogany woodgrain finish. It would also have a small, clear window with a 6 inch surrounding wood frame and bronze hardware.
2. A circular plaza with permeable pavers would be installed outside of the columbarium and doorway. The plaza would have an area of approximately 452 square feet with pavers that are Golden Tan and Sable Blend in color to match the church and columbarium. The plaza would have a concrete curb around the pavers.
3. A crushed stone path from the plaza to the north driveway would be added. The path would be 4 feet wide and 64 feet in length.
4. Three existing openings within the roof overhang would be covered with glass skylights.

The Applicant states that the current setup provides difficulties during inclement weather and for people that need walking assistance. The Applicant also states that the proposed plans would provide a more intimate and connected space for memorials at the church. The proposed plaza would not expand the church building itself.

The location of the proposed plaza and related improvements are identified in Figures 2 and 3 later in this report. An excerpt of the site plan is also included in Figure 4. The Applicant has provided site photos, renderings, architectural plans, and a narrative description of the proposed improvements which are included with the application materials in Attachment A.

As previously noted, the Applicant is in the process of considering how the proposed improvements could be reduced in size in order to minimize the amount of additional impermeable lot coverage. Currently, the plan represents a net increase in impermeable lot coverage of 543 square feet, an increase of 0.71%. One option discussed at the Zoning Board of Appeals (ZBA) meeting on November 11 was to eliminate the proposed crushed stone path. The Applicant seemed amenable to that option along with reducing the overall size of the plaza; however, a revised plan has not been submitted given the short amount of time that has passed since the ZBA meeting.



Figure 2 – Subject Property (location of proposed plaza along Hibbard Road)



Figure 3 – Aerial Map

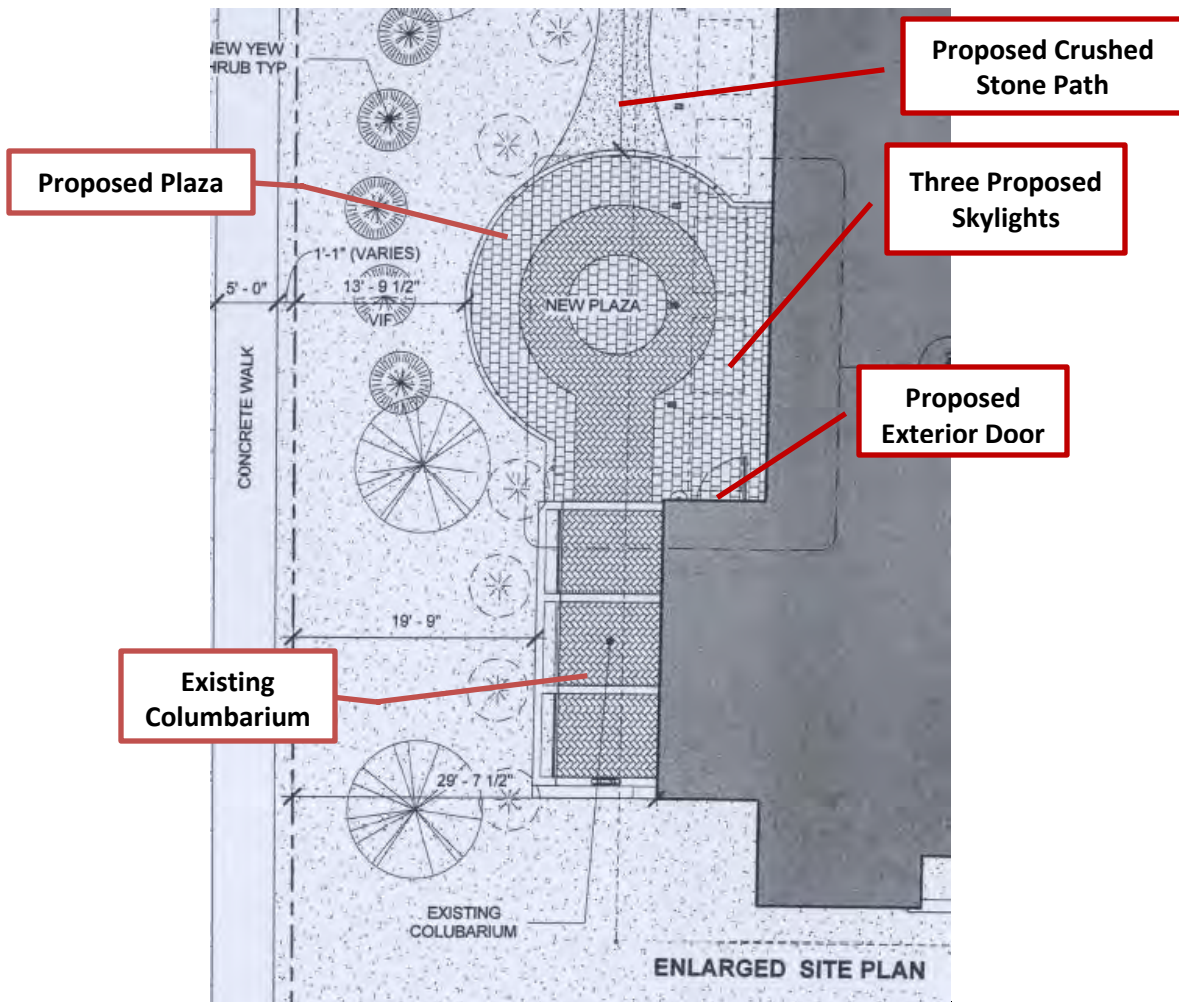


Figure 4 – Excerpt of Site Plan

CONSIDERATION BY OTHER ADVISORY BOARDS/COMMISSIONS

The Zoning Board of Appeals considered the request to amend the existing Special Use Permit for a church located in the R-5 Single-Family Residential Zoning District to allow the plaza and a zoning variation to allow the proposed improvements to exceed the maximum permitted impermeable lot coverage on November 11, 2019. At the ZBA meeting the Board members voiced concerns about the size of the proposed plaza and questioned whether the proposed crushed stone path was necessary. Given the existing improvements on the site currently exceed the permitted impermeable lot coverage; the ZBA felt that the Applicant should scale back the plan. Four neighbors spoke at the meeting in opposition to the request; these comments were in addition to the four emails and one letter from the public provided in Attachment D. After hearing the comments and concerns of the ZBA and public, the Applicant requested a continuance in order to consider reducing the scope of the proposal until the next ZBA meeting on December 9, 2019.

The Plan Commission is scheduled to consider the request to amend the existing Special Use Permit on November 21, 2019.

DESIGN GUIDELINES ANALYSIS

The Village's Design Guidelines provides guidance on contextual design of open spaces and acceptable materials of doorways. An excerpt of the applicable Design Guidelines is included as Attachment B.

SUMMARY

The Applicant requests that the DRB find the proposed plaza and related exterior alterations as appropriate and compatible with the Design Guidelines and approve the application as proposed. Should the DRB approve the application, the Applicant would first need to receive a building permit from the Community Development Department prior to commencing construction. Additionally, the requested amendment to the existing Special Use Permit and the requested zoning variation will also need to be approved by the Village Council.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Design Guidelines Excerpt

Attachment C: Ordinance M-1-2000, adopted February 15, 2000

Attachment D: Public Correspondence

Village of Winnetka
 CERTIFICATE OF APPROPRIATENESS APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
 DEPARTMENT OF COMMUNITY DEVELOPMENT

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project Address: 1255 Willow Rd

Name of Business(es): WINNETKA PRESBYTERIAN CHURCH

Application is hereby made for the following work (please check all that apply):

- ☐ Sign Sign Permit Application attached? ☐
☐ Awning Awning Permit Application attached? ☐
☐ Other (general description) _____

Please provide a detailed description of the proposed work (attach additional information such as material specifications, photographs, etc.):

Addition of a Door from interior to exterior AND Addition of a unlock exterior PANERS
plaza Access to the church's columbarium.

I/We hereby certify that as owner (Lessee/Owner) of the property located at 1255 Willow Rd (address), I am/we are authorized to submit plans for alterations of the subject property. I/We agree to perform the subject work in accordance with the conditions of approval by the Winnetka Design Review Board as well as all other applicable codes, rules and regulations of the Village of Winnetka.

SIGNED

PRINTED NAME(S)

ADDRESS

PHONE NO.

EMAIL

[Redacted Signature]

Robert LEWIS

[Redacted Address]

[Redacted Phone No.]

[Redacted Email]

COA 2019-1047
 FOR OFFICE USE ONLY

COA applied for (date): _____

COA Case Number: _____

COA Issued (date): _____

PRIMARY DESIGN FIRM Jaeger Nickola Kuhlman + Associates

CONTACT NAME Fernando Alessandrini

ADDRESS 250 S. Northwest Hwy Suite 310
Park Ridge, IL 60068

PHONE NO. 847-692-6166

EMAIL

[Redacted Email]

RECEIVED
 OCT 17 2019
 BY: _____



Narrative of Certificate of Appropriateness Application Case No. 19- 32- SU

Application by Winnetka Presbyterian Church 1255 Willow Rd

Representing the Applicant : Robert Lewis , Church Elder for Building and Grounds
and Fernando Alessandrini, JNKA Architects

We are Winnetka Presbyterian Church established around 1950 and our original Church building was constructed in 1960 at the Northeast corner of Willow Rd and Hibbard Rd. We own the facility which expanded its footprint on the site by building additions enabled by the Village's approval of variations and a Special Use Permit under Ordinance No. M-1-2000.

Certificate of Appropriateness We are Requesting

Our year 2000 expansion included addition of a gathering area for meetings, and food service which we call the Christian Life Center. It is fully open space with floor to Ceiling height at its peak of 40 Ft. Other expansion spaces included an entry area, admin office, pastor's office, enclosed ceiling over a former interior garden area, second level classrooms and an exterior Columbarium structure. An aerial view included with our document submission helps explain the year 2000 additions and also the location of new exterior features we are addressing for 2019 approval.

The year 2000 expansion included addition of a modest sized Columbarium at the exterior West end of our original building. The reason for our zoning variance and special applications use is to address a defect in practical and safe usage of the Columbarium. The defect is one of original design in which there was no convenient provision for access from the church's interior direct to or at least close-by the Columbarium. We believe we have an effective simple solution.

The effect of the current layout is that access for interment services necessitates a walk-about along Willow Rd, followed by a turn on Hibbard Rd and then a slanted walk up a grass berm on spaced blue stone pads. We have seen this unnecessarily challenging for people using walkers or wheelchairs and most certainly challenging when rain threatens a pre-planned interment by family members and friends.

We have selected a desirable solution in partnership with licensed architects and have processed detailed drawings and other requested materials through the Village's

Development Department, which brings us to this point of seeking zoning variation, special use approval and Design Review Board approval.

The brief description of our solution is as follows: We will cut through and open a door in a single level brick and stone wall which abuts the Columbarium. There will be an interior phase of our project which encompasses floor replacement and leveling of the gathering interior space which accommodates the door opening. The exterior phase we plan is relevant to the impervious material variation request. We propose to provide a new floor surface within the Columbarium and also a plaza outside and of sufficient size to accommodate a small group gathering for memorial services. This will be accomplished by a design which uses Unilock style pavers in a circular plaza like design and also a crushed stone pathway along the West side of our main sanctuary as far as our North driveway. This treatment shown in our drawings allows efficient access during hours when the church is not open.

Drawings and photos are included in this submission and footnotes or captions serve to describe where the door will be positioned and where the pavers will extend and stone pathway start. Three exterior skylights are added to cover three existing roof openings near the new door.

Immediately following this page is a 3rd page and partial 4th page which addresses the relevant observable design elements explained in our Architect's narrative of the Design approach. Following are supporting documents including photographs and relevant site plans.



ARCHITECT DESIGN APPROACH

Winnetka Presbyterian Church 1255 Willow Rd.

Design Approach

The design started as a desire for connectivity between the existing Sanctuary and the existing Columbarium. Winnetka Presbyterian Church wants to provide community members direct access from an indoor funeral service to an outside ceremony to bring the ashes of their loved ones to their final resting place. The project proposes a 4'-0" by 7'-0" opening with a non-emergency (non-exit) door on a wall to the north not facing either Willow or Hibbard roads. In addition, the project addresses the indoor and outdoor places adjacent to the opening, proposing the remodeling of an indoor Sanctuary Extension Chapel and the creation of a permeable-pavers plaza, both serving as spaces for the community to gather in worship and/or prayer for an interment memorial service.

The design approach seeks to tend to the church's needs respecting the existing building design in both its materials and identity. The final proposal also intends to respect the image perceived from the exterior, looking to minimize its exterior visual impact.

Exterior Design Elements

Door. The 4' by 7' door will be constructed as a stile and rail door in IWP Aurora Fiberglass by Jeld-Wen Windows and Doors (<https://www.jeld-wen.com/en-us>) with a wood appearance. The door will have a minimal Mahogany woodgrain in Honey finish color to match the clear wood on the ceiling of the Sanctuary. The glass is proposed as clear glass with the Presbyterian Church USA logo etched on it. Surrounding the door, a 6" moisture-treated wood frame will be stained to match the darker/red wood color of the sanctuary pews, back wall and chancel furniture. The color of the hardware will match the existing satin bronze color of their hardware.

Plaza.

The plaza consists of two main interconnected areas: a circular 12'-radius circular area by the Sanctuary windows and an 8'-2" by 23'-0" area inside the Columbarium. Both areas are paved using Unilock ECO-PRIORA Permeable Pavers (<https://unilock.com/>) in 9 1/2" x 9 1/2" and 4 3/4" x 9 1/2" sizes and in Golden Tan and Sable Blend colors. These colors were picked to match the existing church building and columbarium stone walls. The circular area will also be surrounded by a matching colored concrete curb. This permeable system, with a runoff coefficient of zero, will be paired with an underground piping system collecting the water and channeling it towards the existing underdrain storm water drainage system. The outmost edge of the plaza is located at 13'-9 1/2" of the property line (about 26' from the street).

Path to North.

A winding, 4' wide, 64' long, crushed-stone path is proposed starting from the plaza heading to the asphalt driveway located at the north side of the property. The average distance from the path to the property line is 23'-3", about 35' from the street

**Skylights.**

The project contemplates 3 new skylights covering existing overhang openings designed for that effect. The rough openings are 5'-0" x 3'-3" and the domed skylights are 12" in height and are about 32'-6" from the angled property line (about 44'-6" from the street).

Winnetka Presbyterian Church

1255 Willow Road · Winnetka · Illinois 60093

Aerial View



Key:

— 3 Skylight covers over existing roof openings 2020.

— Represents 2000 additions.

2

Access Path to Reach the Columbarium

- 1) Top photo – left – Church South façade and original main entrance
- 2) Top photo – right – Entrance/Exit accesses Willow Rd
- 3) Bottom – left – shows West side of sanctuary which faces Hibbard Rd
- 4) Bottom Right – shows Southwest face of sanctuary and bluestone pads trailing up and around on the grass berm to reach the Columbarium



Existing Columbarium

5



We can Visualize Improved Access in this Picture

1. A 42 inch door opening can be cut in the North facing stone wall for close-by access
2. Ample ground surface exists to cover the area to the right of the Columbarium entrance and next to the Sanctuary windows with a stone Paver plaza which provides for stable surface where small groups may gather. Matching paver material may replace the existing blue stone inside the Columbarium.
3. Existing roof openings exist which allow right-sized skylight covers to provide weather protection over the door area and part of the plaza

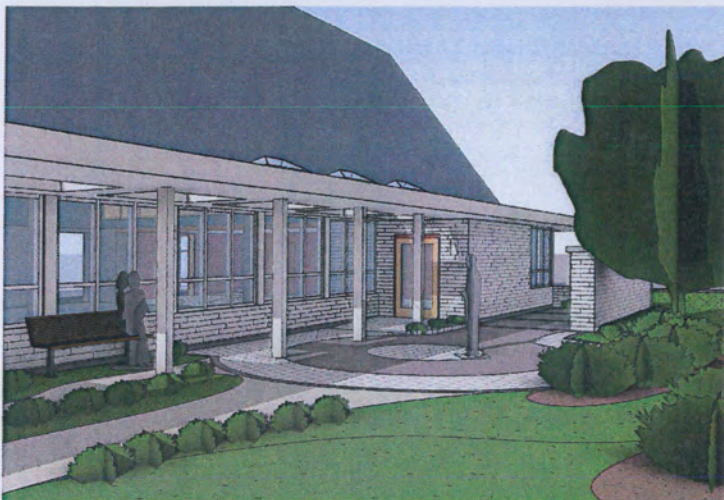
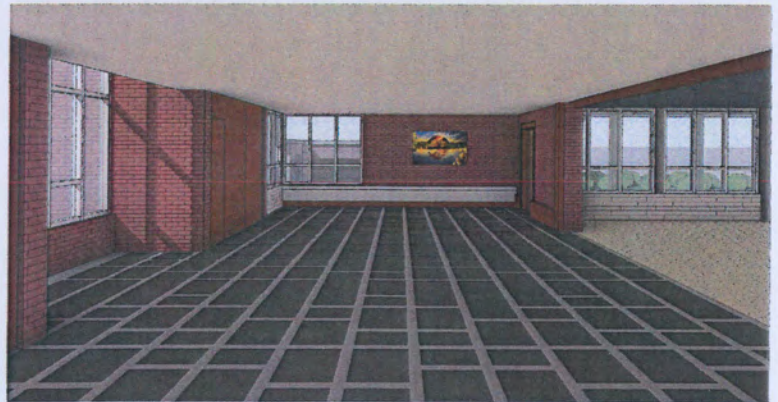
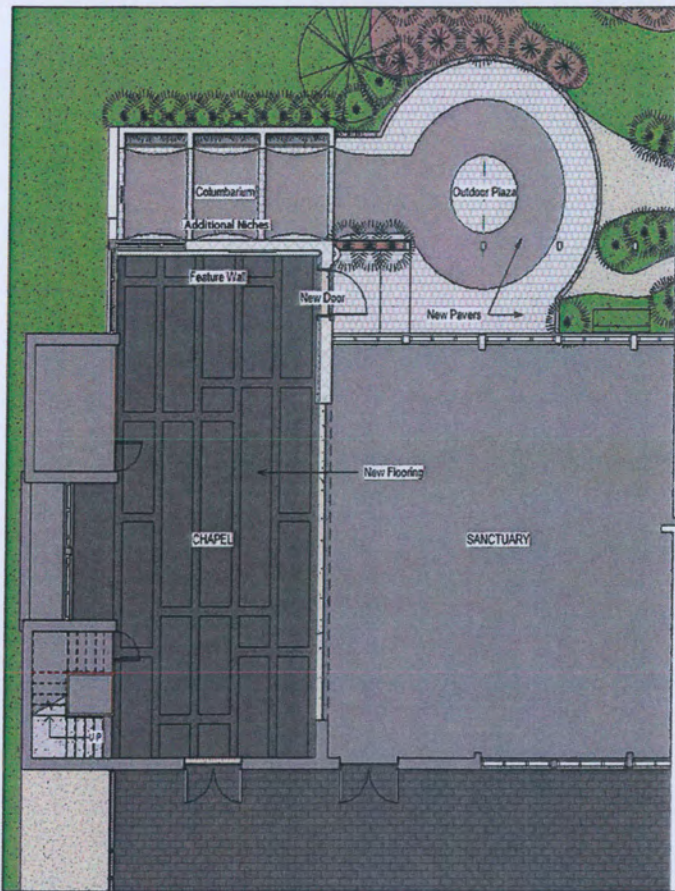
Columbarium Project 6

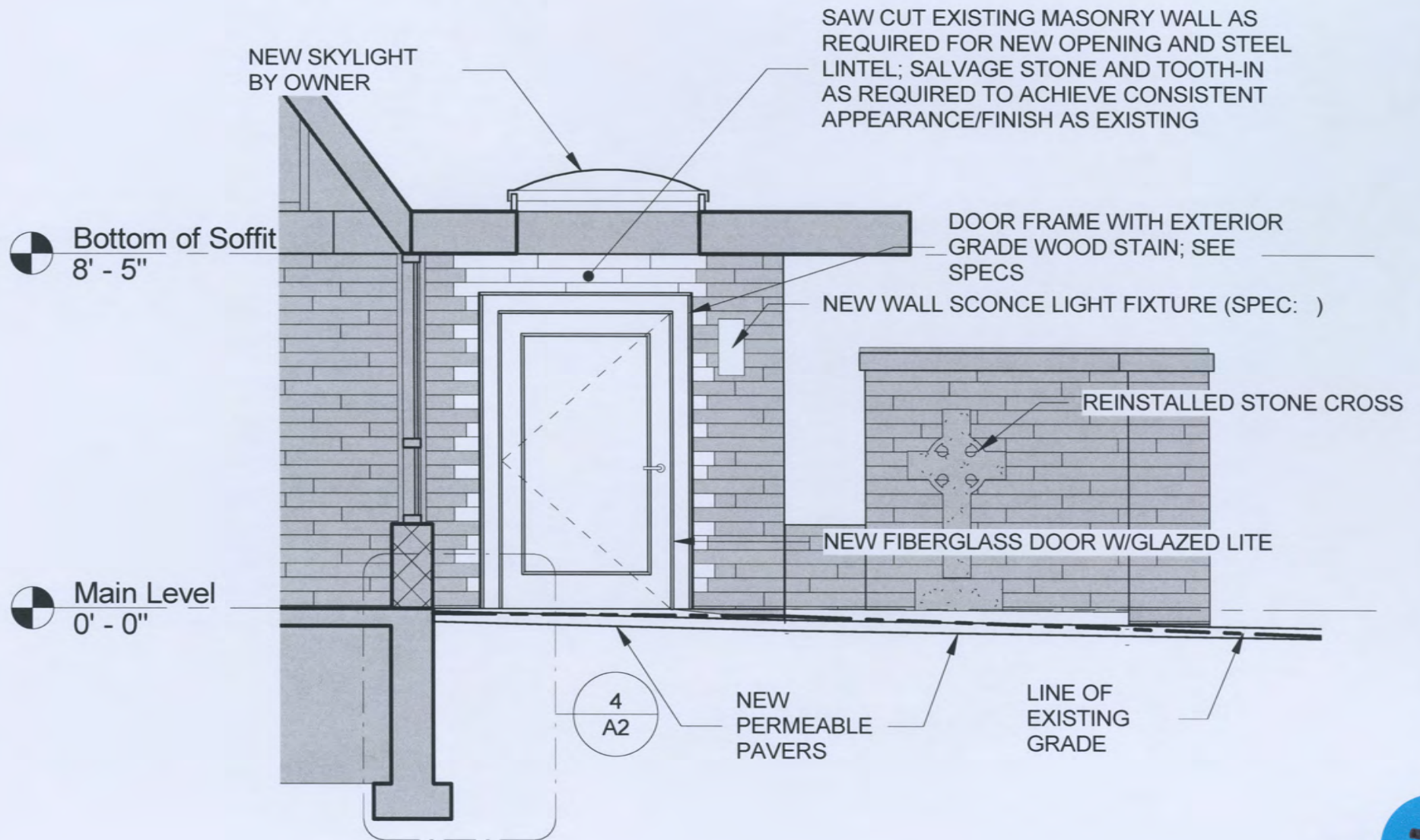
Committee Members

Bob Lewis-Chair, Susan Bertram, Liz Crowe, Jan Hubbard, Rebeca Massey,
Tom Miller, Barbara Plochman, Karen Tokmakoff, John Weber

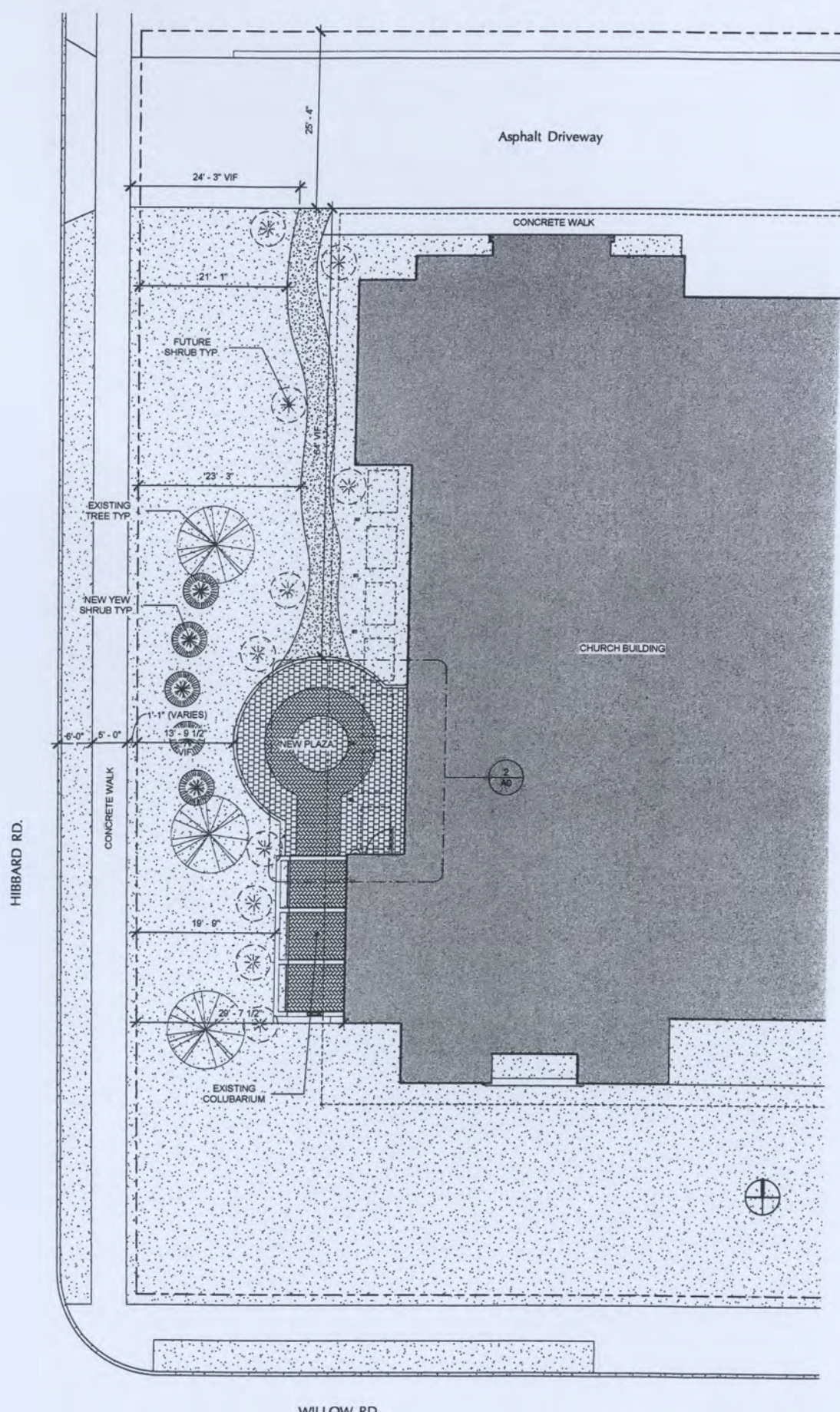
*In life and in death we belong to God...with believers in every time and place,
we rejoice that nothing in life or in death can separate us from the love of God in Christ Jesus our Lord.*

- A Brief Statement of Faith, Presbyterian Church (U.S.A.)





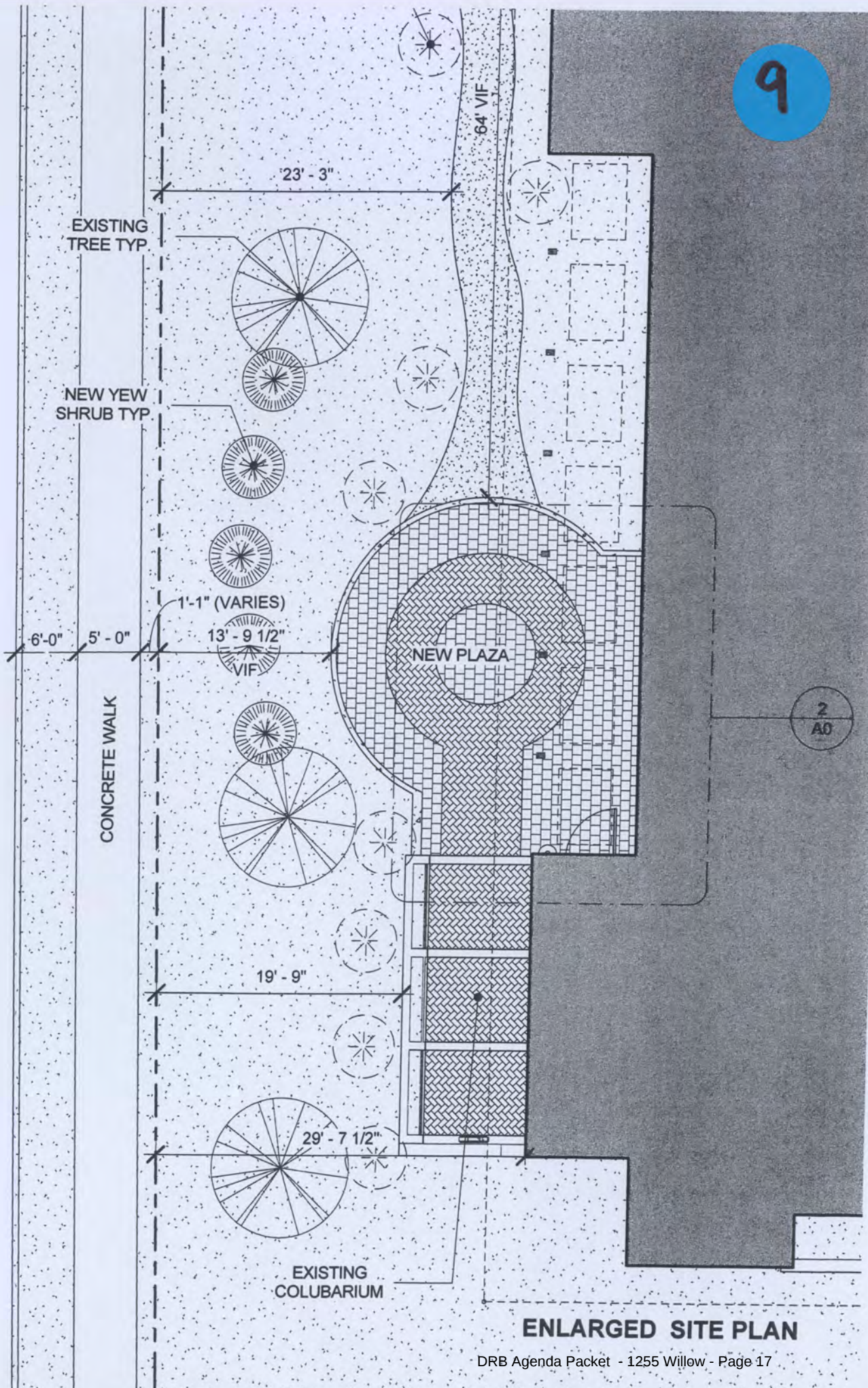
PROPOSED EXTERIOR ELEVATION 1



SITE PLAN

9

HIBBARD RD.



Design Guidelines

Building and Architecture

I. Contextual Design

Commercial, mixed-use, institutional and multiple-family development projects should reflect an understanding of the immediate site surroundings and the village-wide character. Contextual design reflects existing features including massing, height, setbacks, proportions, scale, roof forms, materials, articulation, lighting, signs and awnings while creating appropriate architectural design.

The prevalence of the English Tudor style throughout the Village dictates smaller structural bays and massing, limited building heights, variety in roof forms, mix of materials and special attention to detailing and fenestration proportions and patterns. It is not the intent of these guidelines to recreate traditional architectural styles that do not allow for contemporary architectural designs or materials, but to provide a framework within which good design can flourish in context and enhance the existing Village character.

II. Uses

The three districts have a mix of uses that includes commercial, mixed-use, institutional and multiple-family facilities.

Exclusively commercial buildings make up a small percentage of the structures within the districts. They are typically single-story buildings that house a single retailer with on street frontage and a large expanse of storefront. These buildings are strongly horizontal with large sign bands and varying stylistic detailing.

Most buildings in the commercial districts are mixed-use. The architectural designs are based on a traditional two-part structure with retail on the ground floor and offices or residences above. The facades clearly separate the two uses through changes in materials and wall plane as well as changes in fenestration, with large glass storefronts on the street level and punched windows above creating a hierarchy of public versus private spaces. In select locations, where large or awkward site geometry suggest, alternatives to the existing mixed-uses may encourage the use of first floor courtyards or pedestrian ways instead of uninterrupted commercial space.

Institutional buildings include a wide variety of building types and uses such as civic buildings (Village Hall), schools, libraries, churches, recreational facilities and utilitarian public works facilities. Most institutional structures located within the Elm Street District are designed in the Classical Revival, Contemporary or Georgian styles. Most schools and churches are located within residential neighborhoods. Typically, institutional structures are freestanding and larger in scale as they represent unique aspects of community life: governmental, religious and educational. The design of institutional buildings, whether new or an alteration to an existing building, should reflect the context of their immediate surroundings and respect the existing neighborhood while identifying their function.

Architectural Series of Asphalt Shingles
(3 ply) (See figure 49)
Wood Shingles (Fire treated)
Slate (See figure 48)
Real Copper (No other metal roofs are
allowed)



Figure 46

Institutional only

Flat roofs must be hidden by parapet
on primary / secondary facades.

Commercial and Multiple- Family

Flat roof must not be visible from
street, pedestrian, or open spaces.

d. Door and Window Materials:

Commercial, Mixed Use, Institutional,
Multiple- Family Residential: **Entry**
doors should be wood or aluminum
stile and rail with varying degrees of
glass.

Public entry doors should be
fully glazed whereas private and semi-
private entries should be primarily
solid panel doors. Storefront window
units should be either paneled
aluminum or brass. Many original
storefronts, some with transom
windows, remain in the districts.
Efforts should be taken to
repair and renovate these systems
where feasible. Window frames should
be wood, steel or aluminum. Vinyl
windows are not acceptable. Muntin
divisions should be real divided glass
or simulated with spacer bars. Snap-in
muntins are not acceptable. Color
selection should be sympathetic with
the overall building color palette and
take into account the adjacent building
materials within the structure,
immediately adjacent structures,
structures within the same block and
structures across the street.

Entry door hardware is to be exterior grade with weather-resistant finish. Hardware
design and finish is to be appropriate with facade articulation, color palette and
district character. Glazing should be clear glass without tint or film.



Figure 47



Figure 48



Figure 49

3. Waste Receptacles: Waste receptacles should typically be placed on each corner and possibly mid-block in high-pedestrian traffic areas within the business districts. Institutional uses should consider waste receptacles at discreet locations. Publicly accessible open spaces should provide the same model of waste receptacles. (See Figure 51b)

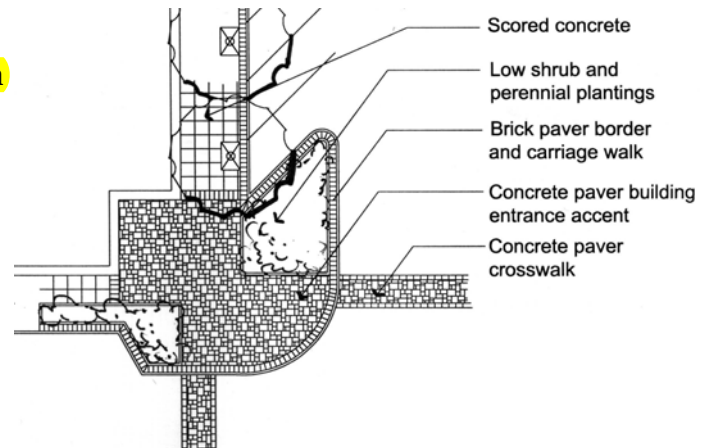
4. Decorative Paving: Decorative brick pavers should be used along sidewalks, at corners, and/or in plazas to enhance the attractiveness of an area and to define pedestrian activity areas. Pavers should also be set into streets/driveways to define pedestrian crosswalks or special pedestrian zones. Such treatments are intended to reduce traffic speeds, connect pedestrian walkways, and enhance a site's attractiveness and physical character. Where decorative pavers are not used, concrete walks and plazas should include tinted coloration, designed scoring, and finishes to improve the appearance of such areas.

In new developments in the Business Districts, decorative brick pavers should be placed as a banding in combination with the concrete sidewalk. The Village encourages the use of brick pavers in high impact streetscape spaces such as building entries, plazas, corner pocket bump-outs and pocket parks.

Patterns of sidewalk materials and pavers should be consistent with the surrounding character or should establish a character if none exists. In the Hubbard Woods and Indian Hill Districts, a combination of tumbled concrete pavers or clay pavers should be used (See Figure 51c). In the Elm Street Business District, the existing paver pattern should be continued utilizing



*Standard Metal Trash Receptacle
Figure 51b*



*Typical paver treatment for parkways,
cross-walk, and building entrances*

XV. OPEN SPACE

A common element unifying Winnetka's Business Districts, Multiple Family Residential and Institutional Areas are the unique public and private open spaces they have been created over time. Many of these open spaces lend to Winnetka's sense of place, culture and history.

The Village's open spaces range in size and activity level from the large and active Hubbard Woods Park to the small and passive sculpture corner near Village Hall. The Village has expressed a desire to expand its open space system and link, where possible, these spaces together in a unified Village open space plan.

a. Purpose. To ensure that current and future open spaces contribute to Winnetka's ambiance; public and vehicular streetscapes should link open spaces to create a unified, continuous landscape system with mature plantings and seasonal interest. By working as a system, the Village's open spaces intend to:

- physically and symbolically unify and enhance the Village's natural features and character;
- preserve significant areas and encourage new tree, shrub and perennial plantings on public and private properties to the greatest extent possible;
- encourage pedestrian and bicycle circulation throughout the Village, especially among the Business Districts;
- create gathering points for Village events and activities;
- provide educational opportunities about the natural environment; and
- enhance property values.

b. Location. With this purpose in mind, new public and private developments within the Business Districts, Multiple Family Residential and Institutional areas should provide for ample, appropriately designed open space within the proposed site development plan. Recognizing the spatial limitations of each site, creative, relevant open space should strive to enhance the Village's natural character.

Public, semi-public, or private open space and landscaped buffers should be located between low and higher density areas and to serve as a transitional element between land uses.

Where new or existing developments abut adjacent planned or existing open spaces, every effort should be made to integrate open spaces and link them into a unified whole.

- c. **Open Space Types.** There are a variety of active and passive open space types from which to select to create an optimal and appropriate open space amenity. Open space types include:

1. Active Open Space: (See Figures 89a-89h)

- Small park/playground
- Fountain garden
- Corner pocket park or plaza
- Mid-block walkways
- Entries or forecourts
- Courtyards
- Enhanced public parkway/pedestrian zone
- Bike path



*Typical pocket park/playground
Figure 89a*



*A fountain element can be used as a focal point or
community landmark
Figure 89b*



Figure 89c



*A simple corner pocket park or plaza can help screen
vehicular areas
Figure 89d*



Landscaped pedestrian mid-block walkways can activate otherwise unattractive areas
Figure 89e



Enhanced and articulate front yard setback in commercial, institutional or multiple-family residential areas
Figure 89 f



Prominent architectural articulation and streetscape elements at key building frontages help activate a streetscape
Figure 89g



Enhanced public parkway/pedestrian zone
Figure 89h

2. Passive Open Space: (See Figures 90a – 90d)

- Sculpture or art pockets
- Perennial gardens
- Enhanced or enlarged landscape transition buffer zones
- Passive garden areas
- Entries or forecourts
- Courtyards
- Corner gateway architecture treatments
- Enlarged front, side or rear yard landscape buffers



*Example of Art Pocket
Figure 90a*



*Enhanced or enlarged landscape transition buffer zone adjacent to vehicular use areas or single family residential.
Figure 90b*



*Enhanced private open space in yard setback
Figure 90c*



*Enhanced landscaping/streetscape setback from new development
Figure 90d*

- d. Components.** Regardless of the size of the open space or its active/passive character, a creative plan can integrate a variety of well-designed components from architectural and streetscape/pedestrian zone elements similar to those design standards set forth earlier in these guidelines. Both public and private open space design should incorporate architectural and streetscape/pedestrian zone elements.

ORDINANCE NO. M-1-2000

AN ORDINANCE GRANTING VARIATIONS AND A SPECIAL USE PERMIT TO ALLOW EXPANSION OF A CHURCH BUILDING AT 1255 WILLOW ROAD

WHEREAS, the Winnetka Presbyterian Church is the owner of the following described real estate:

Lot 14 to 22, both inclusive, in Block 6 in Winnetka Manor, being a Subdivision of the South 45 acres of the West 90 acres of the Northwest ¼ of Section 20, Township 42 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

which is commonly known as 1255 Willow Road, Winnetka, Illinois, and which is located in the R-5 Single-Family Residential District provided in the Winnetka Zoning Ordinance, Title 17, Winnetka Village Code; and,

WHEREAS, the Winnetka Presbyterian Church (hereinafter the "Church"), which was founded in the 1950's is located on the Subject Property, which is improved with a church building that was built in 1960 and a parking lot; and

WHEREAS, church buildings are permitted as special uses in the R-5 Single-Family Residential District, subject to the conditions and requirements pertaining to special uses, as set forth in Chapter 17.12 of the Winnetka Zoning Ordinance; and,

WHEREAS, the Church has filed applications for a special use permit under Section 17.12.010.B.2.a of the Winnetka Zoning Ordinance, and for the following variations, all to allow the expansion of the existing church building and reconfiguration of the parking lot, as described in the plans accompanying the applications for special use permit and variations: (a) a variation from the maximum building size (gross floor area) limitations of Section 17.12.010.G, to allow the existing, legally nonconforming gross floor area to be increased by 16, 876.19 square feet, from 26,514.67 square feet to a total of 43,390.86 square feet, whereas the maximum permitted gross floor area is 21, 135.00 square feet, resulting in a variation of 22,255.86 (105.30%); (b) a variation from the intensity of use of lot limitations of Section 17.12.010.F, to allow the existing legally nonconforming roofed lot coverage of 21,921.09 square feet to be increased by 11,804.83 square feet to a total of 33,725.92 square feet, whereas the maximum permitted roofed lot coverage is 21,000.00 square feet, resulting in a variation of 12, 725.92 square feet (60.60%); and (c) a variation from the intensity of use of lot limitations of Section 17.12.010.F to allow the existing legally nonconforming impermeable lot coverage of 60,490.09 square feet to be increased by 16, 076.83 square feet to a total of 76,566.92 square feet, whereas the maximum permitted impermeable lot coverage is 42,000.00 square feet, resulting in a variation of 34,566.92 square feet (82.30%); and (d) a variation from the requirements of Section 17.12.010.M3 to permit eleven (11) parking spaces to be located in a required front yard within 12.0 feet of the south property line, whereas a setback of 30.0 feet is required; and

WHEREAS, on December 16, 1999, the Design Review Board issued favorable comment on the proposed building expansion and parking lot reconfiguration, subject to receiving a final exterior site plan, including landscaping and lighting, and to receiving further detail on materials and finishes, particularly for windows and related wood "bulkhead" panels; and

WHEREAS, the Plan Commission considered the Church's proposal at its meeting on December 8, 1999, and by the unanimous vote of the nine members then present, found the proposal to be consistent with the Comprehensive Plan, but expressed a concern about storm drainage from the Subject Property; and,

WHEREAS, pursuant to due notice thereof, the Zoning Board of Appeals conducted a public hearings on said applications for special use permit and variations, December 13, 1999, and January 10, 2000; and,

WHEREAS, following the public hearing on December 13, 1999, which covered the request for special use and the variations from maximum building size, roofed lot coverage and impermeable lot coverage, by the favorable vote of four of the five members then in attendance, the Zoning Board of Appeals voted to recommend to the Village Council that the special use permit and the maximum building size, roofed lot coverage and impermeable lot coverage variations be granted; and

WHEREAS, following the public hearing on the front setback variation on January 10, 2000, the Zoning Board of Appeals unanimously recommended that the variations be granted; and

WHEREAS, a parish hall that was included in a long range plan prepared by the Church in the 1950's was not completed and the Church does not have a parish hall and modern kitchen, which are standard amenities in a church in the 21st century; and

WHEREAS, the Church has submitted evidence that its school enrollment has more than doubled since 1996 and that there are approximately 150 children in the school program, including 35 in senior high and approximately 20 in junior high, but that there is no interior space in the church building that can accommodate more than 25 children at one time and that it must use other facilities to gather more than 20 children at a time; and

WHEREAS, the Church has submitted evidence that it needs to have the ability to gather large groups of children at the same time and that the proposed classrooms, plus the proposed multi-purpose space that can be used for other purposes as well, will meet that need; and

WHEREAS, the Church projects that it will grow at the rate of 7% per year for the next five years; and

WHEREAS, the Church has submitted evidence of a need to provide expanded facilities, including expanded gathering space, additional classrooms and offices, kitchen facilities and a reconfigured entrance, in order to provide fully accessible, adequately sized facilities to allow all church activities to take place on the Subject Property; and

WHEREAS, there are no other locations within the immediate proximity of the Church that would allow it to conveniently, safely and economically hold its educational and social functions off the Subject Property; and

WHEREAS, the proposed expansion of the church facilities will provide gathering space, classrooms and multi-purpose areas, all of which will allow the Church to conduct all of the activities of its ministry in a single location; and

WHEREAS, the Church has established that continuing to conduct its activities in a single location is necessary to meet its program needs and to assure the long-term viability of the Church, which has been a significant part of the Winnetka community for over 40 years; and

WHEREAS, there are practical difficulties and particular hardships in carrying out the strict letter of the Winnetka Zoning Ordinance as it applies to the Subject Property in that: (1) the 1.92 acre Subject Property cannot be expanded, because it is landlocked, being located at the northeast corner of Hibbard and Willow Roads, with single family residences abutting it to the north and east; (2) the Village of Winnetka is a mature community and no alternative sites of sufficient size are available for the Church's facilities; (3) the Subject Property is located on a corner, which requires additional front setbacks, further restricting the amount of buildable area for any church expansion; and (5) the church's ministry, such as worship, religious education, funerals, weddings, meetings and social activities, will be substantially burdened without the proposed addition; and

WHEREAS, unless the requested relief is granted, the property in question cannot yield a reasonable return to the Church, in that the area for the proposed addition would be rendered useless to the Church for its ministry, as it would effectively be limited to the parking that presently exists there; and

WHEREAS, the plight of the Church is due to unique circumstances, because of the practical difficulties and particular hardships described above, and because the Church's use of the Subject Property is for the furtherance of its religious ministry rather than the private comfort, convenience or monetary benefits that typically attach to residential and commercial uses of property; and

WHEREAS, the variations, if granted, will not alter the essential character of the locality, in that: (1) the proposed addition has been designed to be sensitive to its surroundings and compatible with the architecture of the existing church, which is a recognized visual fixture at the northeast corner of Hibbard and Willow Roads; and (2) the expanded facilities being proposed will continue to provide the same type of service at the same location; and

WHEREAS, an adequate supply of light and air to adjacent property will not be impaired, because the Subject Property is bounded on its west and south sides by public streets, no changes will be made to the north side of the building and the east side of the Subject Property will continue to be used for parking; and

WHEREAS, the hazard from fire and other damages to the property will not be increased, since the addition will be constructed in accordance with all applicable building codes, making it no more hazardous than any other construction built according to those codes; and

WHEREAS, the proposed addition to the church building is generally an improvement to the Subject Property and there is no credible evidence that the taxable value of land and buildings throughout the Village will diminish as a result of the proposed addition; and

WHEREAS, there is no evidence that congestion in the public streets will increase, because the area streets are not operating at traffic capacity and the plan to go from a single Sunday service to two services will reduce traffic volumes by spreading the traffic over a larger period of time; and

WHEREAS, there is no evidence that the public health, safety, comfort, morals and welfare of the inhabitants of the Village will be impaired by the proposed addition, if it is constructed subject to the conditions specified in this ordinance; and

WHEREAS, there is no evidence that the proposed addition, if constructed in accordance with the conditions set forth in this ordinance, will substantially diminish or impair property values in the immediate vicinity; and

WHEREAS, there is no evidence that the proposed addition, if constructed in accordance with the conditions set forth in this ordinance, will be substantially injurious to the use and enjoyment of other property in the immediate vicinity; and

WHEREAS, the Church is an established use located at the edge of an established single-family residential area, and there is no evidence that construction of the proposed addition subject to the terms and conditions of this ordinance will impede the normal and orderly development or improvement of other property in the immediate vicinity; and

WHEREAS, adequate measures have been taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways, in that the proposed addition continues to provide off-street parking, provides an on-site passenger drop-off, provides for access by persons with disabilities, and enables the Church to continue to hold all of its activities in a single location; and

WHEREAS, adequate utilities, access roads, drainage and other facilities necessary for the operation of the special use on the Subject Property exist due to the presence of the existing facility and, to the extent that they do not, they will be provided when the proposed addition is constructed in compliance with applicable Village Code requirements; and

WHEREAS, it is not practicable to require the Church to provide additional on-site parking, which either would require changing the footprint, height or location of the building addition, creating a greater impact on adjacent residences, or would reduce the amount of space available to the Church for its program needs, and the effect of the proposed reduction in on-site parking spaces is ameliorated by the change to two services on Sunday and by the availability of on-street parking in the immediate vicinity; and

WHEREAS, the special use, when constructed in accordance with the terms and conditions of this ordinance, will conform to the applicable regulations of the Zoning Ordinance and the Winnetka Village Code;

NOW, THEREFORE, the Council of the Village of Winnetka do ordain:

SECTION 1: That the Village Council hereby adopts the foregoing preambles to this ordinance as its findings.

SECTION 2: That, subject to the terms and conditions hereinafter set forth, the following variations are hereby granted to the Subject Property, which is commonly known as 1255 Willow Road, is the site of the Winnetka Presbyterian Church and is located in the R-5 Single-Family Residential zoning district, all to allow the expansion of the existing church building and reconfiguration of the parking lot, as described in the plans dated November 11, 1999: (a) a variation from the maximum building size (gross floor area) limitations of Section 17.12.010.G, to allow the existing, legally nonconforming gross floor area to be increased by 16, 876.19 square feet, from 26,514.67 square feet to a total of 43,390.86 square feet, whereas the maximum permitted gross floor area is 21, 135.00 square feet, resulting in a variation of 22,255.86 (105.30%); (b) a variation from the intensity of use of lot limitations of Section 17.12.010.F, to allow the existing legally nonconforming roofed lot coverage of 21,921.09 square feet to be increased by 11,804.83 square feet to a total of 33,725.92 square feet, whereas the maximum permitted roofed lot coverage is 21,000.00 square feet, resulting in a variation of 12, 725.92 square feet (60.60%); and (c) a variation from the intensity of use of lot limitations of Section 17.12.010.F to allow the existing legally nonconforming impermeable lot coverage of 60,490.09 square feet to be increased by 16, 076.83 square feet to a total of 76,566.92 square feet, whereas the maximum permitted impermeable lot coverage is 42,000.00 square feet, resulting in a variation of 34,566.92 square feet (82.30%); and (d) a variation from the requirements of Section 17.12.010.M.3 to permit eleven (11) parking spaces to be located in the front yard setback within 12.0 feet of the south property line, whereas a setback of 30.0 feet is required.

SECTION 3: That, subject to the terms and conditions hereinafter set forth, a special use permit under Section 17.12.010.B.2.a of the Winnetka Zoning Ordinance is hereby granted with respect to the Subject Property, which is commonly known as the 1255 Willow Road, is located in the R-5 Single-Family Residential district, and is the location of the Winnetka Presbyterian Church, 1255 Willow Road, to allow expansion of the existing special use of a church facility on the Subject Property by constructing an addition and reconfiguring the parking lot, to create new areas for social gatherings, kitchen facilities, classrooms and offices, in accordance with the plans dated November 11, 1999.

SECTION 4: That the variations and special use permit hereby granted are subject to all of the following conditions:

- A. The Church shall commence the proposed construction within twelve (12) months after the effective date of this ordinance.

B. The Church shall prepare and submit a drainage and grading plan for review and approval by the Village Engineer. In addition to meeting all applicable requirements imposed by statute or Village ordinance, the drainage and grading plan shall include the following elements:

1. The modification of stormwater drainage at the west end of the north driveway in a manner acceptable to the Village Engineer, which shall include one or more of the following: extending the retaining wall, re-grading the driveway, installing an additional drain and taking such other or additional steps as the Village Engineer determines is necessary.

2. Calculations necessary to demonstrate the existing run-off rate and the proposed run-off rate, along with a plan that shows, to the Village Engineer's satisfaction, (i) appropriate restrictions to the stormwater outlet to equalize the two rates, (ii) a detention plan and (iii) appropriately designated overflow routes.

3. Calculations necessary to demonstrate the amount of floodplain water storage that will be lost as a result of grade changes or areas of fill, along with a plan that shows, to the Village Engineer's satisfaction, that an equivalent amount of compensatory stormwater storage is provided.

C. The Church shall assume all costs and responsibility for the operation and maintenance of all exterior lighting, which shall include either the removal and replacement, or the purchase and modification, of the existing lights along the north property line, which are currently owned, operated and maintained by the Village. The Water and Electric Department shall bill the Church for electric service provided for exterior lighting at the same rate and in the same manner as it bills for similar use by similar customers in the Village.

D. The Church shall obtain the Village Council's approval of a final lighting plan, which shall be submitted to the Council after receiving review and comment from the Design Review Board. The final lighting plan shall meet the following requirements:

1. It shall be consistent with the disposition of the lights along the north property line, as required in paragraph C of this Section;

2. It shall provide lighting to safely illuminate the exterior of the Subject Property while minimizing the spillage of light to adjoining properties; and

3. It shall include a detailed description of all exterior lighting fixtures, including the height of the fixtures and the intensity of light they generate, and a description of all steps taken to mitigate the impact of lighting on adjoining properties, including proposed hours of operation, direction of light and any light filtering or baffling devices to be used.

E. The Church shall obtain the Village Council's approval of a final landscaping plan, which shall be submitted to the Council after receiving review and comment from the Design Review Board. The final landscaping plan shall meet the following requirements:

1. It shall use landscaping materials approved by the Village Forester;

2. It shall provide a buffer between the Church building and the single-family residential properties located at 1228 Ash and 1234 Ash.

3. The landscape plan shall not reduce the number of parking spaces depicted on sheet A-21 of the plans submitted with the variation and special use application, dated November 11, 1999.

4. The landscape plan shall be mutually agreeable to the Church and the owners of the properties at 1228 Ash and 1234 Ash, provided that, if the Church and said owners are unable to reach an agreement after making a reasonable, good faith effort to do so, the Church may submit a proposed landscape plan for review and comment; and

5. The Church shall be bound by the Council's final determination on the landscape plan.

F. The lighting plan and the landscape plan required by this ordinance may be consolidated into a single plan.

G. The Church shall provide a solid enclosure for refuse containers, in the location indicated on the site plan depicted on sheet A-21 of the plans submitted with the variation and special use application, dated November 11, 1999, with final approval of the materials for the enclosure to be subject to review and approval of the Design Review Board.

H. The air conditioning units for the Church building and addition shall meet all standards of the Village Code and shall be placed in such a location and equipped with such sound attenuation devices as necessary to comply with those standards. The Church shall provide all necessary technical documentation, prepared and signed by a qualified professional, necessary to demonstrate compliance with said standards. Unless otherwise approved by the Village Council, the Church shall provide a solid enclosure for the air conditioning units, in the location indicated on the site plan depicted on sheet A-21 of the plans submitted with the variation and special

use application, dated November 11, 1999, with final approval of the materials for such enclosure at that location to be subject to review and approval of the Design Review Board. Materials used for such enclosure at any other location on the Subject Property shall be subject to the approval of the Village Council.

SECTION 5: In the event that any provision of this ordinance conflicts with any other ordinance of the Village, the provisions of this ordinance shall prevail.

SECTION 6: That this Ordinance shall be in full force and effect from and after its passage, approval, and posting.

ADOPTED this 15th day of February, 2000, pursuant to the following roll call vote:

AYES: Trustees Aquilino, Dering, Duhl, Hilton, Lien and Powell

NAYS: None

ABSENT: None

APPROVED this 15th day of February, 2000.

Signed:

/ss/Louise A. Holland

Village President

Countersigned:

/ss/Douglas G. Williams

Village Clerk

Introduced: January 4, 2000

Posted: January 5, 2000

Passed and Approved: February 15, 2000

Posted: February 16, 2000

ATTACHMENT D

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Church request zoning
Date: Thursday, November 7, 2019 3:30:06 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

We recently moved to [REDACTED] Ash Street last August. Being new to the area and now having experienced the seasons here, we are opposed to any further expansion of the church facility. We cannot attend Monday evenings meeting unfortunately because our son has an event at school at that time. We wanted to be sure our voices were acknowledged. The pooling of water we get in our backyards (and history of this since it was built-as I understand it from the neighbors) and simply looking at the set up of the church wall- we are strongly opposed to any further structure. We would like the town to look into the existing parking lot and structure and correct the severe lack of drainage that it has been causing! These neighbors have spent considerable amounts of money to put in place temporary solutions to address this and some more permanent and certainly costly!
Thank you for your consideration of our stance on this issue.

Cynthia and Dan Anglemyer

Sent from my iPhone

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Winnetka Presbyterian Church
Date: Thursday, November 7, 2019 9:54:08 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Klaassen,

I am e-mailing you with the request that you forward this e-mail to the members of the zoning board in advance of Monday's meeting to address the requested variance by the Winnetka Presbyterian Church. We live at [REDACTED] Ash and were surprised to receive the notices of the church's request to obtain yet another variance while they already exceed the maximum by 82%.

As it is, our property floods with any moderate rain -- not just a 10 year or 50 year or 100 year rain. I happen to have photographs of 2 such occurrences -- in October alone. (Please see attached.) These were not even rains mentioned as big rain events on the news. One was Oct. 3rd and the other was when it started to snow on Halloween and the yard began to flood. We cannot encourage a plan which would divert more water in our direction.

Residents on our block have invested a great deal of money in an attempt to prevent water in their homes and on their property. With those steps forward, this would be a step backwards. We are all encouraging the Village of Winnetka to help us with a plan to mitigate the water, not approve requests for more pavement. With global warming, we all fear weather patterns with more flooding rains.

Thank you for your consideration.

Carol and Bill Hyatt

P.S. The packet mentions that no one had written your committee yet concerning this issue. I spoke to my next door neighbor but she did not receive the mailing.





From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Requested Amendment to Special Use Permit--Winnetka Presbyterian Church
Date: Monday, November 11, 2019 5:35:28 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Klaassen:

Please forward this to members of the Zoning Board of Appeals.

As a Winnetka resident living near the Winnetka Presbyterian Church, I request the Board postpone action on the requested amendment until it has fully considered the consequences of approval and explored another option, referred to below.

The flooding issue has become more prominent as the climate appears to be changing and residents in the flood-prone areas have become more concerned with what the Village is doing and not doing. The Village cannot afford to set any bad precedents through its administrative actions. In this case, the change to permeability is relatively small, although it is for a site that is already substantially out-of-line based on current rules. There is no evidence presented that this will not have a detrimental impact other than the assertion to that effect by the applicant.

A better approach would be, as a condition of approval, to require the applicant to increase the permeability of another part of the site, as for example by changing a portion of the surface of its impermeable parking lot to allow rain water there to sink into the ground. The applicant would be required to provide evidence that the estimated improvement to the permeability of the parking lot was at least equal to the loss of permeability that will occur as the result of the proposed new improvements.

I am sure the Board members want to help residents who have to deal with the flooding problem. Approval of the proposed amendment as it now stands will send the wrong message: that the Village is not all-in on doing everything it can to alleviate our flooding problems.

John Vondran
[REDACTED] Euclid Ave.

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Zoning Exemption
Date: Monday, November 11, 2019 11:09:35 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I do not believe that it's in the Village and its residents' best interest to grant a zoning variance to the Winnetka Presbyterian Church to increase the amount of impermeable space on their lot. The residents of the neighboring houses are already dealing with their backyards flooding from the parking lot that the Church built years ago. They've had to purchase pumps and other devices to control the floodwaters. in addition, many if not most of the streets and lots in that area have faced massive flooding in the 15 years I've been a resident and owner of a house that's adjacent to their lot.

I strongly encourage the Village to reject the Church's request for a zoning variance.

Best,
Maritza Gibbons

[REDACTED] phone
www.linkedin.com/in/maritzagibbons
[REDACTED] Ash Street, Winnetka, IL 60093

Leslie Farmer

██████████ Berkeley Ave.
Winnetka, IL 60093
██████████
██████████
██████████
██████████

November 13, 2019

Village of Winnetka
Zoning Board of Appeals
Staff Liaison, Ann Klaassen

Re: Case No. 19-32-SU: 1255 Willow Road—Winnetka Presbyterian Church

Dear Ms. Klaassen:

I am writing in reference to the above mentioned appeal to the Zoning Board of Appeals for variance to permit improvements to exceed impermeable lot coverage by the Winnetka Presbyterian Church. I would appreciate it if you would forward my letter on to the members of this Board.

Together with several of my neighbors I attended Monday night's meeting of the Zoning Board to voice opposition to approving the aforementioned variance. I would like to further clarify the situation regarding flooding problems in our neighborhood which relates to this appeal.

As residents who have been repeatedly subject to serious storm water flooding during major storm events, we have attended numerous informational sessions regarding possible solutions to this problem, in particular by the Strand Group. Here are some salient facts which were presented:

1. Overland water originally flowed north to south and east to west in our area, draining into what was a marsh area west of Hibbard Road. When the Skokie Lagoons were constructed, the marsh was drained and Hibbard Road was raised, creating Duke Childs Field and the Park District land. In doing this, they created a giant "bowl" encompassing the entire Tree Street area from Green Bay Road to Hibbard Road. The elevation is high at Green Bay Road and at Hibbard Road and lower in between. That is, there was no longer a natural drainage flow. The variance granted the Church in 2000 which permitted construction of the perimeter wall around its property prevents natural water flow from yards east and north of the Church property and directly contributes to the backyard flooding issues these neighbors experience during even normal rainfalls. My property is far enough away from the Church that it is not directly impacted by this, as there are other neighbors' lots in between.
2. However, my property, along with hundreds of other properties in the area, is affected during major storm events because **the storm water system was designed to follow the same north to south, east to west flow.** As Sarah Balassa noted in the meeting, during these events, the storm water system in the area is completely overwhelmed and can hold no more water. All storm water from Green Bay Road west flows down the Tree Streets westward and is supposed to empty into the main sewer line flowing north to south down Hibbard Road. However, due to increased development to the north, and from the Hubbard Woods area, that storm water line is filled to capacity before it even reaches the Tree Streets. (One Village worker told a neighbor it would have to be at least 10 times larger than what is there to handle the load.) Therefore, when the storm water from the Tree Streets toward Green Bay Road tries to drain into that filled sewer line, it cannot and backs up out of the storm water drains into our neighborhood streets, sidewalks, yards and basements.

3. Years ago the Village advised us to disconnect our properties from the storm water system which was overloaded and flash our downspouts. Like the Kehls who spoke on Monday night, I did that and tens of thousands of dollars of additional prevention to keep my basement from flooding. You can see the frustration of my neighbors and myself when we are being flooded by water that isn't even ours—it is coming from uphill while our water is flashed onto our own yards.
4. When the architect for the Church stated the additional impermeable coverage would have no effect on the neighbors, it simply isn't true. The plan to drain water into the storm water system is absolutely futile because during major storm events that sewer main is filled to capacity. The water will not be able to drain into the storm water system and will add to the back up of water from the street drains.
5. Considering the amount of resources the Village is devoting to try and remedy this storm water situation, to grant an additional variance to the Church which already exceeds the impermeable lot coverage allowed by 85% is irresponsible and unfair to all of its neighbors.
6. The request is completely unnecessary to facilitate the use of the columbarium (they have been getting by for the past 19 years), especially if the new doorway and skylights are allowed. I believe it was stated that there were only approximately 243 spaces in the columbarium, which means the number of burials will be limited. The only time the inside of the church would not be available for families to visit is Friday afternoons. It would seem this is not a hardship for those families, who could still access the area via the outside.

In conclusion, I urge the members of the Zoning Board to reject this variance appeal with regard to permitting increased permeable lot coverage.

Thank you for your attention and service to the Village residents.

Sincerely,

Leslie F. Farmer

Leslie F. Farmer

Cc: Matthew Bradley
Walter Greenough
Sarah Balassa
Kim Handler
Lynn Hanley
E. Gene Greable



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: DESIGN REVIEW BOARD
FROM: CHRISTOPHER MARX, AICP, ASSOCIATE PLANNER
DATE: NOVEMBER 15, 2019
SUBJECT: CASE NO. 19-34-DR: 972 GREEN BAY ROAD - CONSIDERATION OF
CERTIFICATE OF APPROPRIATENESS

INTRODUCTION

On November 21, 2019, the Design Review Board will conduct a public hearing on an application filed by 972 Green Bay LLC (the "Applicant") as the owner of the property at 972 Green Bay Road (the "Subject Property"). The Applicant is seeking approval of a Certificate of Appropriateness to permit changes to the external façades of the existing building on the Subject Property.

PROPERTY DESCRIPTION

The Subject Property is located on the southwest corner of the intersection of Green Bay Road and Merrill Street in the Hubbard Woods Business District. It is zoned C-2 General Retail Commercial and is located in the Commercial Overlay District. The Subject Property contains an existing one-story commercial building that was most recently occupied by *Boris' Cafe* for a number of years and has been vacant for approximately six (6) years. The building has a mid-century style brick façade, large storefront windows, a glass doorway entrance, and minor masonry accents around its street frontage. Figures 1 through 6 later in this report identify the Subject Property.

CURRENT REQUEST

The Applicant intends to renovate the interior and exterior of the building for a future restaurant tenant. The Applicant is seeking a Certificate of Appropriateness that would permit the following exterior alterations to the building's street façades including:

1. The building's more uniform and grayish mid-century brick and masonry aesthetics would be replaced with a new brick façade. The proposed brick would be a modular brick pattern with traditional brown and red hues in a color known as *Woodlyn*.
2. The building would receive an addition and walled garden towards the rear of the Subject Property with a façade of a diverse brick pattern known as Chicago Common brick. The wall would stretch along the Merrill Street frontage and alley with a height of 12 feet and climbing ivy vegetation.
3. A series of slightly recessed window bays would be added to the Green Bay Road and Merrill Street frontage. Each bay would have a series of fixed divided light transom windows with four large door-windows surrounded by bronze-colored anodized aluminum frames. The door-windows on the Merrill Street frontage would have the potential of opening during warm weather seasons. Columns would extend slightly outward on the brick façade between the window bays.

4. The corner entryway, currently enclosed in a glass vestibule, would be restored as a recessed and open door bay. The glass doors would feature the same bronze color anodized aluminum frame as the windows.
5. The renovation would add a new natural stone band and separate stone coping towards the top of the building façade.
6. The new façade would feature a Cotswold gray limestone base at the sill, between the window bay openings.

The Applicant states that renovating the building will make it attractive and suitable for a new tenant. The Applicant has provided a site plan, elevation renderings, material samples, and design specifications for the proposed alterations which are included in the submitted application materials in Attachment A.

DESIGN GUIDELINES ANALYSIS

The Village's Design Guidelines provide guidance on facades, windows, and doors for commercial buildings.

- The Guidelines state that the façade material should be a traditional-looking modular brick, natural limestone, or cast stone. The proposed brick layers would have a brownish hue while the coping, upper band, and sill would be a stone-like material.
- The Guidelines state that storefront facades should have generous spreads of windows that are made with a metal frame and with a color that is sympathetic to the overall building character. The Guidelines also state that the windows should have framing that provides an appearance of divisions or muntins. The proposed window bays would have a dark bronze anodized metal framing with several divisions. The window bays would also be slightly recessed from the building face, as desired by the Guidelines.
- The windows and doors would be transparent with no film or tint, as required by the Design Guidelines.
- The Guidelines state that the entrance or doorway should be evident and prominent along the public right-of-way. The glass doorway would remain at the corner of the building while the private entrances to the proposed addition would be opaque doors in the rear of the building.

The proposed addition and changes to the exterior are intended to update the building for a new tenant while maintaining a traditional look. Excerpts of the Design Guidelines referred to above are included as Attachment B.

SUMMARY

The Applicant requests that the DRB find the proposed exterior alterations to the building as appropriate and compatible with the Design Guidelines and approve the Certificate of Appropriateness as proposed. Should the DRB approve the Certificate of Appropriateness, the Applicant would first need to receive a building permit from the Community Development Department prior to commencing construction. Any signage for a future tenant would also require a Sign Permit application to be reviewed by the DRB at a future meeting. Any business encroachment into the public right-of-way, such as a sidewalk cafe, would require Village approval.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Design Guidelines Excerpt



Figure 1 – Street frontage along Green Bay Road, facing west (November - 2019)



Figure 2 – Corner entrance from intersection of Green Bay Road and Merrill Street, facing southwest (November - 2019)



Figure 3 – Close-up of corner doorway, existing brick façade, and masonry accents (November 2019)



Figure 4 – Street frontage along Merrill Street, facing south (November - 2019)



Figure 5 – Street frontage along Merrill Street, facing southeast (November - 2019)



Figure 6 – Rear portion of property, along Merrill Street and alley facing southeast (November - 2019)

ATTACHMENT A

Village of Winnetka
CERTIFICATE OF APPROPRIATENESS APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project Address: 972 Green Bay Road COA 2019-1084

Name of Business(es): 972 Green Bay LLC B125.-

Application is hereby made for the following work (please check all that apply):

- ☐ Sign Sign Permit Application attached? ☐
☐ Awning Awning Permit Application attached? ☐

☒ Other (general description) Alteration to existing building

Please provide a detailed description of the proposed work (attach additional information such as material specifications, photographs, etc.): Facade updates, new masonry, new windows and doors, and garden for future tenant use

I/We hereby certify that as owner (Lessee/Owner) of the property located at 972 Green Bay Road (address), I am/we are authorized to submit plans for alterations of the subject property. I/We agree to perform the subject work in accordance with the conditions of approval by the Winnetka Design Review Board as well as all other applicable codes, rules and regulations of the Village of Winnetka.

SIGNED

PRINTED NAME(S)

ADDRESS

PHONE NO.

EMAIL

Jeff Shapack

1001 Green Bay Rd #317

FOR OFFICE USE ONLY

COA applied for (date): _____

COA Case Number: _____

COA Issued (date): _____

PRIMARY DESIGN FIRM

Belrean AD

CONTACT NAME

ADDRESS

165 W Chicago Ave - 3rd Floor
Chicago, IL 60654

PHONE NO.

EMAIL

October 30, 2019

The Village of Winnetka
Architectural Review Board
510 Green Bay Road
Winnetka, Illinois 60093

972 Green Bay Road Commercial Renovation Design Statement

To Whom It May Concern:

The following design narrative is in reference to the proposed renovation of the one-story, corner masonry building located at 972 Green Bay Road at Merrill Street in the Hubbard Woods Business District.

The existing bow-truss structure currently features minimally ornamented, mid-century modern façades facing both streets. Large storefront windows front Green Bay Road, while a bland brick wall faces Merrill Street. The renovation will retain the structure only, which notably features a series of well-proportioned wood bow-trusses. The exterior materials are to be replaced in their entirety and a small, shorter one-story masonry addition will be constructed at the rear of the building.

The design of the new facades aims to positively contribute to the existing pedestrian-friendly streetscape in scale, materiality and detailing by addressing the Village of Winnetka's Design Guidelines while reflecting on Hubbard Woods' rich and diverse architectural character. The "new" building will approximately match its current height and be a reinterpretation of traditional masonry detailing, utilizing just two main materials; a molded, modular multi-hued red brick and natural stone slabs. The building will address both Green Bay Road and Merrill Street with large bays of dark bronze anodized aluminum framed storefront windows and doors. These fenestration frames shall be articulated by applied moldings and divided light transoms, creating a scale that is in keeping with the neighborhood. The bays are recessed and surrounded by a natural stone frame that provides depth and shadow to the façade, each capped by a brick batter that flows out to the main face of the building. The bays are separated by brick piers that are grounded at the sidewalk by a natural stone base. Additional brick detailing will include a stone band beneath a soldier course of brick, followed by three courses of corbeling, all capped by a stone coping.

The corner entry, while similar in features to the adjacent storefront bays with masonry surrounds and transom window detailing, shall be recessed and covered, accessed and evident from both streets. This welcoming entry sequence provides coverage for patrons during inclement weather and shall be further articulated by brick pavers set in an appropriate pattern; all to enhance the pedestrian flow and visibility.

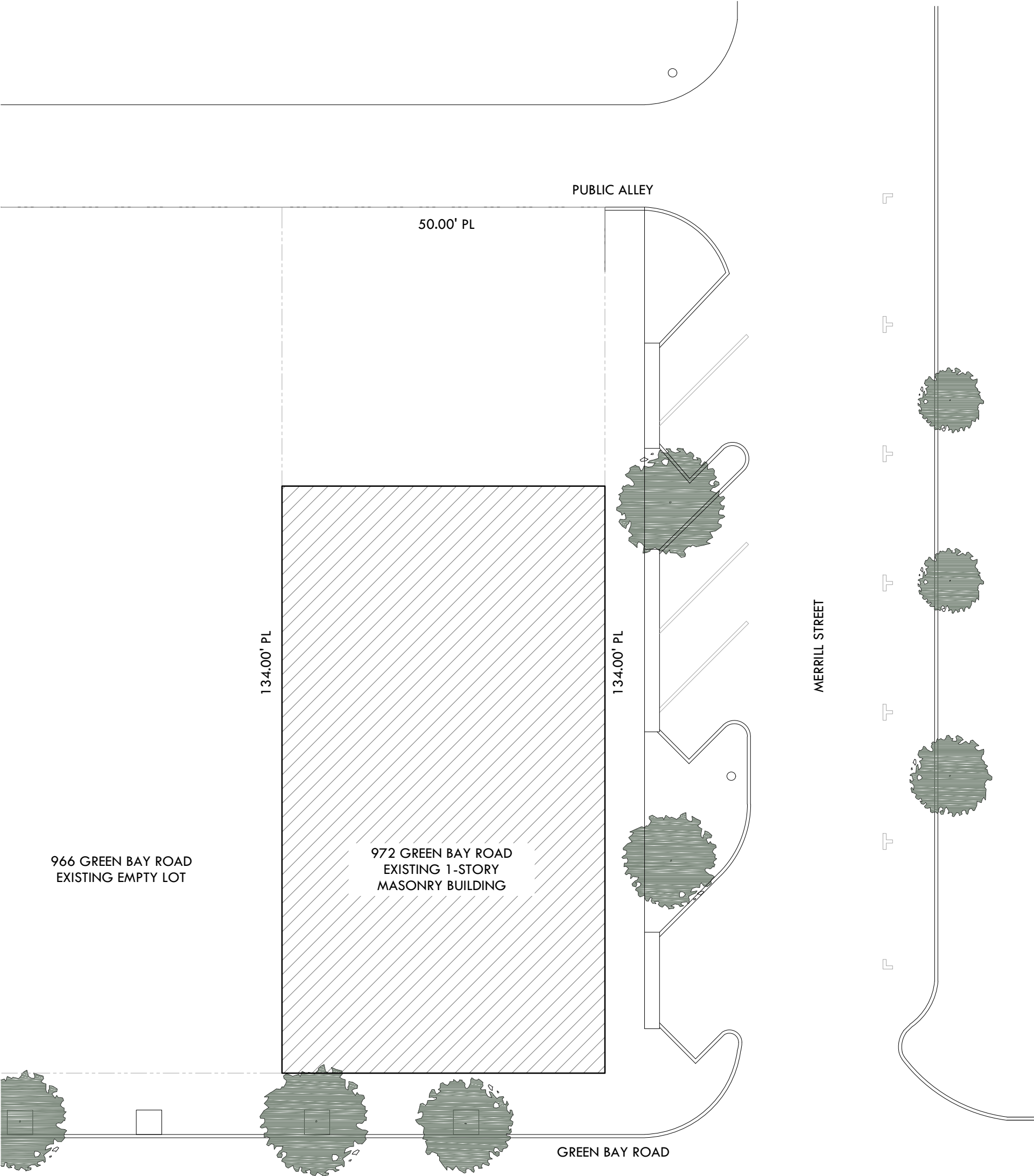
Upon completion, the renovated building at 972 Green Bay Road will be a seamless addition to the architectural character of Hubbard Woods and Winnetka; one that seems new and historic at the same time.

Respectfully submitted,



Tom Nahabedian
Principal

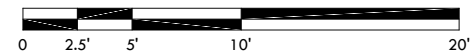
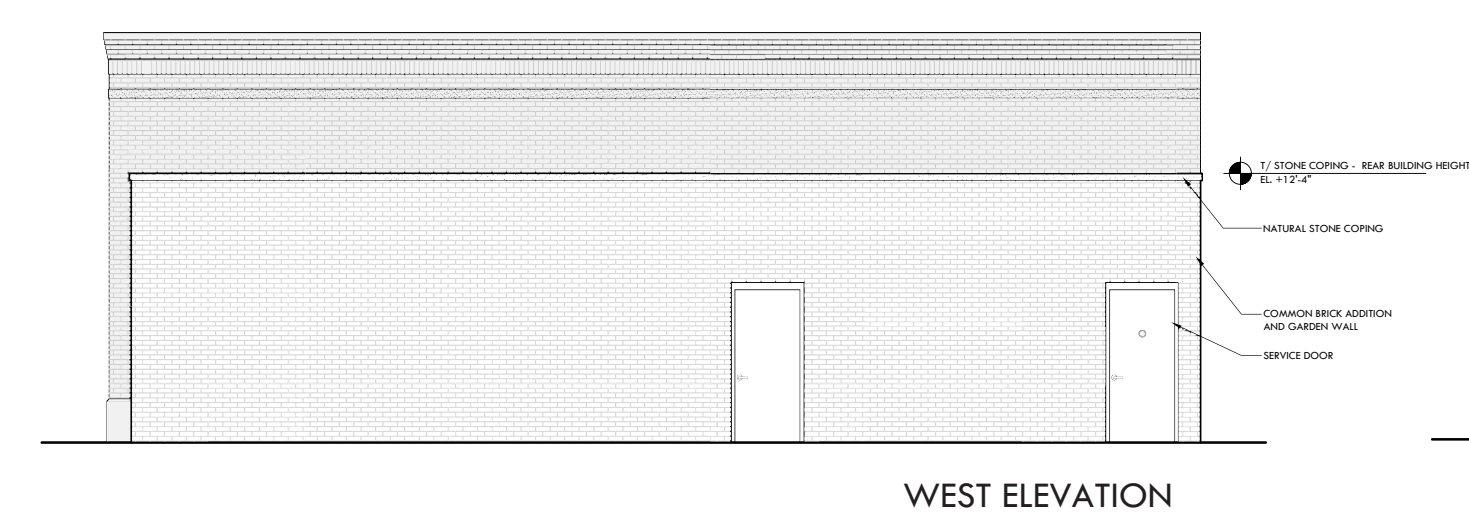
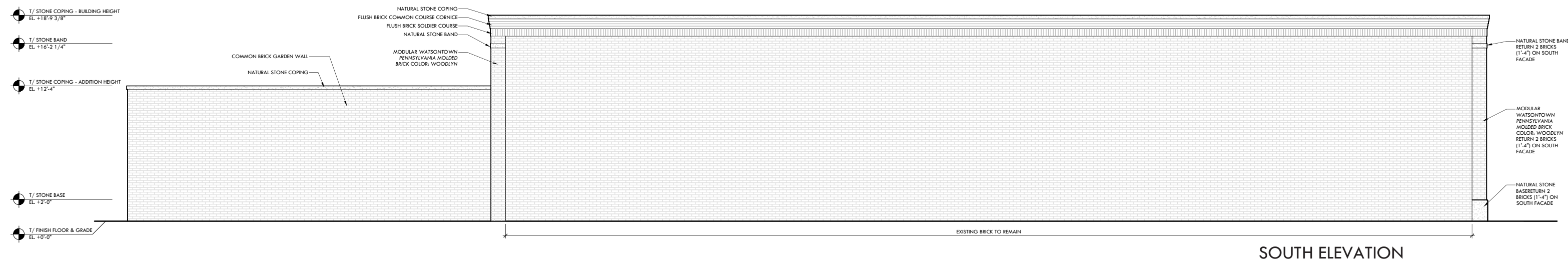




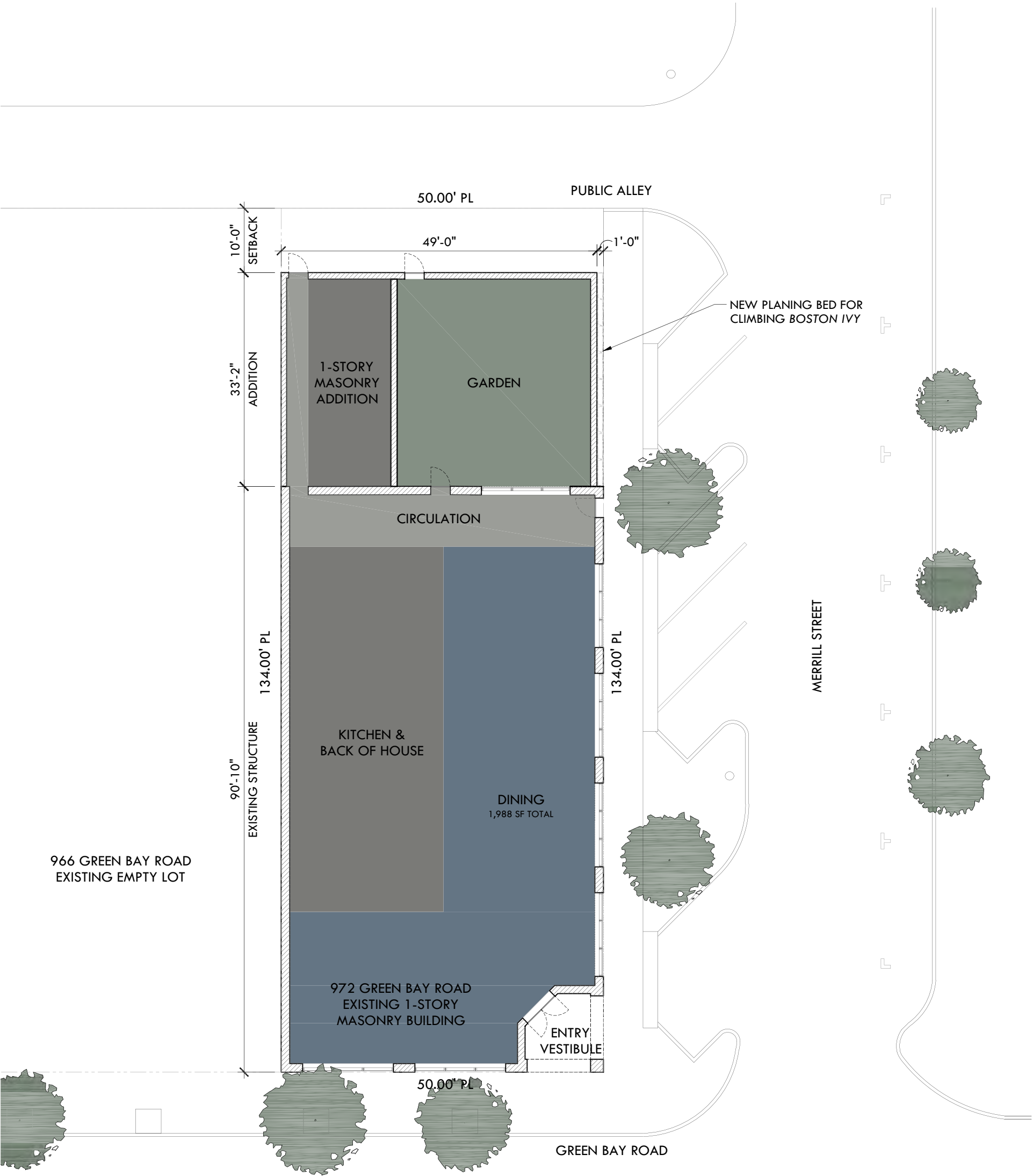
SCALE: 1/16" = 1'-0"

EXISTING SITE PLAN

972 GREEN BAY ROAD, WINNETKA | COMMERCIAL RENOVATION



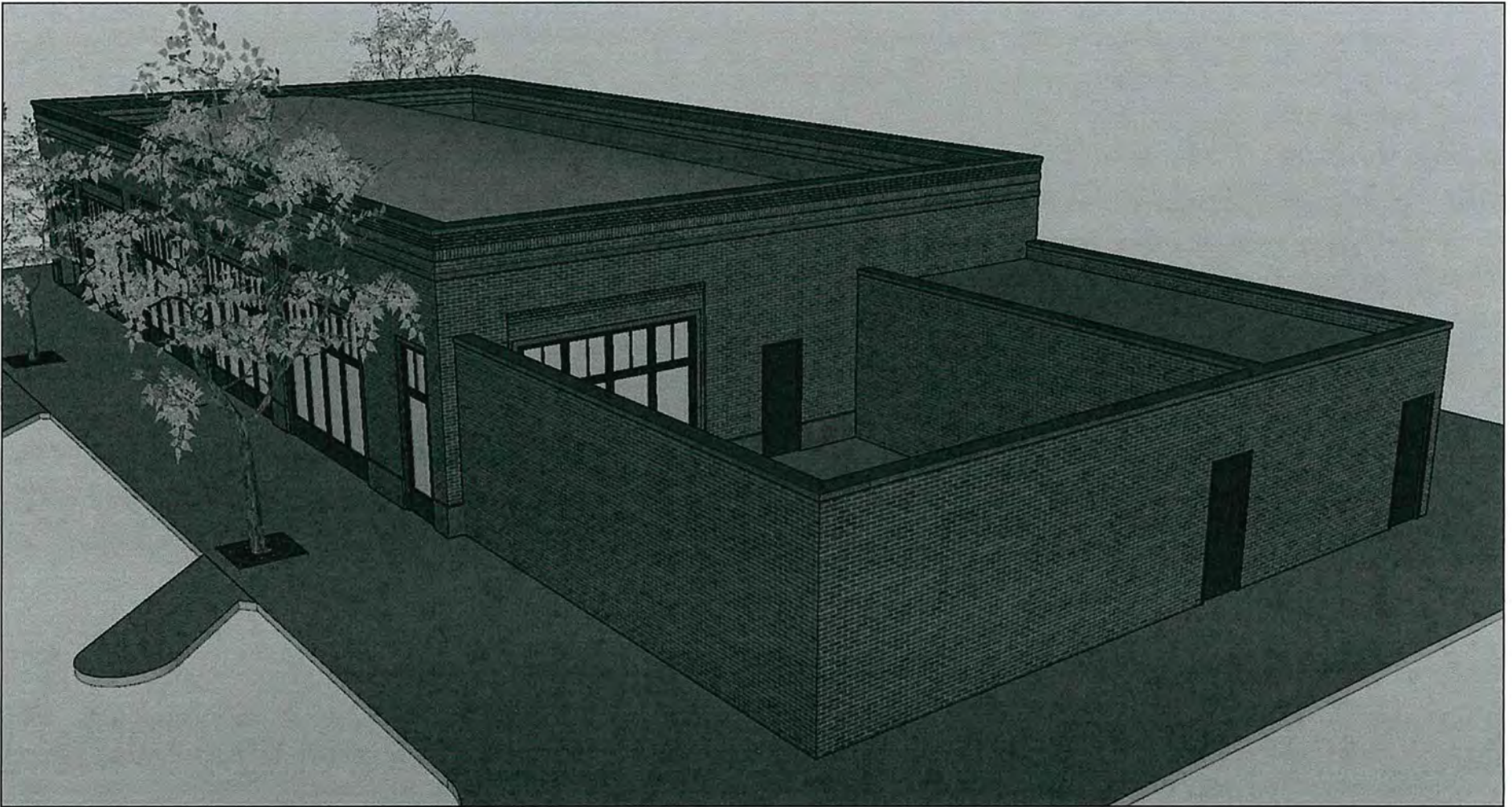
EXTERIOR ELEVATIONS



SCALE: 1/16" = 1'-0"

PROPOSED SITE PLAN

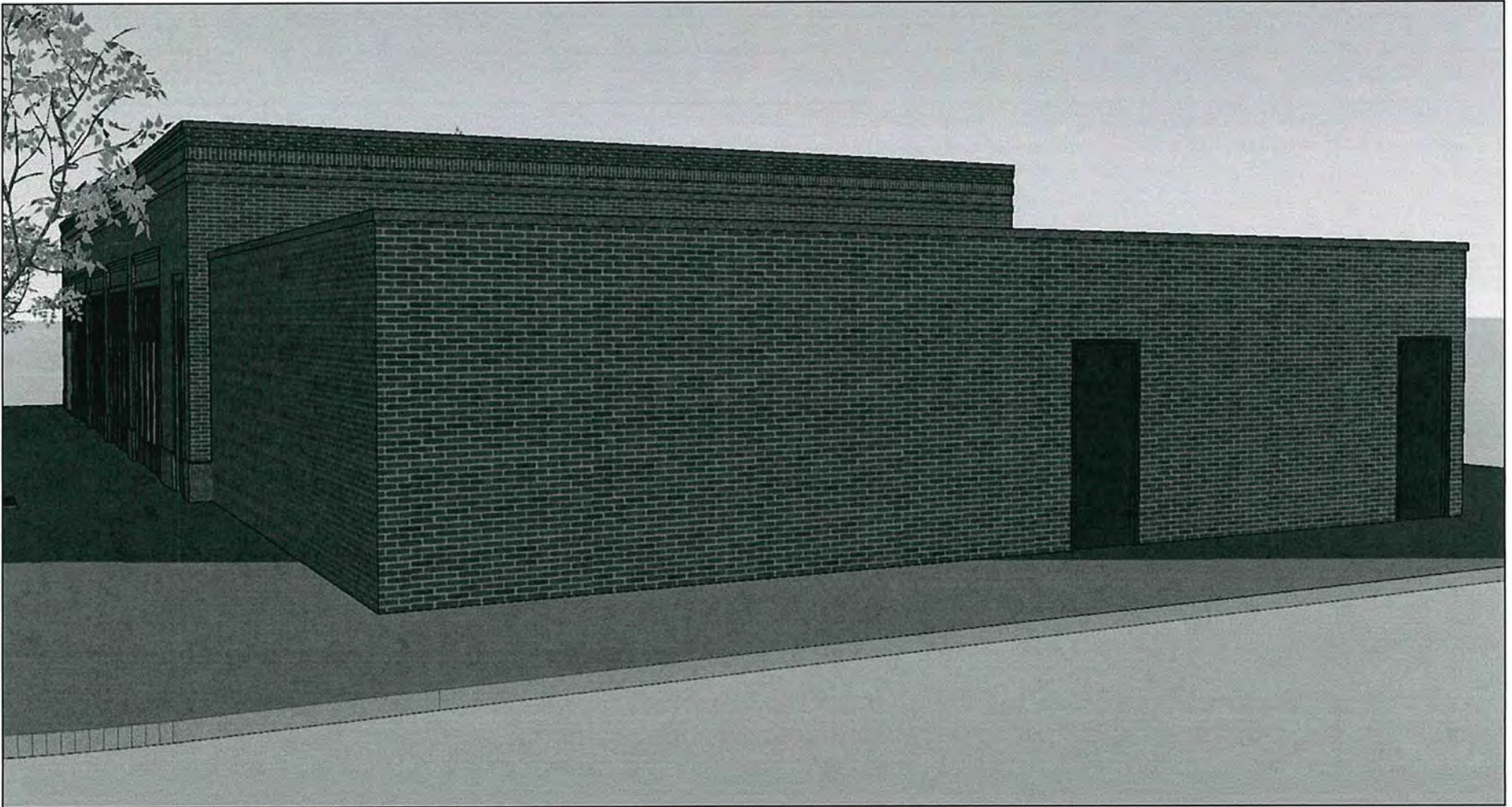
972 GREEN BAY ROAD, WINNETKA | COMMERCIAL RENOVATION



VIEW FROM WEST

OCTOBER 31, 2019

972 GREEN BAY ROAD, WINNETKA | COMMERCIAL RENOVATION



VIEW FROM ALLEY

OCTOBER 31, 2019



VIEW TO RECESSED ENTRY FROM GREEN BAY ROAD



GREEN BAY ROAD ELEVATION



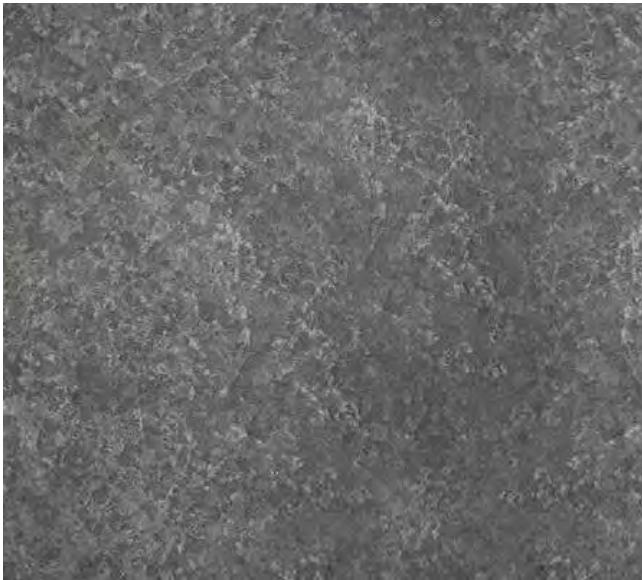
VIEW TO RECESSED ENTRY FROM MERRILL STREET



DARK BRONZE ANONDIZED ALUMINUM



WATSONTOWN BRICK
PENNSYLVANIA MOLDED, WOODLYN



HONED COTSWOLD GRAY LIMESTONE

CHICAGO COMMON FULL RANGE

Chicago Full Range Bricks include an assortment of pink, buff, and other distinctive bricks that have been worn or colored by decades of history on Chicago buildings. The varying colors and textures of these bricks can add great interest to any project.

Brick Size: 8" X 2 1/4" H x 4" W
Sold by the pallet (534)
Wall Side: 7 Bricks Per Sq. Ft.
Face Side: 4.5 Bricks Per Sq. Ft.
Stock: AVAILABLE



PENNSYLVANIA MOLDED

Only the finest clays and sands are pressed into molds, released, dried and fired in our new automated plant. Sand molded brick offer a highly prized irregularity that brings individuality and character to any project. Our molded bricks are available in a variety of sizes, colors, and custom shapes. ***All sizes are available, but are not stock items.**



Alverton Type 2 Modular
TYPE 1 & 2
MODULAR OR OVERSIZE



Beechwood Type 2 Oversize Antique
MODULAR OR OVERSIZE ANTIQUE



Berks Type 2 Oversize Antique
MODULAR OR OVERSIZE



Bradford Type 2 Standard
STANDARD OR STANDARD OVERSIZE



Cumberland Type 2 Standard
STANDARD OR STANDARD OVERSIZE



Dauphin Type 2 Oversize Antique
MODULAR OR OVERSIZE ANTIQUE



Delaware Type 2 Modular
MODULAR ONLY



Foxcraft Type 2 Oversize Antique
MODULAR OR OVERSIZE ANTIQUE



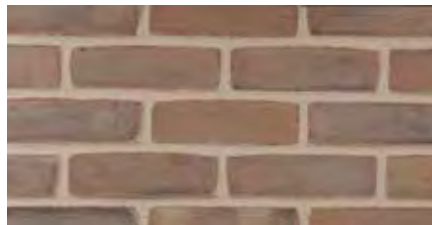
Franklin Type 2 Standard
STANDARD ONLY



Hermitage Type 1 Modular
TYPE 1 & 2
MODULAR OR OVERSIZE



Lehigh Type 2 Oversize Antique
ONLY OVERSIZE ANTIQUE



Modena Type 2 Modular
MODULAR ONLY



Pennwine Type 2 Modular
MODULAR OR OVERSIZE ANTIQUE

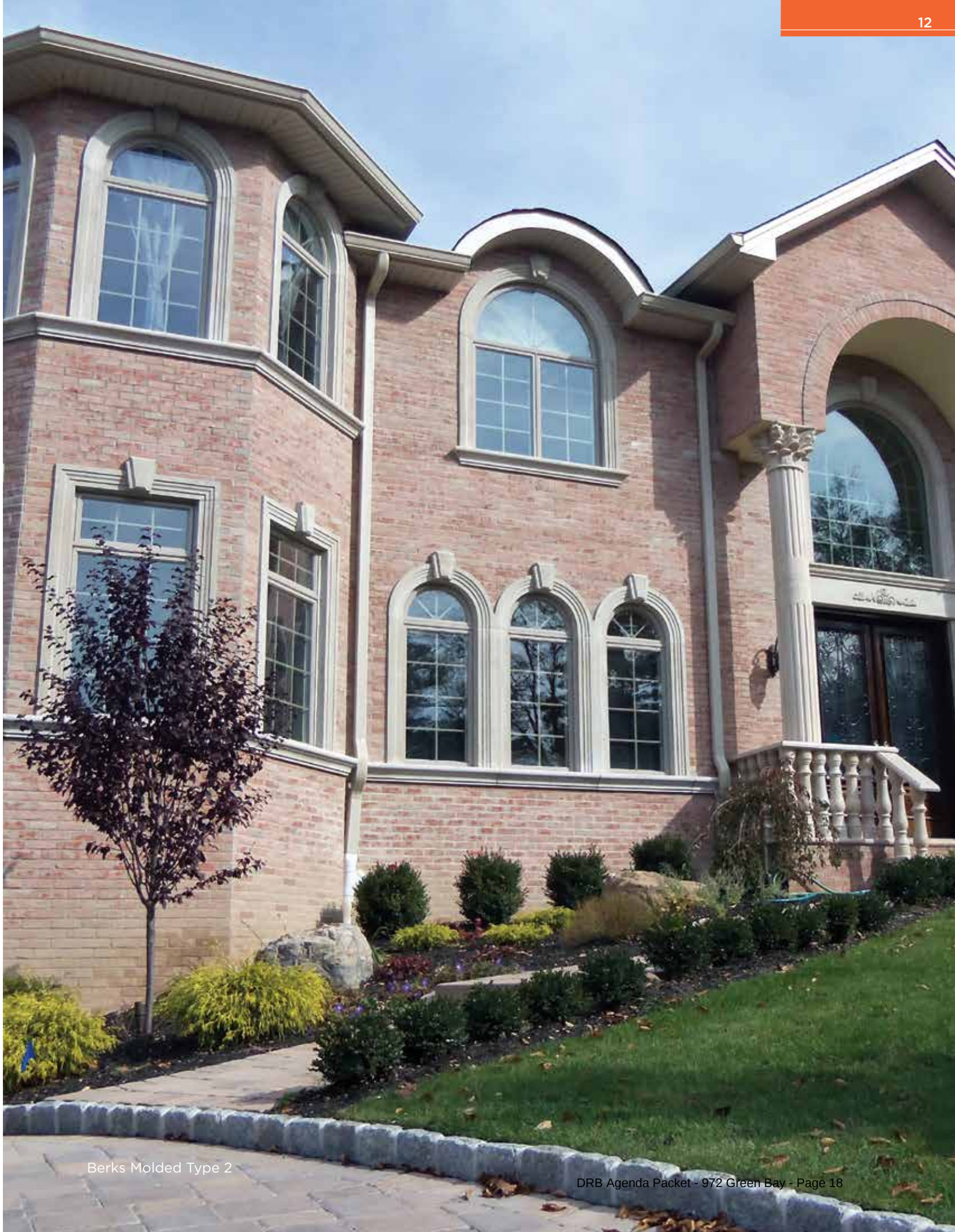


Philadelphia Type 1 Standard
STANDARD OR STANDARD OVERSIZE



Woodlyn Type 2 ~~Oversize Antique~~
MODULAR OR OVERSIZE ANTIQUE

SHOWN FOR COLOR ONLY



Berks Molded Type 2

Haifa Limestone

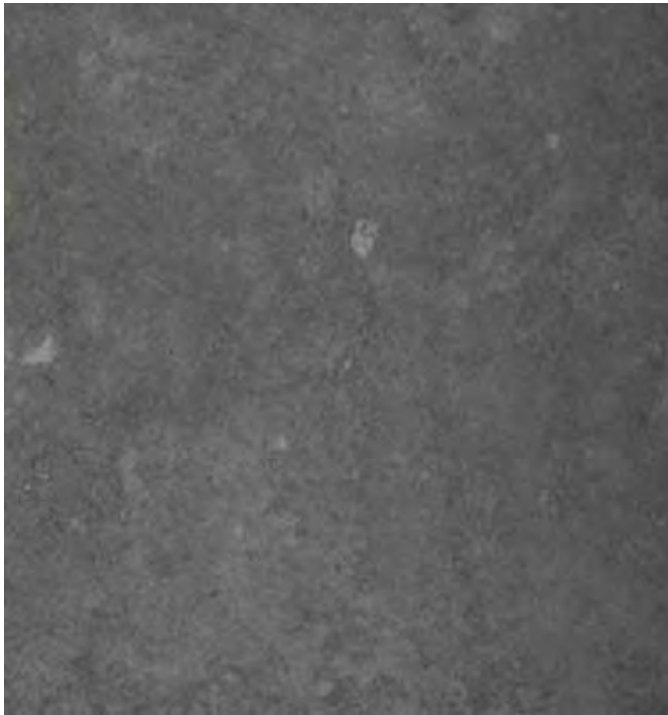
Superior Stone Products Available in a Broad Range of Texture & Color

Cotswold Gray

\$0.00

SKU: Cotswold Gray (#972)

Link: <https://www.haifalimestone.com/product/cotswold-gray/>



Product Information

Categories: All Counters, Antiqued, Bathrooms, Black, Brushed, Carved, Carved, Chiseled, Cladding, Custom, Filled, Fireplaces, Floors, Freeze/Thaw Proof, Gray, Hammered, Honed, Kitchen Counters, Limestone, Living Rooms, Mosaic, Natural, Outdoor, Patina, Pavers, Polished, Pool, Rustic, Saw Cut, Sealed, Split Face, Stairs, Tumbled, Unfilled

Use

All Counters Bathrooms Carved Cladding Fireplaces Floors Freeze/Thaw Proof Kitchen Counters Living Rooms Mosaics Outdoor Pavers Pools Stairs

Sizes

Custom Mosaic Slab Tile

Stone Type

Limestone

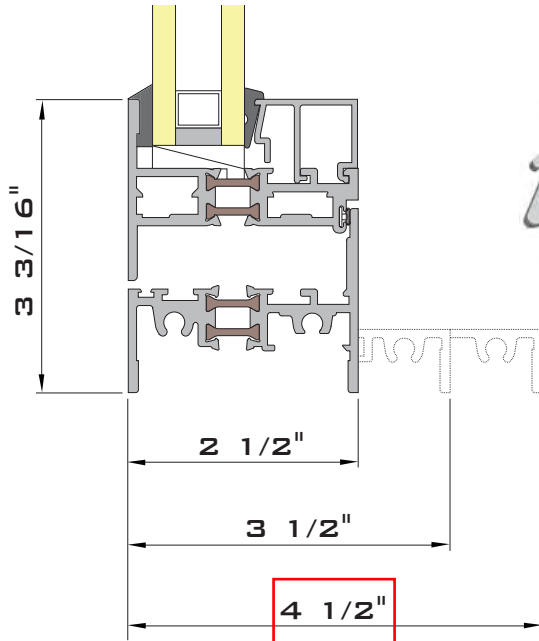
Region

England

Colors

Black Gray

Finishes



Features

- ✓ 2½", 3½" and 4½" frame depth with polyamide thermal barrier
- ✓ AAMA AW-100 Performance Class
- ✓ **Fixed** project-out awning, project-in hopper, or casement
- ✓ Flush vent construction reduces collection of dust and debris
- ✓ 4250i simulated double hung option
- ✓ Dual or triple glazed option with hinged or lift-out access panels
- ✓ 5/8" or 1" between-glass Venetian blinds available
- ✓ Slide-in heavy duty steel anchors
- ✓ 1/8" principal wall thickness
- ✓ Multi-lock hardware option for improved accessibility
- ✓ Head, sill and jamb receptors available
- ✓ Broad selection of renovation panning
- ✓ Offered through Advantage by Wausau
- ✓ NFRC labeled
- ✓ High recycled content aluminum framing
- ✓ BHM option for UFC or ISC blast hazard mitigation

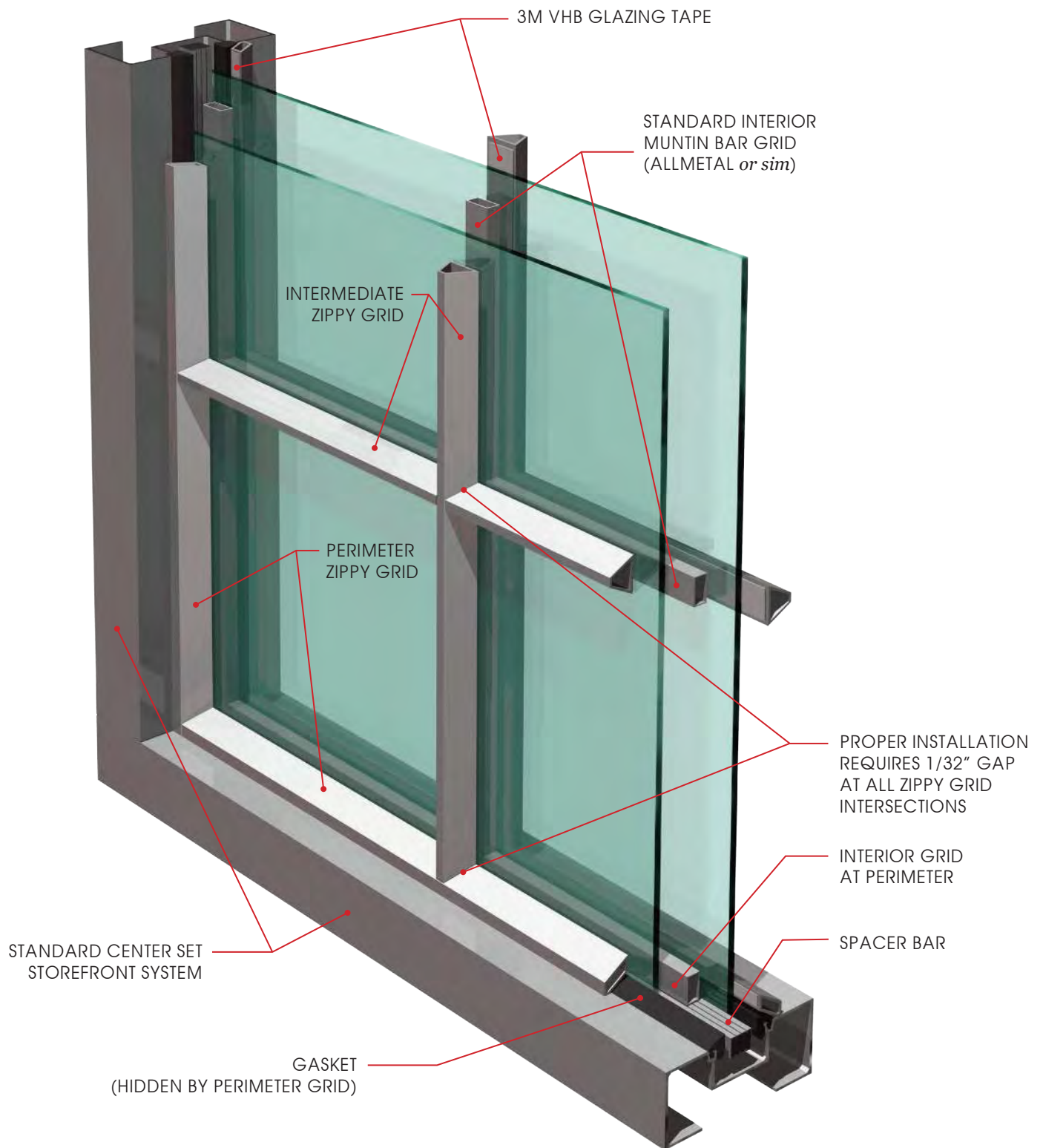
See the INvent™ –XLT
Technical Guide for superior
energy efficiency and
hurricane impact options.



Performance

Allowable Air
0.10 cfm/sqft at 6.24 psf
Water
15 psf
NFRC U-Factor
0.34 to 0.64 BTU/hr.sqft. °F
CRF_f
46 to 65
STC
31 to 42

DISCLAIMER: Wausau Window and Wall Systems takes no responsibility for product selection or application, including, but not limited to, compliance with building codes, safety codes, laws, merchantability or fitness for a particular purpose; and further disclaims all liability for the use, in whole or in part, of this Technical Guide in preparation of project specifications and/or other documents. Technical Guides are subject to change at any time, without notice, and at Wausau's sole discretion. ©2014 Wausau



ZIPPY GRID INSTALLATION CUTAWAY VIEW

ZIPPY GRID™
 STOREFRONT GRID SYSTEM

Institutional: Civic and religious institutional buildings tend to be larger and the facade articulation should be restrained so that the massing is emphasized. Vertical rhythm should be created by the articulation of stacked windows and doors.

- d. **Fenestration:** The pattern of wall penetrations is created by window and door openings.

Primary facades are defined as facades facing a street or pedestrian open space.

Secondary facades are defined as facades facing pedestrian parking areas or alleys.

Windows should be recessed back from the overall plane of the building facade at the window head and sill to create additional articulation and shadow.

Strip windows are not allowed.

Commercial and Mixed Use: In order to provide a desired proportion of fenestration the following guidelines should be met:

Primary facade: At least 60% of the first floor facade is to be windows/storefront or entrances. (See figure 28) At least 25% but no more than 40% of the upper floors are to be windows or doors. (See figures 29 & 30) Note: Percentage is based on the total facade square footage, which is calculated from the top of the first or ground floor to the top of second floor.



Figure 28



Figure 29



Figure 30

Secondary facades: At least 25% of the first floor facade is to be windows/storefront or entries. At least 25% of the upper floors are to be windows or doors. Note: Percentage is based on the total facade square footage, which is calculated from the top of the second floor to the underside of roof eave.

Institutional: The primary facade should have a distinct public main entrance.

Multiple-family Residential: Multiple-family residences should have a distinct and articulated common entrance on the main facade(s). Town homes should have individually articulated entrances.



Figure 32

VII. Articulation

- a. Entries:** Proportion, scale, location and details should be used to differentiate public entrances from private or semi-private entrances at all uses.

1. Hierarchy

Commercial, Mixed Use and Institutional: The identity of the public entrance should be evident from the public way and differentiated from the semi-public and private entrances. Public entries should have a large-scale approach and be open and inviting whereas semi-public and private entries are integral to the adjacent building facade and more opaque.

Multiple-family Residential: Proportion, scale, location and details should be used to differentiate common entrances from private entrances.

2. Location

Commercial and Mixed Use: Public entrances should be located along the main thoroughfares and at corners. Private or semi-private entrances should be located either to the side of a single bay building or centrally for a multiple bay building.

Institutional: Public entrances, both main and secondary, should be located in a central location on the main facade or along major access routes or vistas. Services entrances should be remotely located from the open public space and not visible from the main public approach.

Multiple-Family Residential: Common entries will be oriented toward the main street or thoroughfare. Garage entrances should be oriented toward a secondary street, alley or away from the pedestrian way.

3. Detail

Commercial and Mixed Use: Typically, private or semi-private entrances should have a predominately solid door and be set in a masonry opening nearly flush to the building facade whereas the public or storefront doorway should be recessed and have an awning so as to provide protection from the elements for shoppers. Building entrances can be further defined by using subtle streetscape improvements such as pavers. Residential entrances should be clearly identified and dignified.

Institutional: Generally the public entrances are detailed to stand out on a facade through the use of articulation and location. In order to be open and inviting, public entrances should incorporate larger expanses of glass than secondary entrances.

b. Window and Door Fenestration:

Commercial, Mixed Use, Institutional and Multiple-family Residential: Punched single or ganged windows are required at upper floors but not allowed at street level on primary facades in commercial buildings. A combination of ganged and single units within the punched opening is encouraged to provide hierarchy to the facade. It is encouraged that the sill height of upper level windows align with adjacent buildings but should not be higher than 30" above finish floor elevation. See Section VI.d. Mullion and muntin divisions are required to maintain the scale of the districts and reduce large expanses of glass at the upper floors. (See figure 33) Strip windows are not allowed.



Figure 33

Commercial and Mixed Use: Storefront windows are required in commercial buildings on the primary facade at street level. Storefront windowsill heights cannot exceed 18". Secondary facades are encouraged to provide punched display windows to define the hierarchy of the primary facade over the secondary. (See figure 34)



Figure 34

2. Screening

For at-grade equipment screening, see Sections IX.a (p.26), X.c.9 (p. 33), and XI.d.5 (p.57).

Mechanical equipment located at grade should be screened from view with a fence or wall that is constructed of the same materials as the adjacent building. Rooftop equipment that cannot be located out of view should be screened by walls constructed of materials sympathetic to those of the primary facade.

VIII. Materials

Building materials throughout the districts consist primarily of masonry and stucco. The existing buildings currently have a good palette of colors, textures and material mixes from which new materials should be selected. The masonry palette consists of wirecut, smooth and textured modular brick and rough-face and dressed limestone veneer. Rough-faced limestone should be limited to accent or base pieces only. The brick color palette should be restricted to those present in the district but can vary in color from reds to yellows and have varying levels of iron spotting. Pink or orange brick is not allowed.

English Tudor buildings obtain some of their character from the mix of materials used in the upper floors. Creative use of material combinations is encouraged to break up the massing. The number of facade colors should be minimized to maintain unified districts – white and cream stucco with reds and browns, emphasizing earth tones and eliminating saturated colors.

Commercial and Mixed Use: Acceptable materials include modular brick, rough-faced or dressed limestone and exterior grade stucco with wood trim. Wood, aluminum or vinyl siding, metals, rough/random lannon stone, concrete block (split face or smooth) and glassblock are not acceptable materials. EIFS may be allowed if the location is limited to the second floor facades or higher and the finish and articulation are acceptable. The finish of the EIFS must resemble exterior grade stucco of the historic English Tudor buildings in the Village.

Institutional: Institutional buildings are encouraged to have monochromatic material selection such as modular brick, or rough-faced or dressed stone. Wood, aluminum or vinyl siding, metals, rough/random lannon stone, concrete block (split-face or smooth) and glassblock are not acceptable materials. EIFS may be allowed if the location is limited to the second floor facades or higher on secondary facades only and the finish and articulation are acceptable. The finish of the EIFS must resemble exterior grade stucco of the historic English Tudor buildings in the Village.

Multiple-Family Residential: Acceptable material for multiple-family structures includes modular brick, limited areas of dressed limestone, and exterior grade stucco with wood trim. Wood siding is allowed on secondary facades on upper floors only. Aluminum or vinyl siding, metals, rough/ random lannon stone, concrete block (split face or smooth) and glassblock are not acceptable materials. EIFS may be allowed if the location is limited to the second floor facades or higher and the finish and articulation are acceptable. The finish of

the EIFS must resemble exterior grade stucco of the historic English Tudor buildings in the Village.

Acceptable Materials:

a. Primary Facade

Commercial, Mixed Use, Multiple-Family and Institutional

Modular face brick (See figure 43)
Limestone (Limited to partial first floor only. Limestone is to be integrated with brick for multiple-family residential) (See figure 44)
Cast stone, which clearly simulates stone, is limited to accent pieces such as belt courses, sills and shoes. (Split face or rusticated are not permitted.)
Exterior grade stucco with wood trim (See figure 45)
Wood siding (Multi family Residential only)



Figure 43

b. Secondary Facade

Commercial, Mixed Use, Multiple-Family and Institutional

Modular face brick (See figure 43)
Modular common brick
Dressed limestone (Limited to first floor only) (See figure 44)
Cast stone, which clearly simulates stone, is limited to accent pieces such as belt courses, sills and shoes. (Split face or rusticated are not permitted.)
Exterior grade Stucco with wood trim (See figure 45)
EIFS (upper floors only, troweled texture to resemble stucco) (See figure 46)



Figure 44

c. Roof materials

Commercial, Mixed Use, Multiple-Family and Institutional.

Clay Tiles (See figure 47)
Cement Tiles and Shingles
Ceramic Tiles that simulate natural materials.



Figure 45

Architectural Series of Asphalt Shingles
(3 ply) (See figure 49)
Wood Shingles (Fire treated)
Slate (See figure 48)
Real Copper (No other metal roofs are
allowed)



Figure 46

Institutional only

Flat roofs must be hidden by parapet
on primary / secondary facades.

Commercial and Multiple- Family

Flat roof must not be visible from
street, pedestrian, or open spaces.

d. Door and Window Materials:

**Commercial, Mixed Use, Institutional,
Multiple- Family Residential:** Entry
doors should be wood or aluminum
stile and rail with varying degrees of
glass. Public entry doors should be
fully glazed whereas private and semi-
private entries should be primarily
solid panel doors. Storefront window
units should be either paneled
aluminum or brass. Many original
storefronts, some with transom
windows, remain in the districts.
Efforts should be taken to
repair and renovate these systems
where feasible. Window frames should
be wood, steel or aluminum. Vinyl
windows are not acceptable. Muntin
divisions should be real divided glass
or simulated with spacer bars. Snap-in
muntins are not acceptable. Color
selection should be sympathetic with
the overall building color palette and
take into account the adjacent building
materials within the structure,
immediately adjacent structures,
structures within the same block and
structures across the street.
Entry door hardware is to be exterior grade with weather-resistant finish. Hardware
design and finish is to be appropriate with facade articulation, color palette and
district character. Glazing should be clear glass without tint or film.



Figure 47



Figure 48



Figure 49



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: DESIGN REVIEW BOARD
FROM: CHRISTOPHER MARX, AICP, ASSOCIATE PLANNER
DATE: NOVEMBER 15, 2019
SUBJECT: CASE NO. 19-21-DR: 915 GREEN BAY ROAD (BOUTIQUE BITES) -
CONSIDERATION OF AMENDMENT TO CERTIFICATE OF
APPROPRIATENESS

INTRODUCTION

On November 21, 2019, the Design Review Board is scheduled to consider revisions submitted by Elaina Vasquez (the "Applicant") as the lessee of the property located at 915 Green Bay Road (the "Subject Property"), to an approved Certificate of Appropriateness to permit changes to the external front façade of the Subject Property.

PROPERTY DESCRIPTION

The Subject Property is located on the east side of Green Bay Road between Gage Street and Tower Road in the Hubbard Woods Business District. It is zoned C-2 General Retail Commercial and is located in the Commercial Overlay District. The Subject Property contains an existing commercial building that was most recently occupied by *The Antique Emporium* and has been vacant for approximately six (6) years. The building has an older brick façade, traditionally pitched asphalt shingle roof, and large spanning windows at the first floor of the front elevation. Figures 1 through 4 later in this report identify the Subject Property.

PREVIOUS APPROVALS

On June 20, 2019, the DRB approved a Certificate of Appropriateness to allow exterior alterations including window improvements, window replacements, door installations, and exterior lighting on the front façade of the Subject Property. An excerpt of the June meeting minutes is included as Attachment D.

CURRENT REQUEST

In preparation to open her business, *Boutique Bites*, which will include a private event space, café and catering kitchen, the Applicant has submitted a building permit application for the proposed interior and exterior alterations to the Subject Property. The Applicant is requesting changes to the plans that were approved with the initial Certificate of Appropriateness. The Applicant intends to preserve most of the design elements while making minor adjustments to the street façade that include:

1. The two main doorways will be relocated to the center and left-of-center of the street frontage. On the previously approved plans, the doors were left and right-of-center.
2. The service doors on the edges of the street frontage, leading to the upstairs and rear of the

building, will feature new glass doors with a black anodized frame. On the previous plans, the existing doors were to remain and be opaque and black in appearance. The frosted film previously approved by the DRB would still be applied to transom window above both of doors.

3. The street-level windows will feature larger panes and fewer divisions than previous plans.

The other aspects of the previously approved design will remain the same including the upper level windows, black anodized window frames, exterior lighting sconces, and awning frames.

This request was received subsequent to the application deadline for the November 21, 2019 DRB meeting. However, given the nature of the request rather than requiring the Applicant to wait until the next regularly scheduled DRB meeting on December 19, 2019, staff has requested the Applicant present the proposed revisions to the Board on November 21, 2019, and provide a site plan and additional details at the meeting. An excerpt from the building plans detailing the updated façade is included as Attachment B.

DESIGN GUIDELINES ANALYSIS

The Village's Design Guidelines provide guidance on window types and design for commercial buildings.

- The Guidelines state that windows should be made with a metal or wood frame and with a color that is sympathetic to the overall building character. The Guidelines also state that the windows should have framing that provides an appearance of divisions or muntins. The proposed windows would still have a black metal framing with dark bronze muntins that provide several divisions, albeit less than the previous plans.
- The Guidelines state that a door should have a design and finish that is weather-resistant but with a design and finish that is appropriate with the distinct character of the façade. The proposed doorway would still have a black, metal frame with windows that are designed to fit into the overall window scheme along the storefront.
- The street-level windows and doors would still be transparent with no film or tint, as required by the Design Guidelines.

The proposed exterior changes to the windows and doorways are intended to preserve the look of the storefront façade that was approved in the original Certificate of Appropriateness. The Applicant states that the modifications will allow their business to have a better layout while still providing an appealing main entrance and aesthetic for a new establishment. Excerpts of the Design Guidelines referred to above are included as Attachment C.

SUMMARY

The Applicant requests that the DRB find the proposed changes to the approved Certificate of Appropriateness as appropriate and compatible with the Design Guidelines and approve the request as proposed. Should the DRB approve the changes to the Certificate of Appropriateness, the Applicant would still need to receive an approved Building Permit from the Community Development Department prior to commencing construction.

ATTACHMENTS

Attachment A: Certificate of Appropriateness, including initial Façade Changes Approved by DRB
June 20, 2019

Attachment B: Elevation of Proposed Street Façade Changes



Figure 1 – Subject Property



Figure 2 – Right side of frontage, facing northwest



Figure 3 – Existing main entrance



Figure 4 – Left side of frontage, facing southeast

ATTACHMENT A
VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

Approved by DRB,
6.19.2019

APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 915 Green Bay Road
NAME OF BUSINESS(ES) Boutique Bites

REAL ESTATE INDEX NUMBER			
05	17	123	017

Application is hereby made for the following work (please check all that apply):

☐ Sign
☐ Awning
☒ Other (general description)

Sign permit application attached? ☐
Awning permit application attached? ☐

Exterior Modifications

Please provide a detailed description of the proposed work (attached separate sheets, material specifications, photographs, etc.):

Exterior storefront modification to 915 Green Bay Road to include a cafe & banquet entrance, cafe storefront is 75% of the entire storefront. See attached package for detailed modifications.

I/We hereby certify that as Boutique Bites (Lessee/Owner) of the property at 915 Green Bay Rd. (address) I am/we are authorized to submit plans for alteration of the subject property. I/We agree to perform the subject work in accordance with the conditions of approval by the Winnetka Design Review Board, as well as all other applicable codes, rules and regulations of the Village of Winnetka.

SIGNED

PRINT NAME(S)

ADDRESS

PHONE NUMBER

[Redacted Signature]

Elaina Vazquez

224 N. Ada
Chicago, IL 60607

[Redacted Phone Number]

FOR OFFICE USE ONLY

COA applied for (date) _____

COA Case Number _____

COA issued (date) _____

PRIMARY DESIGN FIRM

CONTACT NAME

ADDRESS

PHONE NUMBER

FAX NUMBER

Ana group Architects

Addison Foran

830 North Blvd
Oak Park, IL, 60301

(708.445.8400)

x4722

Boutique Bites Design Statement

RE: Boutique Bites

ADDRESS: 915 Green Bay Road
Winnetka, IL 60093

DATE: 05/30/2019

PURPOSE: Design Statement from the design professional describing the project's design approach and means used to satisfy the general requirement and specific elements of the Design Guidelines.

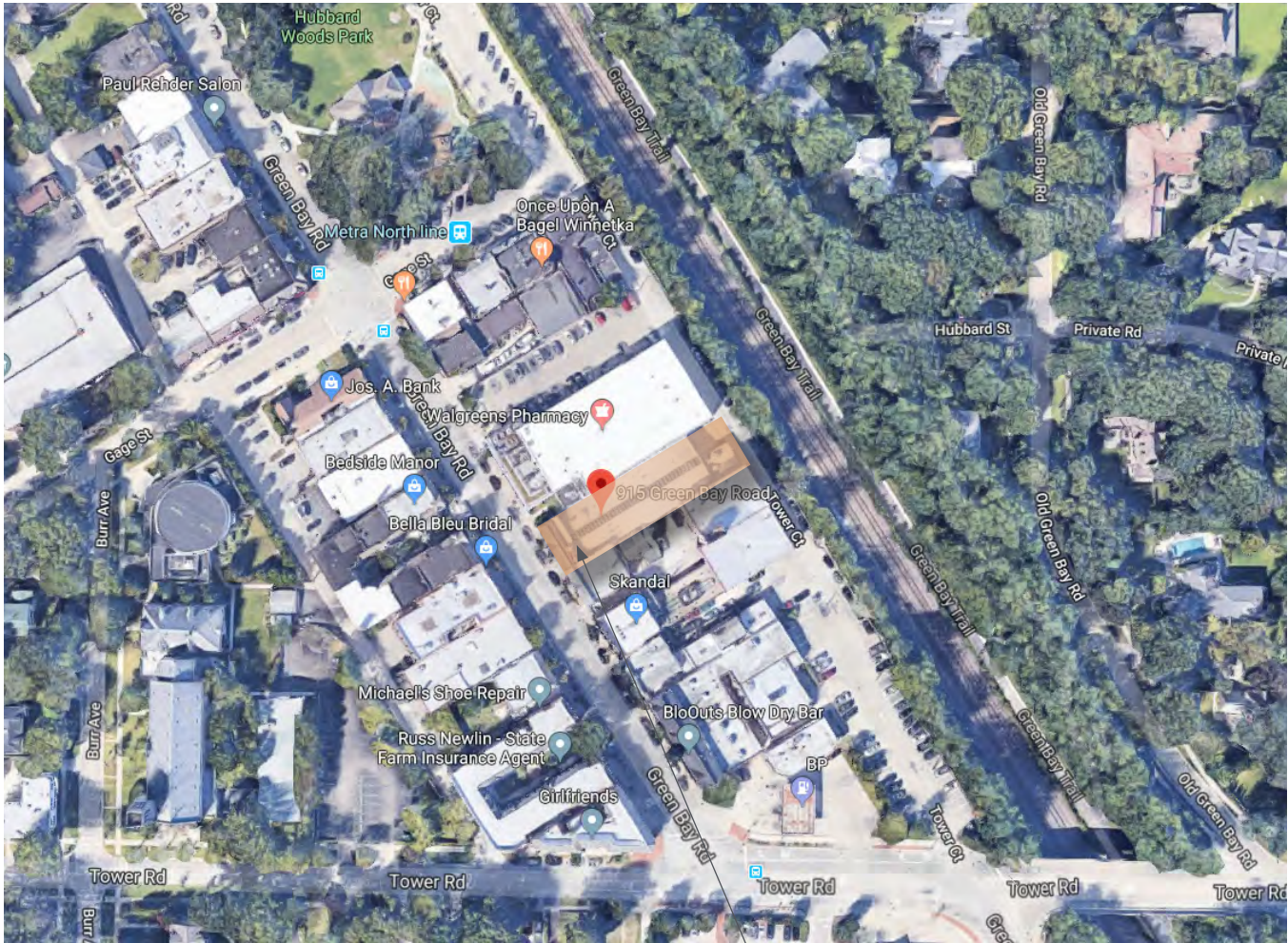
Elaina Vazquez, Founder and CEO of Boutique Bites, is excited to transition from her current venue space in Chicago's West Loop to 915 Green Bay Road in Winnetka. This transformation will provide a larger space for her proved concept of providing a venue for various events as well as include a fully operational cafe at the front of the ~10,000sf building. The new, proposed storefront at the exterior maintains the existing design language of the street, while also providing two separate recessed entries to the space.

The storefront finishes compliment the buildings across the street with the simple black anodized frame finish matched with an applied metal grid installation. The applied grid will give the appearance of divided window panes. The small 1" width of the applied grid still allows transparency from the street into the space, while also providing a traditional take on a modern approach to window frames. A shallow exterior cast stone base provides an aesthetically cleanable surface for sidewalk cleaning and maintains the design language of other facades in the area.

The design choices for the new storefront of Boutique Bites signify a highly needed change and upgrade to the existing vacant space and brings it up to the same standard of the surrounding buildings.

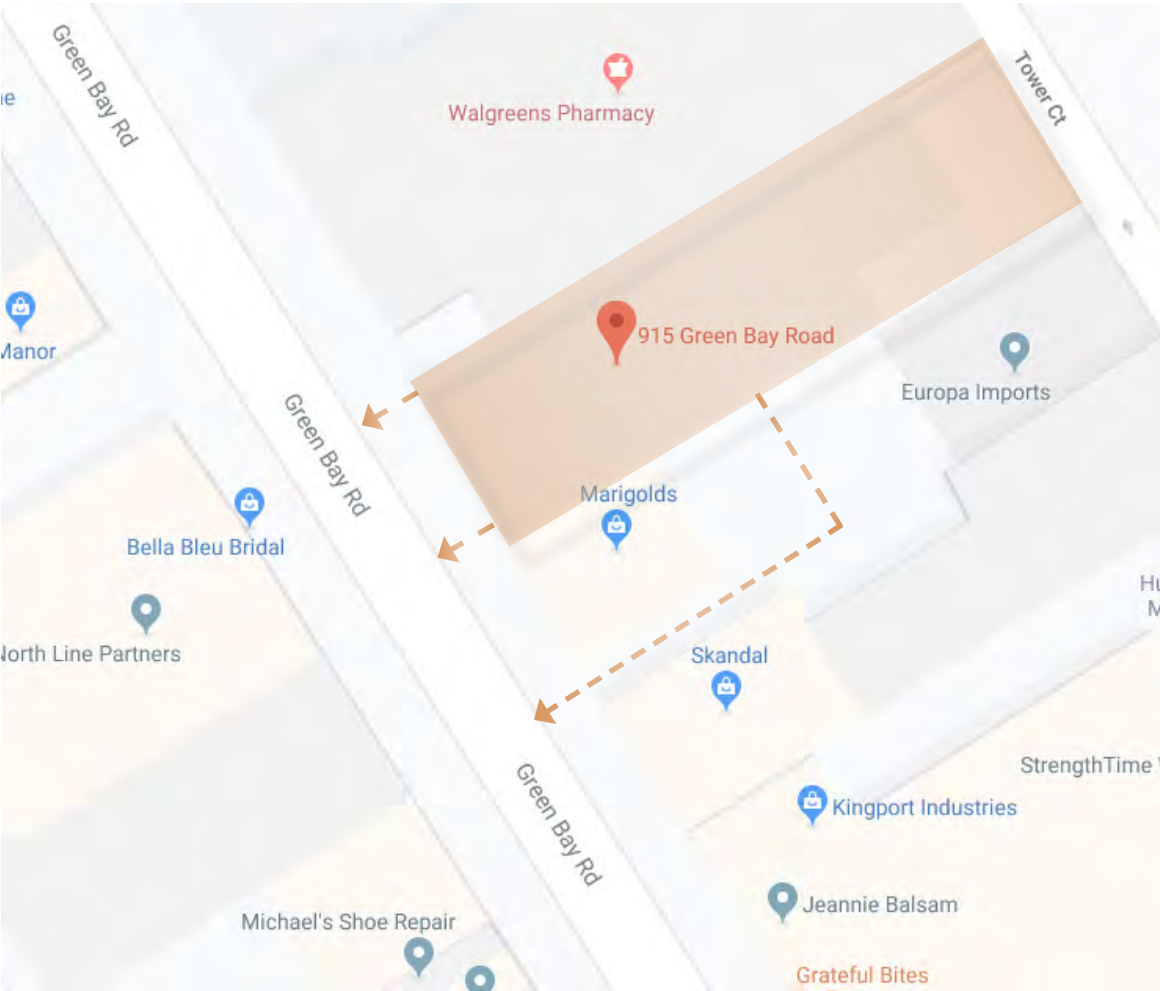
Sincerely,
Addison Foran | David Nash
Aria Group Architects

AREA/LOCATION MAP



915 Green Bay Road

KEY PLAN



925 Green Bay Road ←



Across from 915 Green Bay Road

915 Green Bay Road



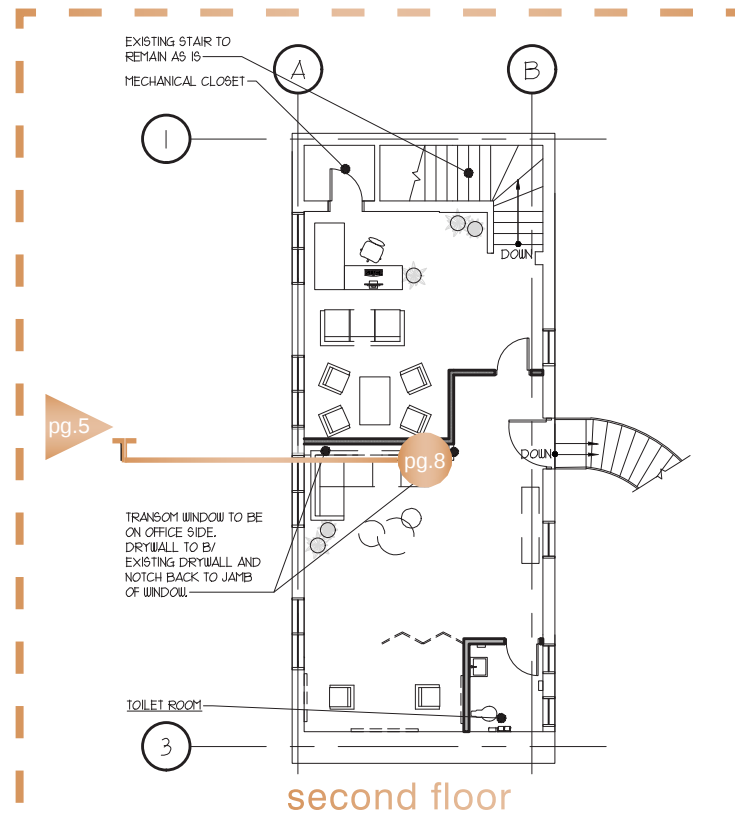
Existing Interior Storefront

EXISTING SITE PHOTOS
Scale: NTS

→ 911 Green Bay Road



Across from 915 Green Bay Road



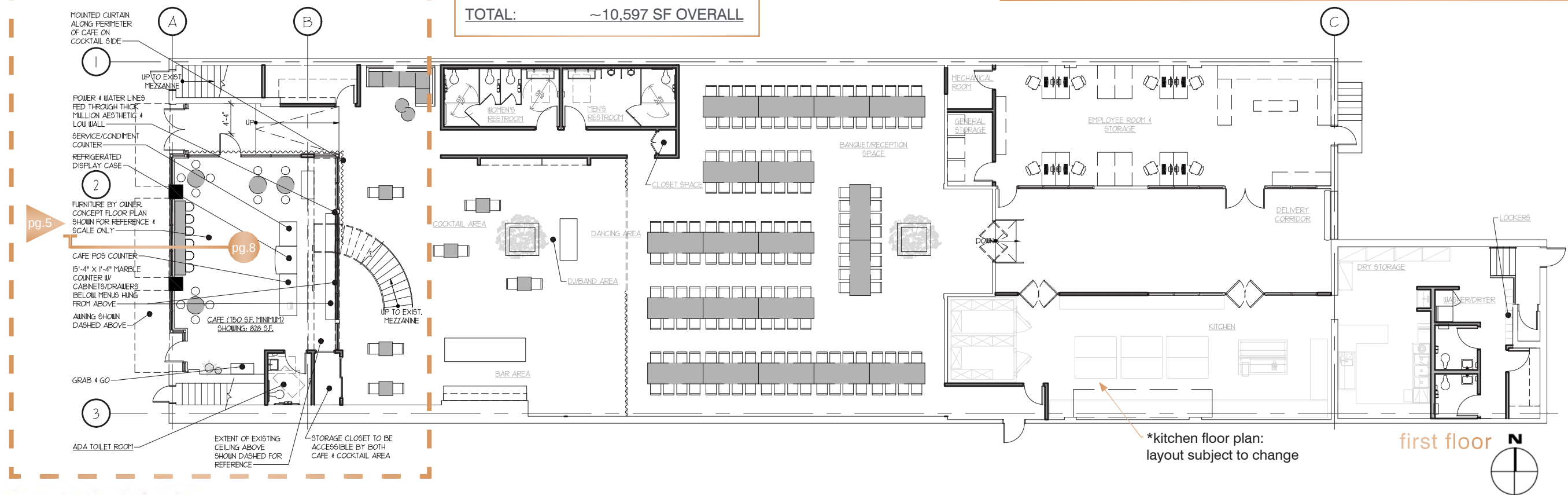
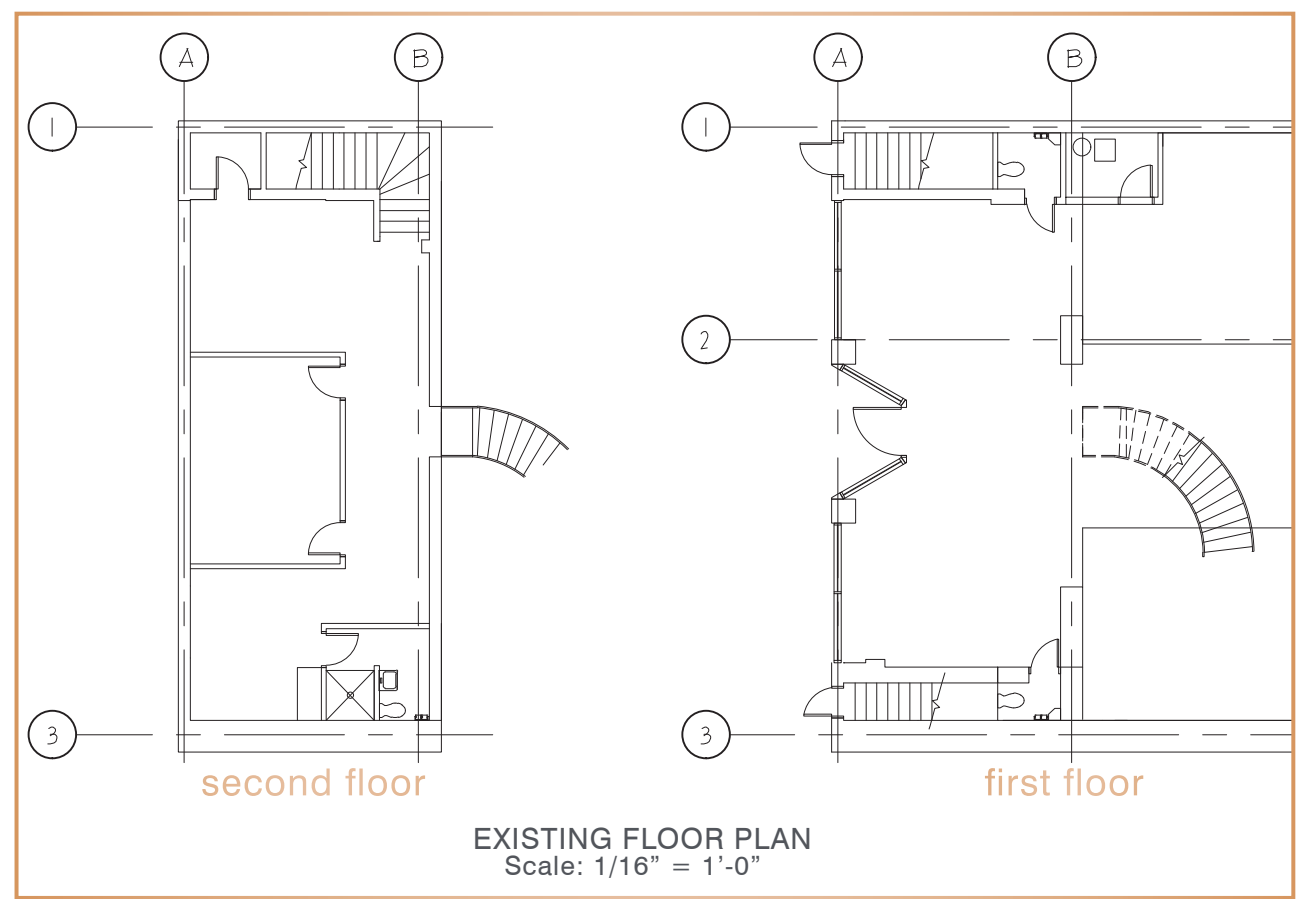
seat count & area

Seating Count	
Cafe	18 seats
Cocktail	12 seats
Lounge	5 seats
Banquet Space	152 seats

Area Calculations	
Overall Downstairs (using BOMA)	~9,497 SF
• Coat Room	~ 73 SF
• Cafe	~ 828 SF
• Cocktail	~1,681 SF
• Main Toilet Rooms/Hallway	~ 458 SF
• Banquet	~ 2,361 SF
• Kitchen	~ 930 SF
• BOH Scullery/Storage	~ 576 SF
• Storage & Office	~ 962 SF
• Delivery Cooridor	~ 727 SF

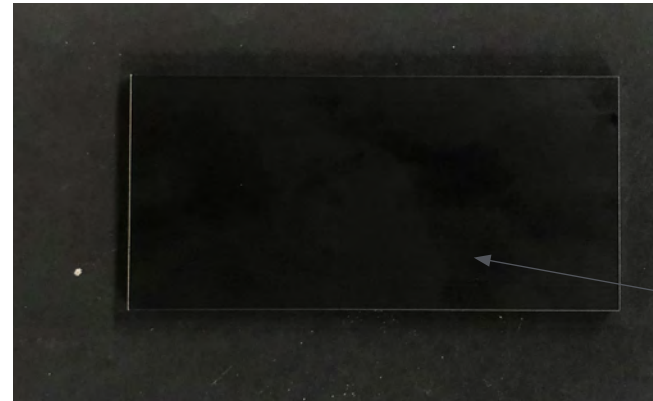
Overall Upstairs (using BOMA)	~ 1,110 SF
• Office Lounge	~ 419 SF
• Owner's Office	~ 365 SF
• Toilet Room	~ 45 SF

TOTAL: ~10,597 SF OVERALL

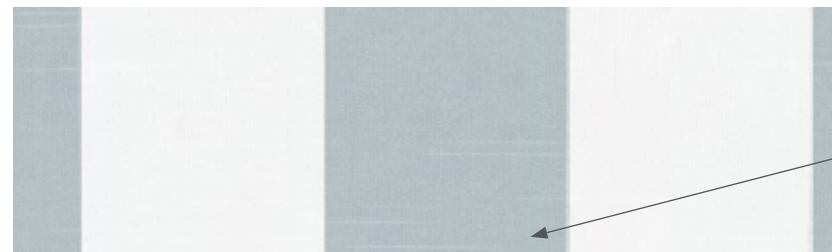




Existing second floor
window frame paint
To match exterior storefront
frame finish



New storefront frame
Black Anodized finish

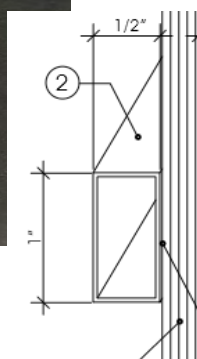


Awning Fabric
Concept sample image

Cast stone base material
GC to match



Applied Grid
Dark Bronze Anodized
Boxer 1/2"W x1"L Profile
(refer to sample for
bronze finish)



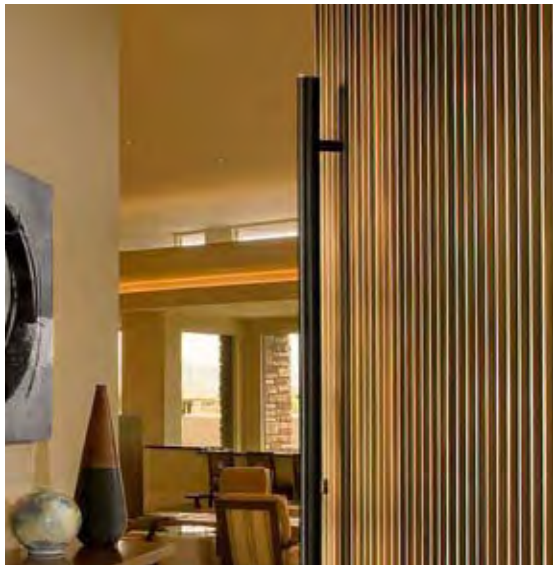
Cylinder LED Up/Downlight Wall Sconce



Lighting Direction: Up/Down
Locations: See Elevation
Fixture Color: Textured Black
(cast aluminum made with powder coat finish)
Wattage: (1) 5 Watt LED Uplight, (1) 10 Watt LED Downlight.
(Totaling 15 Watts)
Color Temperature: 3000K
UL Listed/Wet Location Tested
Quantity: 4
Dimensions: 4.5"W x 2"H x 6.5"D

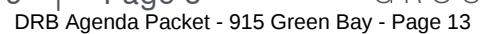


Matte Black Painted

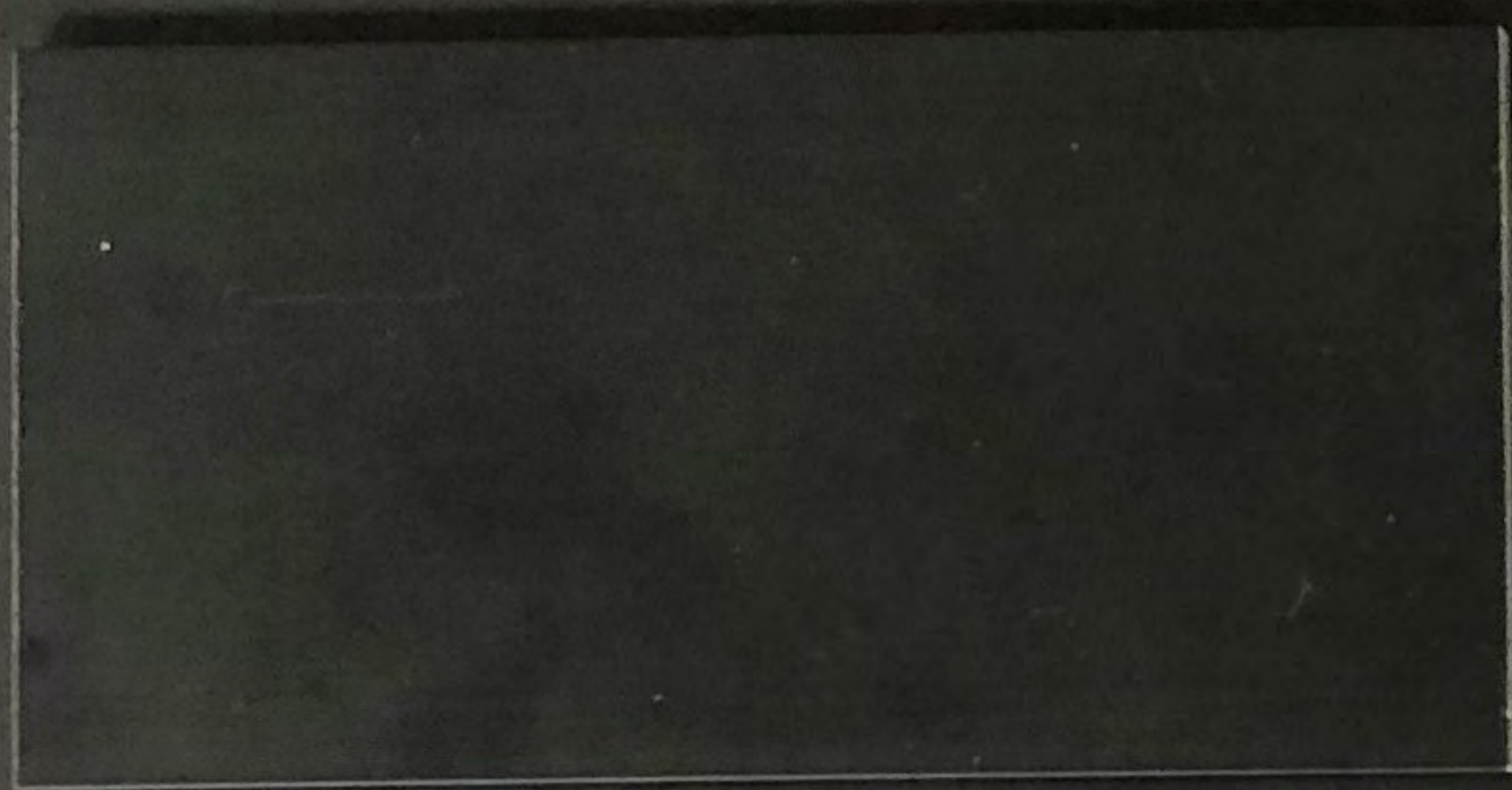


Door Pulls

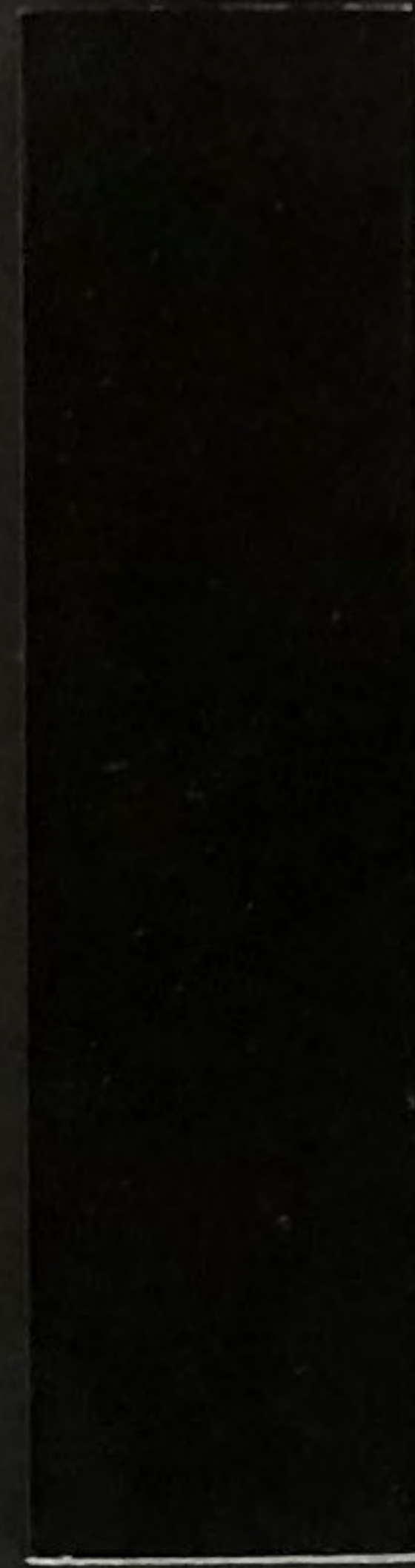
Product: KeyTiger Carnegie Door Pull
Finish: Matte Black Painted
Length: 11.81" C.T.C. (17.72" overall)
Diameter: 1"
Quantity: (1) Per public facing door
(interior and exterior)
Product Number: L KT3001-600-25-07S



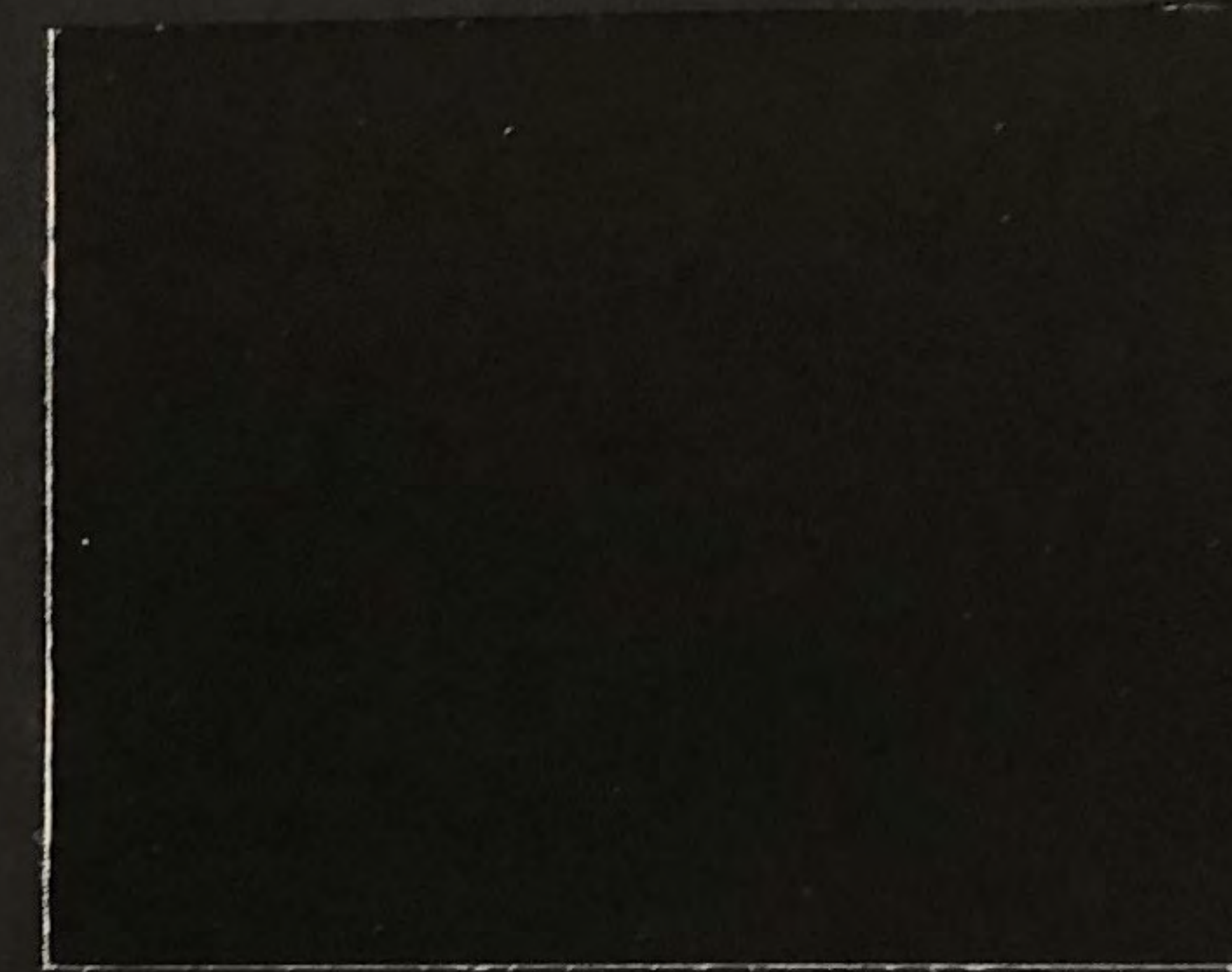
Storefront Finish



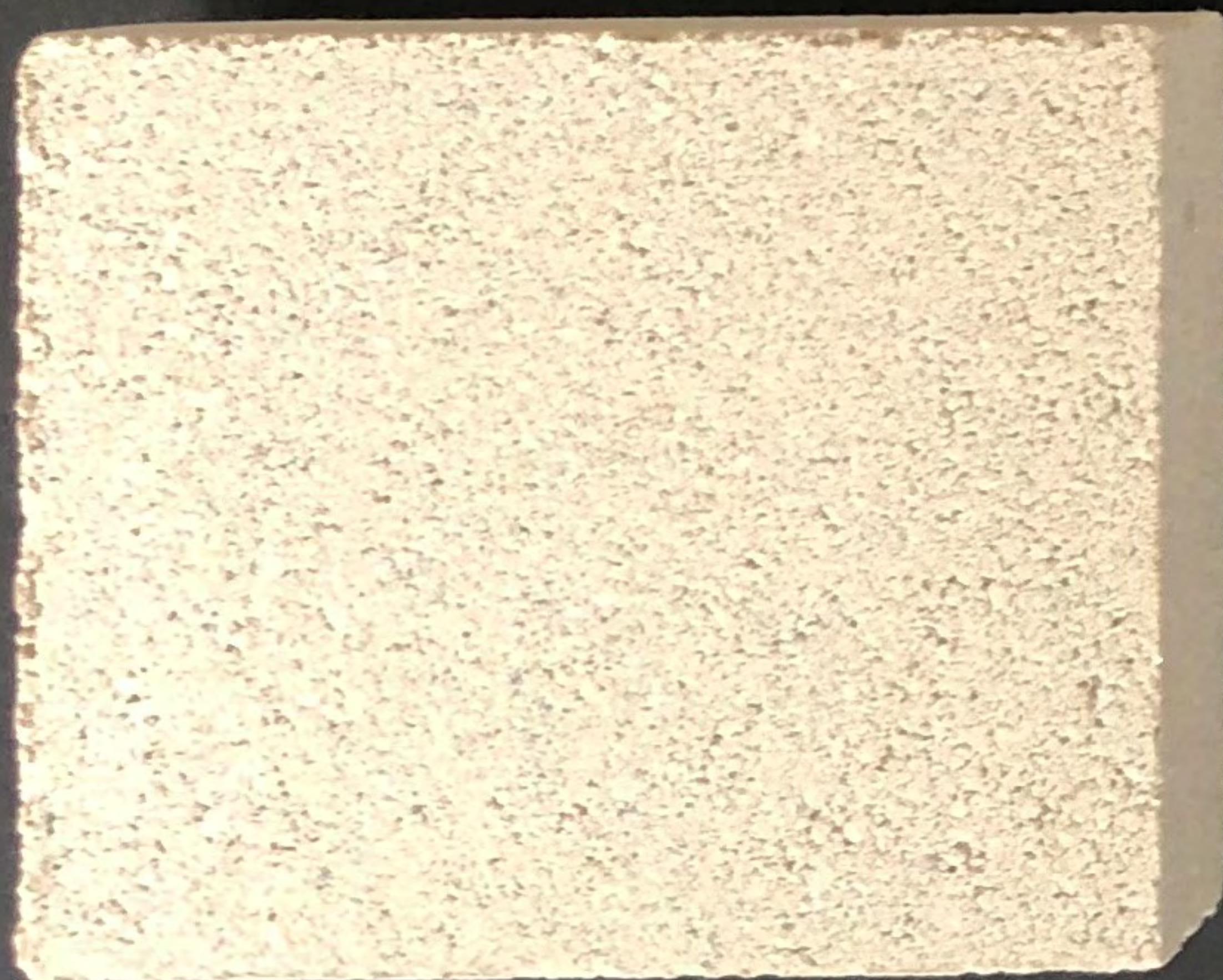
Applied Grid Finish



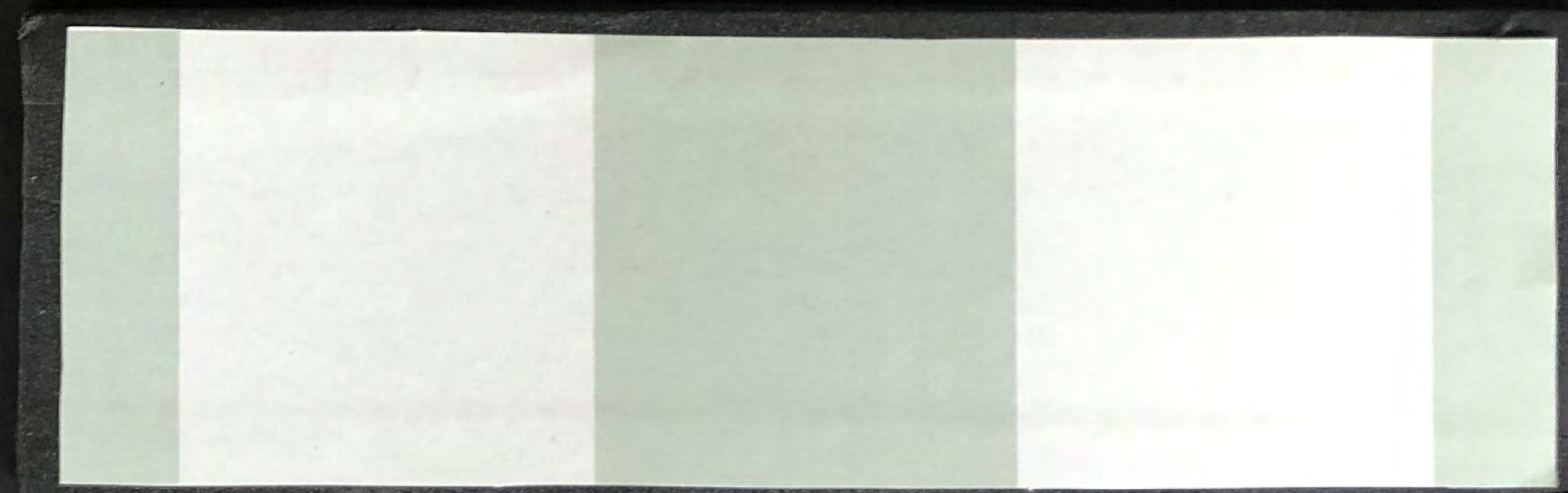
Black Paint Finish



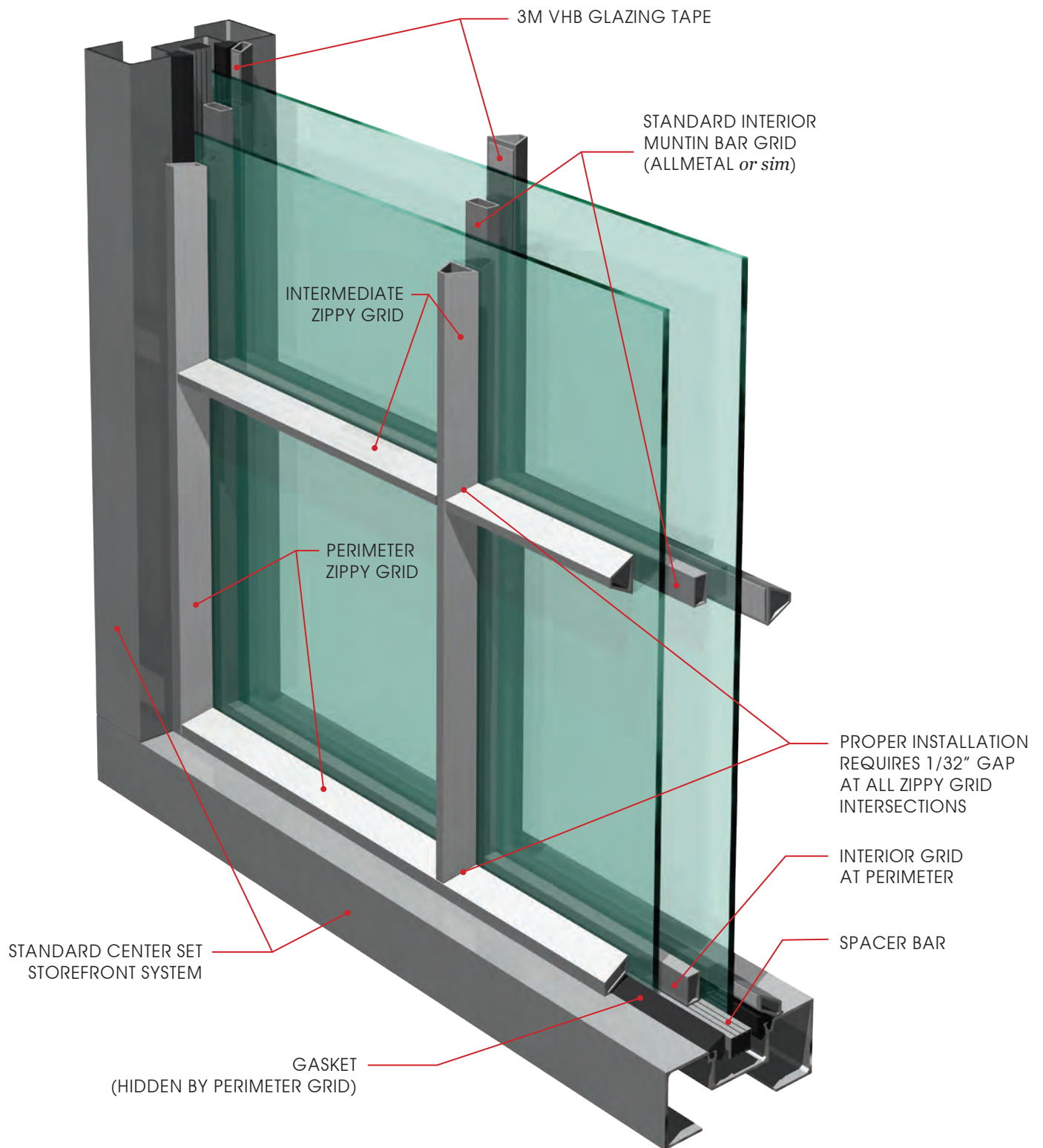
Cast Stone Concrete Finish



Awning Fabric Image



BOUTIQUE BITES MATERIAL BOARD



ZIPPY GRID INSTALLATION CUTAWAY VIEW

ZIPPY GRID™
 STOREFRONT GRID SYSTEM

ATTACHMENT B



3. Detail

Commercial and Mixed Use: Typically, private or semi-private entrances should have a predominately solid door and be set in a masonry opening nearly flush to the building facade whereas the public or storefront doorway should be recessed and have an awning so as to provide protection from the elements for shoppers. Building entrances can be further defined by using subtle streetscape improvements such as pavers. Residential entrances should be clearly identified and dignified.

Institutional: Generally the public entrances are detailed to stand out on a facade through the use of articulation and location. In order to be open and inviting, public entrances should incorporate larger expanses of glass than secondary entrances.

b. Window and Door Fenestration:

Commercial, Mixed Use, Institutional and Multiple-family Residential: Punched single or ganged windows are required at upper floors but not allowed at street level on primary facades in commercial buildings. A combination of ganged and single units within the punched opening is encouraged to provide hierarchy to the facade. It is encouraged that the sill height of upper level windows align with adjacent buildings but should not be higher than 30" above finish floor elevation. See Section VI.d. Mullion and muntin divisions are required to maintain the scale of the districts and reduce large expanses of glass at the upper floors. (See figure 33) Strip windows are not allowed.



Figure 33

Commercial and Mixed Use: Storefront windows are required in commercial buildings on the primary facade at street level. Storefront windowsill heights cannot exceed 18". Secondary facades are encouraged to provide punched display windows to define the hierarchy of the primary facade over the secondary. (See figure 34)



Figure 34

Architectural Series of Asphalt Shingles
(3 ply) (See figure 49)
Wood Shingles (Fire treated)
Slate (See figure 48)
Real Copper (No other metal roofs are
allowed)



Figure 46

Institutional only

Flat roofs must be hidden by parapet
on primary / secondary facades.

Commercial and Multiple- Family

Flat roof must not be visible from
street, pedestrian, or open spaces.

d. Door and Window Materials:

**Commercial, Mixed Use, Institutional,
Multiple- Family Residential:** Entry
doors should be wood or aluminum
stile and rail with varying degrees of
glass. Public entry doors should be
fully glazed whereas private and semi-
private entries should be primarily
solid panel doors. Storefront window
units should be either paneled
aluminum or brass. Many original
storefronts, some with transom
windows, remain in the districts.
Efforts should be taken to
repair and renovate these systems
where feasible. Window frames should
be wood, steel or aluminum. Vinyl
windows are not acceptable. Muntin
divisions should be real divided glass
or simulated with spacer bars. Snap-in
muntins are not acceptable. Color
selection should be sympathetic with
the overall building color palette and
take into account the adjacent building
materials within the structure,
immediately adjacent structures,
structures within the same block and
structures across the street.
Entry door hardware is to be exterior grade with weather-resistant finish. Hardware
design and finish is to be appropriate with facade articulation, color palette and
district character. Glazing should be clear glass without tint or film.



Figure 47



Figure 48



Figure 49

ATTACHMENT D

Minutes adopted 07.18.2019

Winnetka Design Review Board/Sign Board of Appeals
June 20, 2019
Excerpt of Meeting Minutes

Members Present:

Michael Klaskin, Acting Chairman
Paul Konstant
Brad McLane
Michael Ritter

Members Absent:

Kirk Albinson
Brooke Kelly
Maggie Meiners

Village Staff:

Christopher Marx, Associate Planner

Case No. 19-21-DR: 915 Green Bay Road – Boutique Bites: Consideration of Certificate of Appropriateness for proposed windows, doors and exterior lighting.

David Hash of Aria Group Architects introduced himself as the architect for Boutique Bites. He stated they are proposing for the currently vacant space to remove the existing steel window of single pane glass and relocate the current entry in the center with two new entry points, one of which would be in the rear for the banquet space and one in the front for the café. Mr. Nash stated they are looking to play off the surrounding language of the space across the street. He then stated there would be an aluminum storefront system which would be dark bronze to almost black in color. Mr. Nash also stated awnings would be added to the front and exterior lighting to illuminate the façade. He noted the brick would remain and above the windows, it would be refinished in black. Mr. Nash referred the Board to the center window in the renderings on page 5 of the packet and stated they planned to add a divided light mullion to the windows to give it a steel frame look as well as have a concrete curb at the base to address salt and snow issues in inclement weather.

Chairman Klaskin noted he was the listing agent for the property for a couple of years and the building desperately needs new windows, awning, etc. He also stated the space was formerly occupied by Antique Emporium and is a 10,000 square foot retail building which needed a lot of work. Chairman Klaskin then asked if they planned to redo the upper windows. Mr. Nash responded they are in good shape and they planned to clean and replace them if they are damaged. He noted the plan is to maintain and refinish them. Mr. Konstant asked if the triple storm windows would be removed and Mr. Nash responded they were not planning on it. Mr. Konstant then asked if there would be divided lights behind that. Mr. Nash stated there is a trim frame on the windows and they are not utilizing them. He added there would be all cohesive paint in the same color as the storefront below.

Chairman Klaskin asked if the striped awning is the applicant's brand. Mr. Nash responded they are proposing it for the ownership and he has a sample for the Board's review. Mr. Konstant stated there is an ordinance against having divided lights in the main windows and asked if they needed a variation. Mr. McLane stated the materials note the request is compliant in the analysis provided. Mr. Marx stated in terms of the guidelines, it indicated a preference for windows on the store level and noted the request is code compliant. Mr. Konstant commented he liked the look. Chairman Klaskin described it as a huge

1 improvement. Mr. McLane reiterated the request is compliant. Mr. Konstant commented it is handsome
2 and the applicant did a nice job.

3
4 Chairman Klaskin asked if there was any public comment. No comments were made at this time. He
5 then asked for a motion. Mr. Konstant moved to issue a Certificate of Appropriateness to approve the
6 request as submitted. Mr. Ritter seconded the motion. A vote was taken and the motion unanimously
7 passed.

8
9 AYES: Klaskin, Konstant, McLane, Ritter

10 NAYS: None

11 ***
12